

LOCUS MAP
(NOT TO SCALE)

NOTES:

1. SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 626, BLOCK 1, LOT 288.
2. THIS PLAN IS BASED ON A SURVEY PERFORMED BY METROWEST ENGINEERING, INC.
3. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X"- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN, OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO.25017C0514E, BEARING AN EFFECTIVE DATE OF JUNE 4, 2010.

ZONING:

- R-4 SINGLE RESIDENCE**
- * ONE-FAMILY OR TWO-FAMILY DETACHED DWELLINGS
MINIMUM AREA = 43,560 SQUARE FEET
MINIMUM FRONTAGE = 100 FEET
 - FRONT YARD = 30 FEET OR MORE
SIDE YARD = 30 FEET
REAR YARD = 30 FEET
 - MINIMUM OPEN SPACE= 50%
MAXIMUM BUILDING HEIGHT= 3/35
MAXIMUM LOT COVERAGE= 15%
 - * ANY OTHER PRINCIPAL USE
MINIMUM AREA = 43,560 SQUARE FEET
MINIMUM FRONTAGE = 150 FEET
 - FRONT YARD = 30 FEET OR MORE
SIDE YARD = 30 FEET
REAR YARD = 30 FEET
 - MINIMUM OPEN SPACE= 50%
MAXIMUM BUILDING HEIGHT= 3/35
MAXIMUM LOT COVERAGE= 15%

ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM VARIOUS UTILITY COMPANIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE MADE IN THE FIELD.

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PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR OR PROPERTY OWNER, ARE TO CONTACT DIG-SAFE AT (888) 344-7233 TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC UTILITY ENGINEERING DEPARTMENTS MUST BE CONTACTED.

THESE PLANS ARE TO BE USED FOR OBTAINING APPROVAL BY THE VARIOUS TOWN BOARDS ONLY AND ARE NOT TO BE CONSIDERED CONSTRUCTION PLANS.

PLAN INDEX:

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| PROPOSED DETAIL PLAN..... | SHEET 5 OF 5 |
| ORIGINAL SUBMITTAL DATE: JULY 7, 2014 | |

SULLIVAN SURVEYING COMPANY, LLC
209 WEST CENTRAL ST.
NATICK, MASS. 01760
PHONE : 508-655-0082
FAX : 508-655-0083

COVER SHEET
LAND DISTURBANCE
PLAN OF LAND IN
FRAMINGHAM, MASS.

OWNER / APPLICANT :
BARBARA PIECEWICZ
25 RANSOM ROAD
FRAMINGHAM, MA 01702

DEED REFERENCE :
L. C. BOOK 1415, PAGE 115
CERTIFICATE # 251136
SOUTH MIDDLESEX REGISTRY OF DEEDS

ASSESSORS MAP REFERENCE :
MAP 626, BLOCK 1, LOT 288

ZONING CLASSIF.: R-4 SINGLE RESIDENCE

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JOSEPH R. SULLIVAN
REG. PROF. LAND SURVEYOR



RICHARD M. MAINVILLE
REGISTERED PROFESSIONAL ENGINEER

| REVISIONS | | |
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| NO. | DESCRIPTION | DATE |
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SCALE : 1" = 60'
DRAWN BY : R.M.M.
DATE : JULY 7, 2014
CHECKED BY : J.R.S.

SHEET 1 OF 5
DRAWING NO. 37,067

LAND DISTURBANCE BYLAW NOTES:

1. PROPOSED SOIL DISTURBANCE = 15,718± S.F. (0.36± ACRES). ALL PROPOSED SOIL DISTURBANCE OCCURS ON LAND WITH EXISTING SLOPE GREATER THAN OR EQUAL TO 15%. (INCLUDES AREA WITHIN R O W)
- 43,811 SQUARE FEET OF LAND ON SLOPE GREATER THAN OR EQUAL TO 15%. (EXISTING) 34,554 SQUARE FEET OF LAND ON SLOPE GREATER THAN OR EQUAL TO 15% (PROPOSED) (LOT AREA ONLY)
2. PROPOSED TOPSOIL EXCAVATED & STOCKPILED = 256± CUBIC YARDS
PROPOSED IMPORTED FILL REQUIRED (EXISTING TO FINISHED GRADE) = 1741± CUBIC YARDS
3. PROPOSED EARTH MOVING = 1,997± CUBIC YARDS
4. PROPOSED LAND CLEARING = 13,870± SQUARE FEET

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EROSION CONTROL NOTES:

