

Site Plans

Issued for: **Local Approvals**

Date Issued: February 28, 2014

Latest Issue: February 28, 2014

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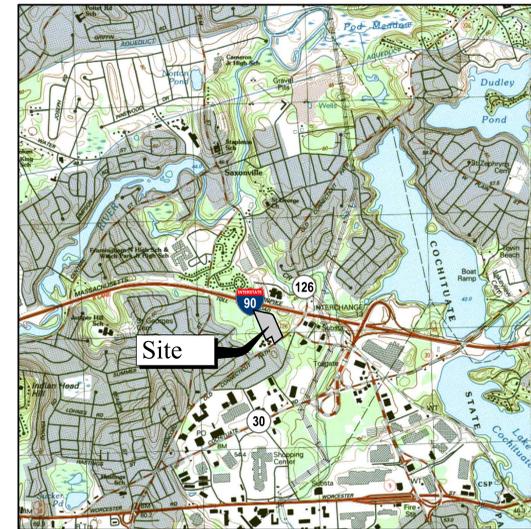
Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	2/28/2014
C-2	Abutters Plan	2/28/2014
C-3	Layout and Materials Plan	2/28/2014
C-4	Grading and Drainage Plan	2/28/2014
C-5	Utility Plan	2/28/2014
C-6.1 - C6.4	Site Details	2/28/2014
L-1 - L-2	Planting Plan	2/28/2014

Reference Drawings

Number	Drawing Title	Latest Issue
SV-1	Existing Condition Plan of Land	2/21/2014
	Subdivision Plan of Land in Framingham Massachusetts	2/14/2014
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E0.2	Photometric Site Plan	2/28/2014

Life Time Athletic

490 Old Connecticut Path
Framingham, Massachusetts



Site Location Map

Property Owners

Owner:

CR 21 LLC
c/o National Development
2310 Washington Street
Newton Lower Falls, MA 02462
Parcel ID:100/348.0-0112-0001.B

Owner:

Four 32 Old Connecticut Path
c/o Parsons Commercial Group
1881 Worcester Road, Suite 200
Framingham, MA 01701
Parcel ID:100/348.0-0112-0001.0

Applicant:

CR 21 LLC
c/o National Development
2310 Washington Street
Newton Lower Falls, MA 02462
Parcel ID:100/348.0-0112-0001.B

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.



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Project Surveyor:

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Watertown, MA 02471
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10401 Bren Road East
Minnetonka, MN 55343
952-930-0050



Legend

Exist.	Prop.	Exist.	Prop.	
				PROPERTY LINE
				PROJECT LIMIT LINE
				RIGHT-OF-WAY/PROPERTY LINE
				EASEMENT
				BUILDING SETBACK
				PARKING SETBACK
				BASELINE
				CONSTRUCTION LAYOUT
				ZONING LINE
				TOWN LINE
				LIMIT OF DISTURBANCE
				WETLAND LINE WITH FLAG
				FLOODPLAIN
				BORDERING LAND SUBJECT TO FLOODING
				WETLAND BUFFER ZONE
				NO DISTURB ZONE
				200' RIVERFRONT AREA
				GRAVEL ROAD
				EDGE OF PAVEMENT
				BITUMINOUS BERM
				BITUMINOUS CURB
				CONCRETE CURB
				CURB AND GUTTER
				EXTRUDED CONCRETE CURB
				MONOLITHIC CONCRETE CURB
				PRECAST CONC. CURB
				SLOPED GRAN. EDGING
				VERT. GRAN. CURB
				LIMIT OF CURB TYPE
				SAWCUT
				BUILDING
				BUILDING ENTRANCE
				LOADING DOCK
				BOLLARD
				DUMPSTER PAD
				SIGN
				DOUBLE SIGN
				STEEL GUARDRAIL
				WOOD GUARDRAIL
				PATH
				TREE LINE
				WIRE FENCE
				FENCE
				STOCKADE FENCE
				STONE WALL
				RETAINING WALL
				STREAM / POND / WATER COURSE
				DETENTION BASIN
				HAY BALES
				SILT FENCE
				SILT SOCK / STRAW WATTLE
				MINOR CONTOUR
				MAJOR CONTOUR
				PARKING COUNT
				COMPACT PARKING STALLS
				DOUBLE YELLOW LINE
				STOP LINE
				CROSSWALK
				ACCESSIBLE CURB RAMP
				ACCESSIBLE PARKING
				VAN-ACCESSIBLE PARKING