- 1.) CONTRACTOR SHALL MODIFY SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION.
- 2.) CONTRACTOR SHALL INSPECT AND CLEAN ALL SILTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS WITH A PRECIPITATION AMOUNT IN EXCESS OF 1". CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DEFICIENCIES FOUND ON SILTATION CONTROL MEASURES.
- 3.) CONTRACTOR SHALL MAINTAIN AN INVENTORY OF EMERGENCY SUPPLIES ON SITE IN A PROTECTED LOCATION INCLUDING, BUT NOT LIMITED TO HAYBALES, SILT FENCE, WASHED STONE, PVC PIPE, MULCH AND SEED.
- 4.) ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED BEFORE OR THROUGH THE WINTER TO ELIMINATE DESTABILIZATION OR SILTATION DURING THE SPRING THAW.
- 5.) ANY RELEASE OF WATER FROM TEMPORARY SILTATION PONDS SHALL BE FREE OF SILT AND SEDIMENT AND SHALL MEET WATER QUALITY STANDARDS FOR CLASS B WATER IN THE COMMONWEALTH OF MASSACHUSETTS.
- 6.) IF GROUNDWATER DE-WATERING IS REQUIRED, CONTRACTOR SHALL IMPLEMENT A FILTERING SYSTEM FOR PUMPED GROUNDWATER TO REMOVE SILT AND SEDIMENT. THE DIRECT DISCHARGE OF ANY DE-WATERING OPERATION INTO A WETLAND IS PROHIBITED.
- 7.) CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENTS WHEN THEY HAVE ACCUMULATED TO A HEIGHT APPROXIMATELY EQUAL TO ONE HALF OF THE HEIGHT OF THE CORRESPONDING EROSION AND SEDIMENTATION CONTROL MEASURE.
- 8.) CONTRACTOR SHALL KEEP COPIES OF THE EROSION CONTROL PLAN AND INSPECTION REPORTS SO THEY ARE ACCESSIBLE AT ALL TIMES.
- 9.) CONTRACTOR TO PROTECT ALL DRAINAGE INLETS FROM SILT AND SEDIMENT UNTIL THEIR TRIBUTARY AREAS ARE FULLY STABILIZED.
- 10.) CONTRACTOR TO SWEEP STREET IN FRONT OF WORK AREA BI-WEEKLY TO PREVENT ACCUMULATION OF SILT AND SEDIMENT ON CHECKERBERRY LANE.

NOTES:

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4. SEWER AND WATER INFORMATION FOR # 36 CHECKERBERRY LANE, ARE TAKEN FROM TOWN OF FRAMINGHAM SEWER AND WATER TIE'S.
5. THE FRONT SETBACK OF THE PROPOSED HOUSE IS IN ACCORDANCE WITH A VARIANCE GRANTED BY THE FRAMINGHAM ZONING BOARD OF APPEALS.
6. 34 TREES TO BE REMOVED ON SITE. 50 TREES TO REMAIN ON SITE.
7. ELEVATIONS REFER TO NGVD 1929.

SULLIVAN SURVEYING COMPANY, LLC
209 WEST CENTRAL ST.
FRAMINGHAM, MASS. 01760
PHONE : 508-655-0082
FAX : 508-655-0083

EROSION CONTROL PLAN OF LAND IN FRAMINGHAM, MASS.

OWNER : APPLICANT :
BARBARA PIECEWICZ
25 RANSOM ROAD
FRAMINGHAM, MA 01702

DEED REFERENCE :
L. C. BOOK 1415, PAGE 115
CERTIFICATE # 251136
SOUTH MIDDLESEX REGISTRY OF DEEDS

ASSESSORS MAP REFERENCE :
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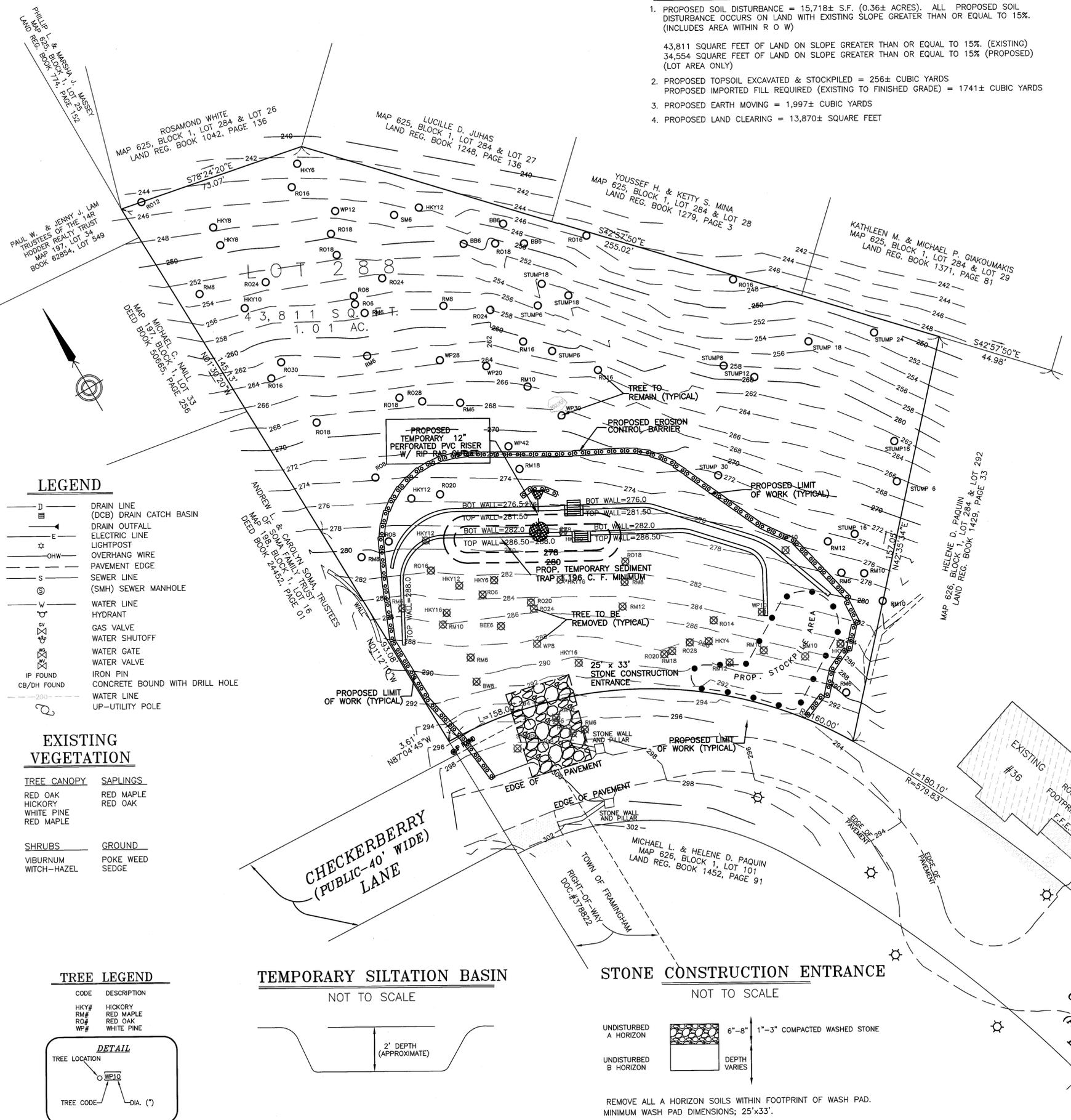


RICHARD M. MAINVILLE
REGISTERED PROFESSIONAL ENGINEER

| REVISIONS | | |
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SCALE : 1" = 20'
DRAWN BY : R.M.M. DATE : JULY 7, 2014
CHECKED BY : J.R.S.

SHEET 2 OF 5
DRAWING NO. 37,067



LEGEND

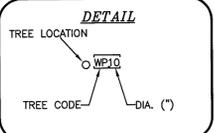
- D DRAIN LINE (DCB) DRAIN CATCH BASIN
- E DRAIN OUTFALL
- EL ELECTRIC LINE
- HP LIGHTPOST
- OHW OVERHANG WIRE
- PE PAVEMENT EDGE
- S SEWER LINE
- SMH (SMH) SEWER MANHOLE
- WL WATER LINE
- HYD HYDRANT
- GV GAS VALVE
- WS WATER SHUTOFF
- WG WATER GATE
- WV WATER VALVE
- IP FOUND IRON PIN
- CB/DH FOUND CONCRETE BOUND WITH DRILL HOLE
- UP UTILITY POLE

EXISTING VEGETATION

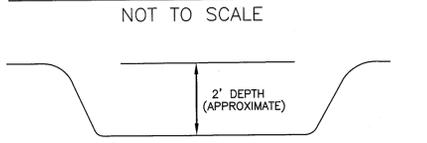
- | | |
|-------------|-----------|
| TREE CANOPY | SAPPLINGS |
| RED OAK | RED MAPLE |
| HICKORY | RED OAK |
| WHITE PINE | |
| RED MAPLE | |
| SHRUBS | GROUND |
| VIBURNUM | POKE WEED |
| WITCH-HAZEL | SEDGE |

TREE LEGEND

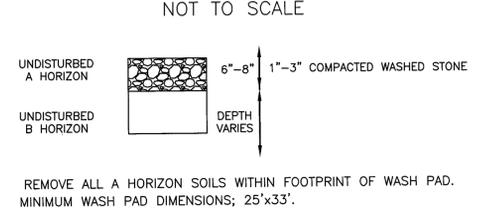
- | CODE | DESCRIPTION |
|------|-------------|
| HKY# | HICKORY |
| RM# | RED MAPLE |
| RO# | RED OAK |
| WP# | WHITE PINE |



TEMPORARY SILTATION BASIN



STONE CONSTRUCTION ENTRANCE



PHILIP L. & MARGA J. MURPHY
 MAP 625, BLOCK 1, LOT 25
 LAND REG. BOOK 774, PAGE 132

ROSAMOND WHITE
 MAP 625, BLOCK 1, LOT 26 & LOT 26
 LAND REG. BOOK 1042, PAGE 136

LUCILLE D. JUHAS
 MAP 625, BLOCK 1, LOT 284 & LOT 27
 LAND REG. BOOK 1248, PAGE 136

YOUSSEF H. & KETTY S. MINA
 MAP 625, BLOCK 1, LOT 284 & LOT 28
 LAND REG. BOOK 1279, PAGE 3

KATHLEEN M. & MICHAEL P. GIAKOUMAKIS
 MAP 625, BLOCK 1, LOT 284 & LOT 29
 LAND REG. BOOK 1371, PAGE 81

HELENE D. PAQUIN
 MAP 626, BLOCK 1, LOT 284 & LOT 292
 LAND REG. BOOK 1429, PAGE 33

MICHAEL L. & HELENE D. PAQUIN
 MAP 626, BLOCK 1, LOT 101
 LAND REG. BOOK 1452, PAGE 91

ANDREW L. & CAROLYN SOMA, TRUSTEES
 MAP 136, BLOCK 1, LOT 16
 DEED BOOK 24452, PAGE 01

PAUL W. & JENNY J. LAM
 TRUSTEES OF THE 1AR
 HODDER REALTY TRUST
 MAP 197, LOT 3A
 BOOK 62854, LOT 549

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 FAX : 508-655-0083

EXISTING SITE CONDITIONS PLAN OF LAND IN FRAMINGHAM, MASS.

OWNER / APPLICANT :
 BARBARA PIECEWICZ
 25 RANSOM ROAD
 FRAMINGHAM, MA 01702

DEED REFERENCE :
 L. C. BOOK 1415, PAGE 115
 CERTIFICATE # 251136
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SCALE : 1" = 20'
 DRAWN BY : R.M.M. DATE : JULY 7, 2014
 CHECKED BY : J.R.S.

SHEET 3 OF 5

DRAWING NO. 37,067

ZONING:

R-4 SINGLE RESIDENCE

- ONE-FAMILY OR TWO-FAMILY DETACHED DWELLINGS
- MINIMUM AREA = 43,560 SQUARE FEET
- MINIMUM FRONTAGE = 100 FEET
- SETBACKS:
 FRONT YARD = 30 FEET OR MORE
 SIDE YARD = 30 FEET
 REAR YARD = 30 FEET
- MINIMUM OPEN SPACE = 50%
- MAXIMUM BUILDING HEIGHT = 3/35
- MAXIMUM LOT COVERAGE = 15%

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 SIDE YARD = 30 FEET
 REAR YARD = 30 FEET
- MINIMUM OPEN SPACE = 50%
- MAXIMUM BUILDING HEIGHT = 3/35
- MAXIMUM LOT COVERAGE = 15%

PROVIDED
 FRONT YARD = 7.4 FEET (PER VARIANCE)
 SIDE YARD = 35.4 FEET
 REAR YARD = 98.0 FEET
 LOT COVERAGE = 9.1%

NOTES:

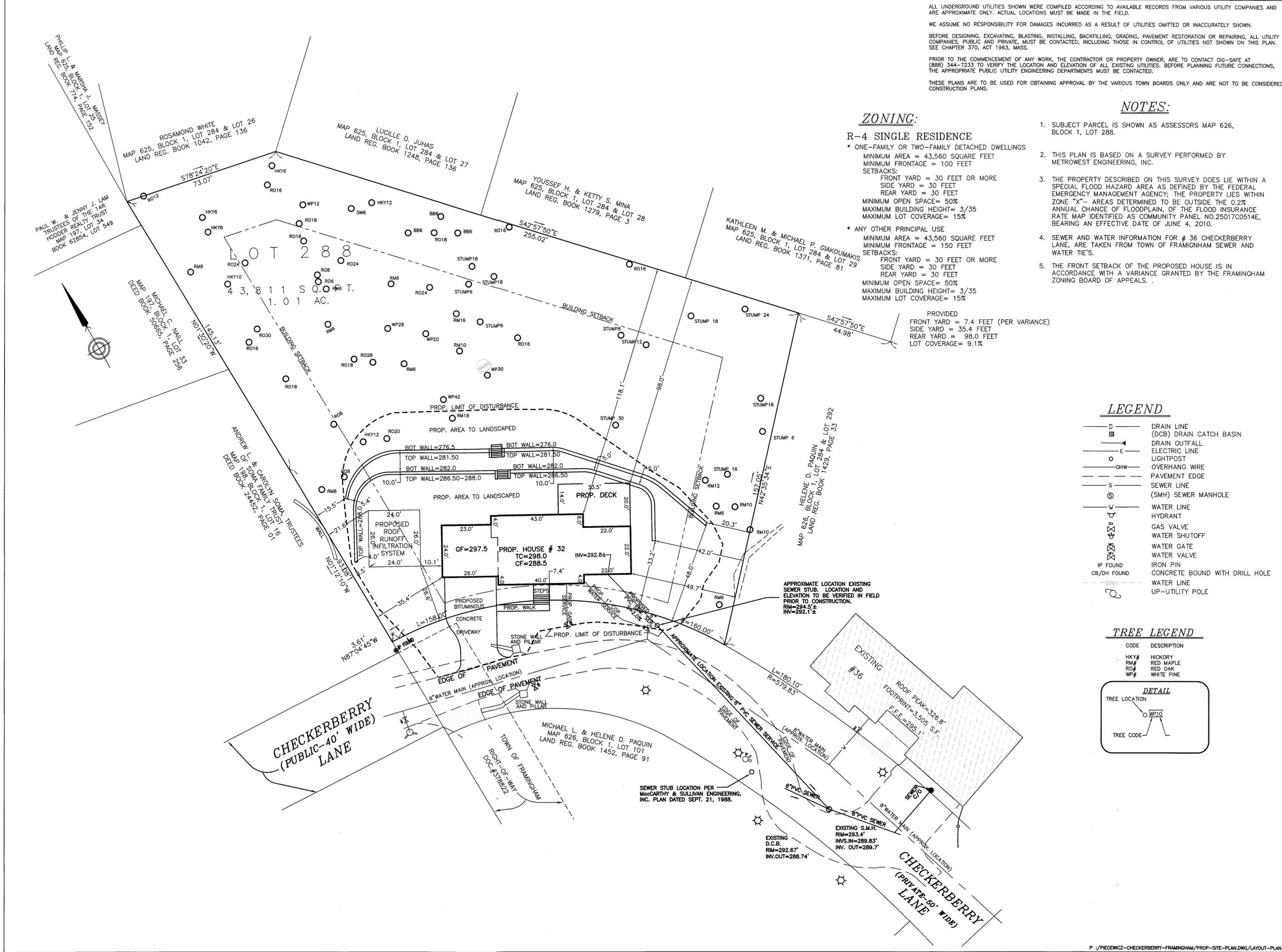
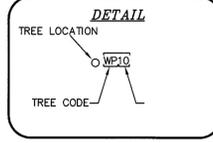
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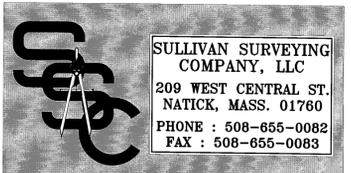
LEGEND

- D DRAIN LINE
- (DCB) DRAIN CATCH BASIN
- DRAIN OUTFALL
- E ELECTRIC LINE
- *
- OHW OVERHANG WIRE
- PAVEMENT EDGE
- S SEWER LINE
- (SMH) SEWER MANHOLE
- WATER LINE
- HYDRANT
- GAS VALVE
- WATER SHUTOFF
- WATER GATE
- WATER VALVE
- IRON PIN
- CONCRETE BOUND WITH DRILL HOLE
- WATER LINE
- UP-UTILITY POLE

TREE LEGEND

- HKY# HICKORY
- RM# RED MAPLE
- RO# RED OAK
- WP# WHITE PINE





PROPOSED DEVELOPED CONDITIONS PLAN OF LAND IN FRAMINGHAM, MASS.

OWNER / APPLICANT :
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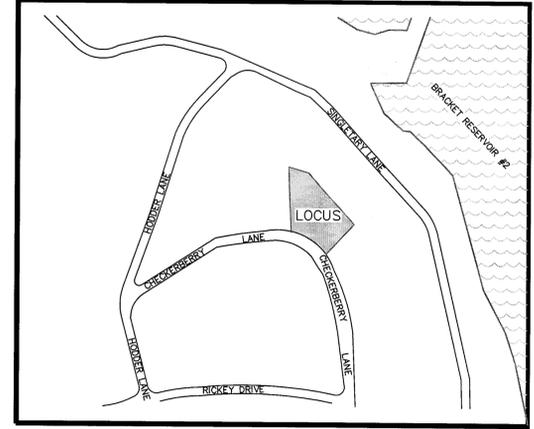
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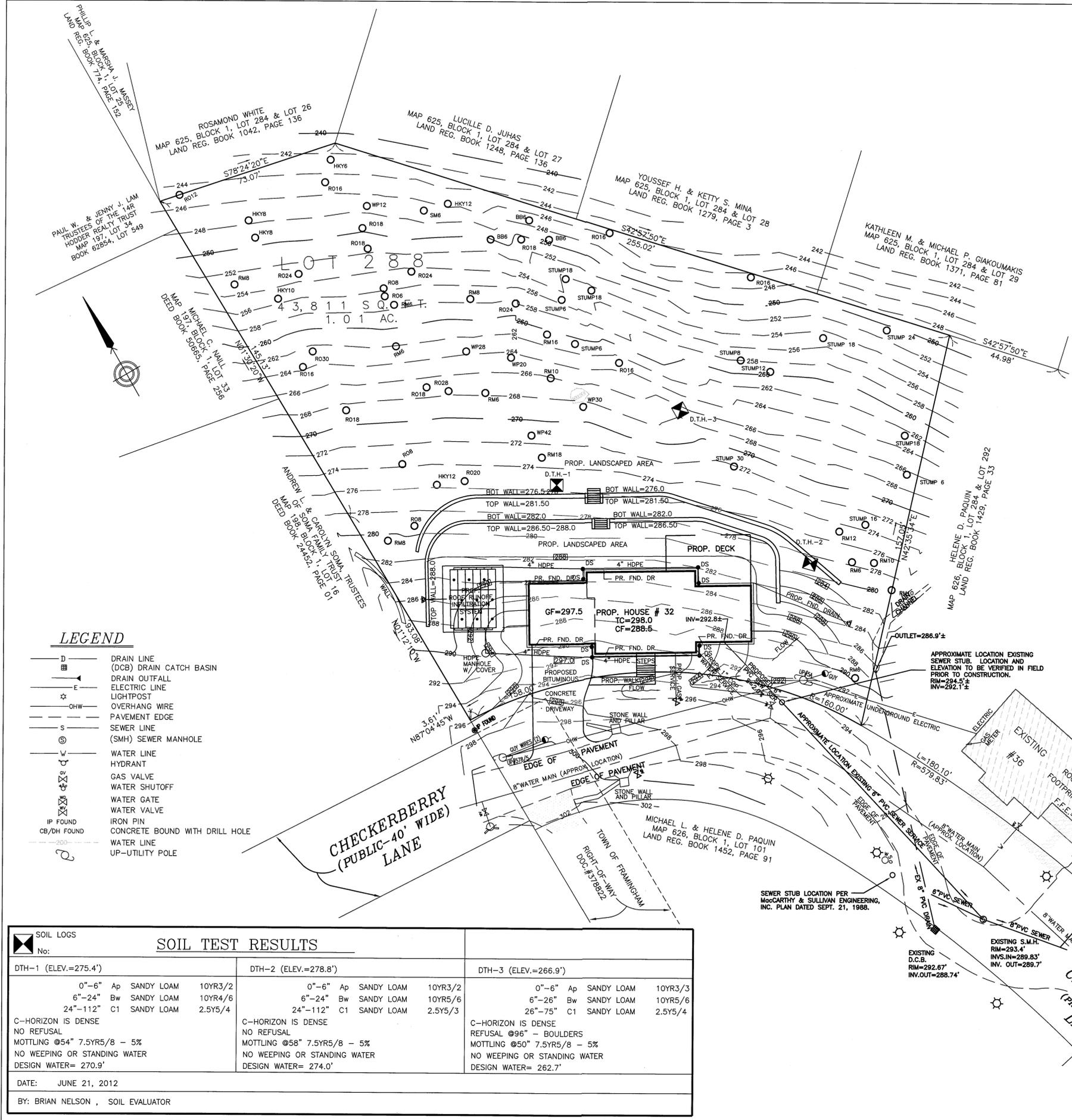
SHEET 4 OF 5
 DRAWING NO. 37,067

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- ELEVATIONS REFER TO NGVD 1929.
- IMPORTED FILL SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (1988), DIVISION III, MATERIALS SPECIFICATION SECTION M1.01.0 "ORDINARY BORROW". THIS SOIL IS TO BE FREE OF ORGANIC MATERIALS AND OTHER DELETERIOUS DEBRIS.
- IMPORTED FILL IN THE FOUNDATION AREA AND UNDER RETAINING WALLS SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE.



LEGEND

| | |
|-------------|--------------------------------|
| D | DRAIN LINE |
| (DCB) | DRAIN CATCH BASIN |
| E | DRAIN OUTFALL |
| — | ELECTRIC LINE |
| * | LIGHTPOST |
| — | OVERHANG WIRE |
| — | PAVEMENT EDGE |
| S | SEWER LINE |
| (SMH) | SEWER MANHOLE |
| — | WATER LINE |
| — | HYDRANT |
| — | GAS VALVE |
| — | WATER SHUTOFF |
| — | WATER GATE |
| — | WATER VALVE |
| IP FOUND | IRON PIN |
| CB/DH FOUND | CONCRETE BOUND WITH DRILL HOLE |
| — | WATER LINE |
| — | UP-UTILITY POLE |

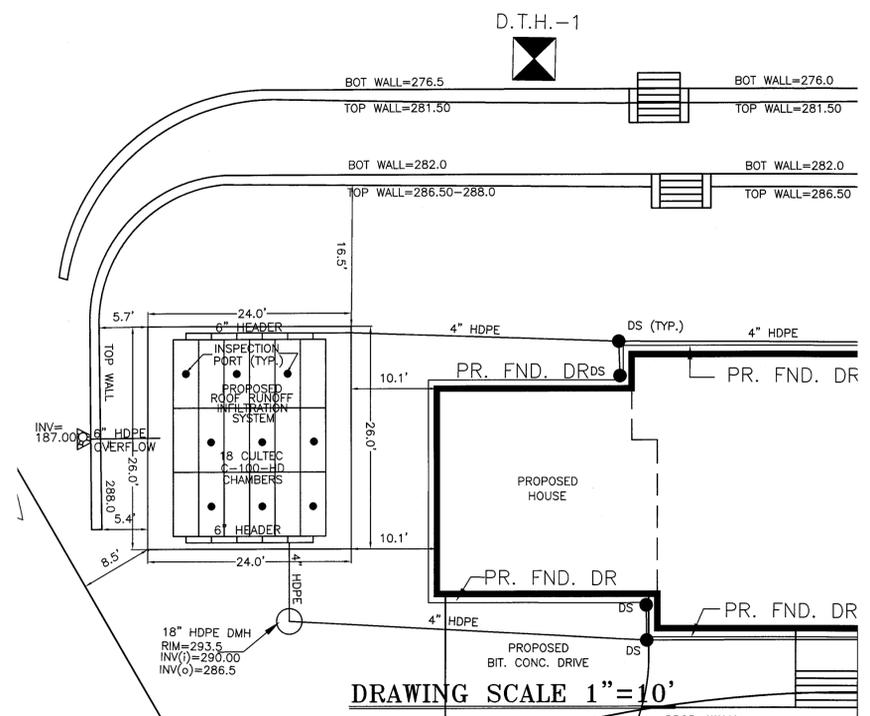
SOIL TEST RESULTS

| SOIL LOGS | | | |
|----------------------------------|---------------|------------------------------|----------|
| No: | | | |
| DTH-1 (ELEV.=275.4') | | DTH-2 (ELEV.=278.8') | |
| 0"-6" | Ap SANDY LOAM | 10YR3/2 | 0"-6" |
| 6"-24" | Bw SANDY LOAM | 10YR4/6 | 6"-24" |
| 24"-112" | C1 SANDY LOAM | 2.5Y5/4 | 24"-112" |
| C-HORIZON IS DENSE | | C-HORIZON IS DENSE | |
| NO REFUSAL | | NO REFUSAL | |
| MOTTLING @54" 7.5YR5/8 - 5% | | MOTTLING @58" 7.5YR5/8 - 5% | |
| NO WEEPING OR STANDING WATER | | NO WEEPING OR STANDING WATER | |
| DESIGN WATER= 270.9' | | DESIGN WATER= 274.0' | |
| DATE: JUNE 21, 2012 | | | |
| BY: BRIAN NELSON, SOIL EVALUATOR | | | |

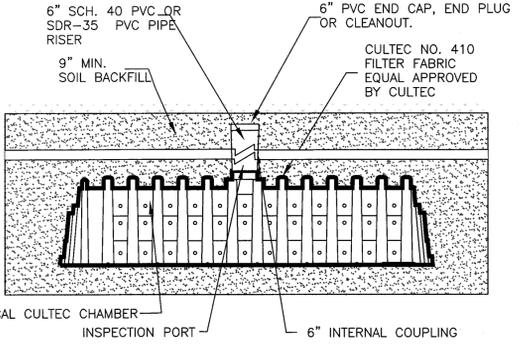
BY: BRIAN NELSON, SOIL EVALUATOR

ZONING:

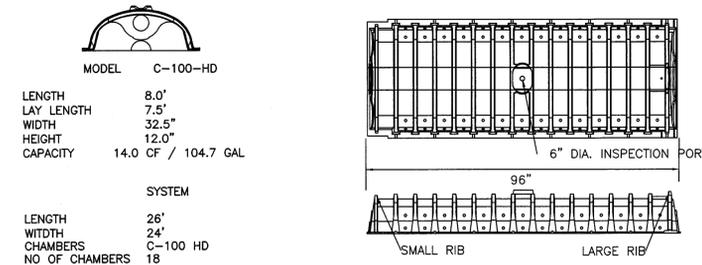
- R-4 SINGLE RESIDENCE**
- ONE-FAMILY OR TWO-FAMILY DETACHED DWELLINGS
 - MINIMUM AREA = 43,560 SQUARE FEET
 - MINIMUM FRONTAGE = 100 FEET
 - SETBACKS:
 - FRONT YARD = 30 FEET OR MORE
 - SIDE YARD = 30 FEET
 - REAR YARD = 30 FEET
 - MINIMUM OPEN SPACE= 50%
 - MAXIMUM BUILDING HEIGHT= 3/35
 - MAXIMUM LOT COVERAGE= 15%
- ANY OTHER PRINCIPAL USE
- MINIMUM AREA = 43,560 SQUARE FEET
 - MINIMUM FRONTAGE = 150 FEET
 - SETBACKS:
 - FRONT YARD = 30 FEET OR MORE
 - SIDE YARD = 30 FEET
 - REAR YARD = 30 FEET
 - MINIMUM OPEN SPACE= 50%
 - MAXIMUM BUILDING HEIGHT= 3/35
 - MAXIMUM LOT COVERAGE= 15%



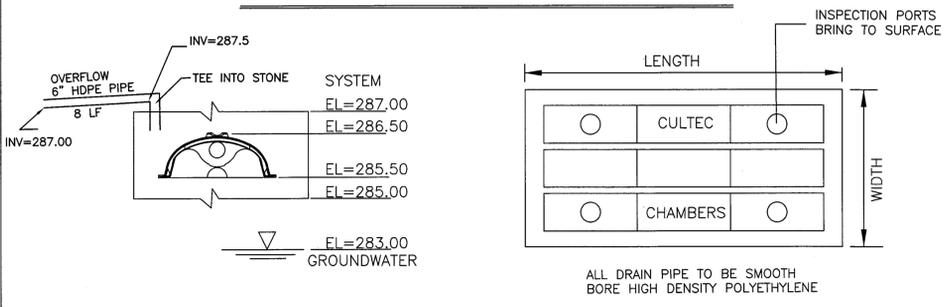
DRAWING SCALE 1"=10'



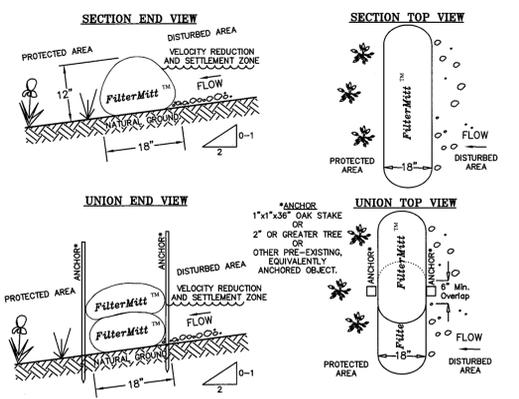
TYPICAL H10 INSPECTION PORT DETAIL



CULTEC CHAMBERS - C-100 HD



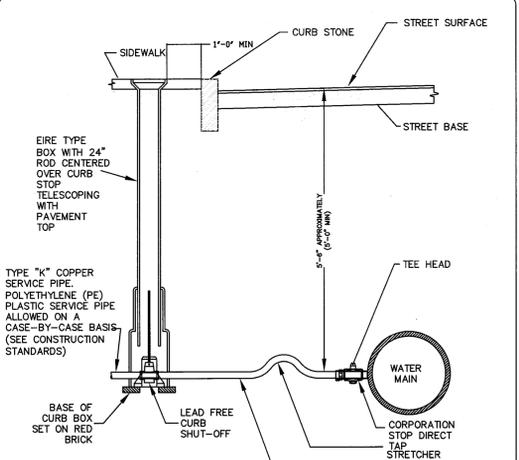
ROOF RUNOFF INFILTRATION SYSTEM



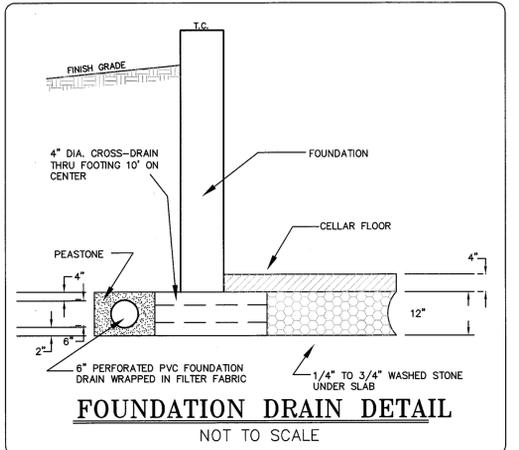
Filter Mitt™ COMPONENTS:
 OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: FiberRoot Match™
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 • Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./1.1.)

Filter Mitt™ INSTALLATION:
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of Filter Mitt™ allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

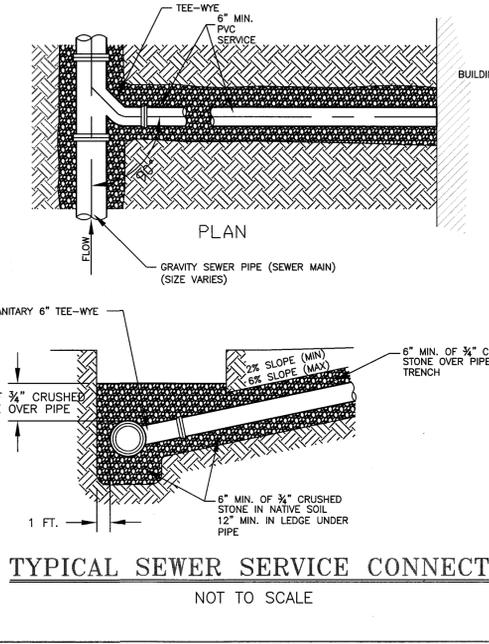
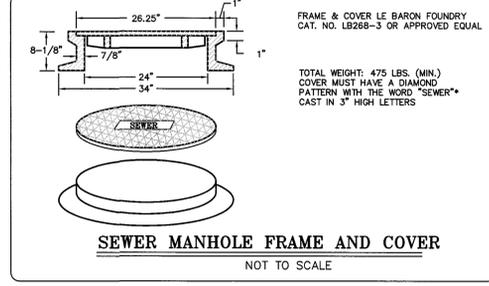
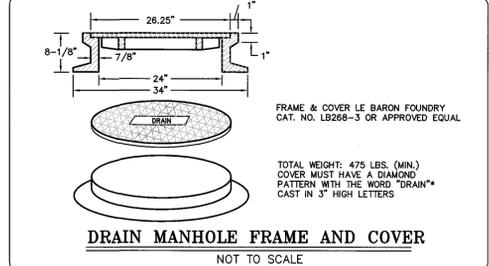
Filter Mitt™ by Groundscapes Express, Inc. 2:1 SLOPES OR LESS NOT TO SCALE
FILTER MITT EROSION CONTROL BARRIER



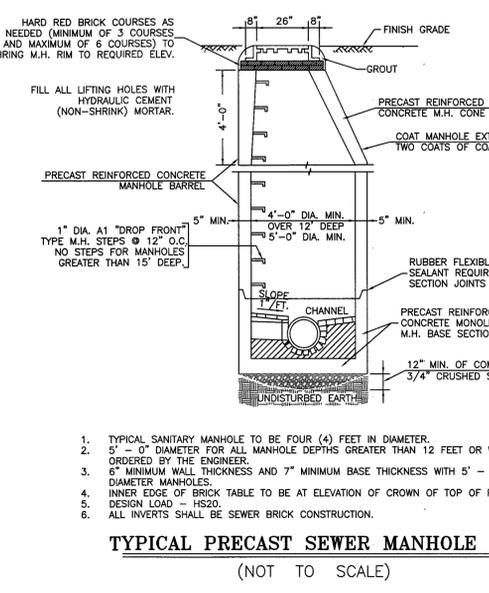
TYPICAL WATER SERVICE CONNECTION NOT TO SCALE



FOUNDATION DRAIN DETAIL NOT TO SCALE



TYPICAL SEWER SERVICE CONNECTION NOT TO SCALE



TYPICAL PRECAST SEWER MANHOLE DETAIL (NOT TO SCALE)

SULLIVAN SURVEYING COMPANY, LLC
 209 WEST CENTRAL ST.
 NATICK, MASS. 01760
 PHONE : 508-655-0082
 FAX : 508-655-0083

DETAIL SHEET OF LAND IN FRAMINGHAM, MASS.

OWNER /APPLICANT :
 BARBARA PIECEWICZ
 25 RANSOM ROAD
 FRAMINGHAM, MA 01702

DEED REFERENCE :
 L. C. BOOK 1415, PAGE 115
 CERTIFICATE # 251136
 SOUTH MIDDLESEX REGISTRY OF DEEDS

ASSESSORS MAP REFERENCE :
 MAP 626, BLOCK 1, LOT 288

ZONING CLASSIF.: R-4 SINGLE RESIDENCE

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JOSEPH R. SULLIVAN
 REG. PROF. LAND SURVEYOR



RICHARD M. MAINVILLE
 REGISTERED PROFESSIONAL ENGINEER

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |

SCALE : 1" = 20' DATE : JULY 7, 2014
 DRAWN BY : R.M.M. CHECKED BY : J.R.S.

P-1/PIECWICZ-CHECKERBERRY-FRAMINGHAM/PROP-SITE-PLAN.DWG/DETAILS