Matchline

Abbreviations

General

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LO	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

General

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PHOTO DOCUMENT CONDITIONS ALONG THE LIMIT OF WORK AS PART OF A PRE-CONSTRUCTION SITE WALK.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER. REFER TO ADDITIONAL EROSION CONTROL NOTES ALSO LOCATED ON THIS SHEET.
- THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
- ANY PROPOSED SURFACE OPENINGS AND EXCAVATION WORK WITHIN THE TOWN RIGHT-OF-WAY LIMITS (PUBLIC WAYS) WILL REQUIRE A STREET OPENING PERMIT (SOP) WITH THE WORK CONDUCTED UNDER SAID PERMIT BEING PERFORMED IN COMPLIANCE WITH THE TOWN OF FRAMINGHAM SOP POLICY. PER THIS POLICY, APPROPRIATE AND ADEQUATE INSURANCE AND SURETY SHALL BE PROVIDED TO COVER THE PROPOSED WORK. SURETY VALUE TO BE DETERMINED BASED ON THE PROPOSED WORK.
- A TRENCH OPENING PERMIT (TOP) SHALL BE OBTAINED PRIOR TO THE EXCAVATION OF ANY TRENCH. A TRENCH IS DEFINED UNDER MGL 82A AND 52D CMR 14.00 AS ANY EXCAVATION GREATER THAN 3' IN DEPTH AND LESS THAN 15' BETWEEN SOIL WALLS AS MEASURED FROM THE BOTTOM. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED, AND SHEETED, AS NECESSARY, FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
- IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES, IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF LIFE TIME ATHLETIC, OR OTHERWISE APPLY THE MORE STRINGENT STANDARD.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

Utilities

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- ALL WORK WITHIN PUBLIC WAYS AND ASSOCIATED WITH WATER DISTRIBUTION AND SEWAGE COLLECTION MUST BE INSPECTED BY A FRAMINGHAM DEPARTMENT OF PUBLIC WORKS UTILITY INSPECTOR. TO SCHEDULE A PRE-CONSTRUCTION MEETING, CONTACT THE TOWN OF FRAMINGHAM ENGINEERING DIVISION AT (508) 532-6022 OR (508) 532-6010 48 HOURS PRIOR TO THE START OF WORK. ALL SITE DRAINAGE, WATER, AND SANITARY SEWER WORK OUTSIDE OF A BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSE FRAMINGHAM DRAINLAYER.
- SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - WATER PIPES SHALL BE DUCTILE IRON CLASS 52 OR GREATER. WATER SERVICE PIPES SHALL BE TYPE K COPPER AND FITTINGS SHALL BE LEAD FREE.
 - SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE SDR-35 SEWER PIPE OR GREATER.
 - ON SITE STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE). DRAINAGE PIPES WITH TOWN OF FRAMINGHAM RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE PIPE (RCP).
 - PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
 - REFER TO TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS FOR DETAIL REGARDING UTILITY MATERIALS AND INSTALLATION REQUIREMENTS.

Notes:

- WATER MAINS AND APPURTENANCES SHALL BE PRESSURE TESTED, DISINFECTED, AND FLUSHED IN ACCORDANCE WITH TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS. SEWER MAINS AND MANHOLES SHALL BE PRESSURE/VACUUM TESTED, MANDREL TESTED, AND VIDEO INSPECTED IN ACCORDANCE WITH TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS. DPW PERSONNEL SHALL WITNESS THIS WATER AND SEWER UTILITY TESTED AND SHALL BE PROVIDED WITH TEST DOCUMENTATION.
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. CURBING IN TOWN OF FRAMINGHAM RIGHT-OF-WAY SHALL BE 7" REVEAL VERTICAL GRANITE CURB UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- MATERIALS SPECIFIED HEREIN FOR THE PROJECT MAY BE SUBSTITUTED FOR AN ALTERNATE OF EQUAL FUNCTION WITH THE APPROVAL OF OWNER AND ENGINEER.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL TO THE SITE PROPERTY LINES.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. UTILITY STUB LOCATIONS SHALL BE MARKED AT THE PROPERTY LINE.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- AS OUTLINED IN GENERAL NOTES 13 & 14, PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL APPLICABLE PERMITS AND REGULATIONS.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JULY, 2009 AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN JULY, 2009 AND UPDATED IN OCTOBER, 2013.
- DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY VHB, INC. IN OCTOBER, 2013.
- FLAGS MARKING THE WETLANDS WERE LOCATED BY GPS METHODS BY VHB, INC. IN OCTOBER, 2013.
- THE FRAMINGHAM CONSERVATION COMMISSION ISSUED AN ORDER OF RESOURCE AREA DELINEATION ON JANUARY 23, 2014 UNDER MASSDEP FILE NUMBER 158-1302 APPROVING THE BOUNDARIES AND ASSOCIATED BUFFER ZONES.
- TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED BY SANBORN HEAD.

Document Use & Plan Intent

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- THESE PLANS DEPICT THE PROJECT AT A LEVEL OF DETAIL SUFFICIENT TO MEET THE REQUIREMENTS OF PERMITTING BUT ARE NOT INTENDED TO INCLUDE DETAILS SUFFICIENT FOR CONSTRUCTION.

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

LIFETIME
THE HEALTHY WAY OF LIFE COMPANYSM
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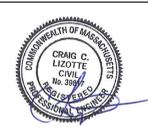
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ND NATIONAL DEVELOPMENT

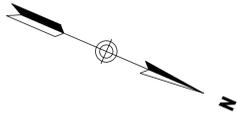
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REVISIONS

NO.	DATE	DESCRIPTION



PROJECT NAME	PUBLICATIONS	DATE	SHEET NO.
LIFE TIME ATHLETIC - FRAMINGHAM	Issued For Local Approvals	02/28/2014	C-1
SHEET TITLE	PROJECT ADDRESS	APPROVED BY:	DRAWN BY:
LEGEND AND GENERAL NOTES	490 Old Connecticut Path Framingham, MA	JWD	BMG
		APPLICATION NUMBER:	



Notes

1. PROPERTY BOUNDARIES IMPORTED FROM MASS GIS DATALAYERS.
2. PROPERTY INFORMATION FROM TOWN OF FRAMINGHAM ASSESSOR'S ONLINE DATABASE.
3. ZONING BOUNDARIES APPROXIMATED USING TOWN OF FRAMINGHAM ZONING MAP REVISED FEBRUARY 1, 2007.

Parcel ID	No.	Street Name	Owner
100/272.0-0141-0057.0	0	ARLENE DR	N/F TOWN OF FRAMINGHAM
100/272.0-0141-0057.0	0	CONCORD ST OFF	N/F DORAN BRENDAN & PHYLLIS A
100/271.0-0138-0012.0	0	EMILY RD	N/F ROMAR CONSTRUCTION CO
100/271.0-0138-0013.0	0	EMILY RD	N/F ROMAR CONSTRUCTION CO
100/266.0-0133-0023.0	31	EMILY RD	N/F SUSAN HARRIET A
100/266.0-0133-0033.0	33	EMILY RD	N/F STARK, LUIZO TR
100/271.0-0138-0010.0	34	EMILY RD	N/F CALLOE, MARY A
100/266.0-0133-0031.0	37	EMILY RD	N/F HANNON, TIMOTHY B
100/271.0-0138-0007.0	18	FEMIA RD	N/F KLING, BARRY S & MARCO D
100/271.0-0138-0008.0	20	FEMIA RD	N/F GANNON, MICHAEL P
100/271.0-0138-0009.0	22	FEMIA RD	N/F BARNUM, STEVEN D & DIANE M
100/272.0-0140-0245.0	0	FISHER AVE	N/F FOUR 32 OLD CONNECTICUT PATH
100/272.0-0138-0096.0	1277	FISHER AVE	N/F TOWN OF FRAMINGHAM TAX TITLE
100/271.0-0138-0011.0	0	GIBBS ST	N/F ROMAR CONSTRUCTION CO
100/272.0-0141-0063.0	14	GIBBS ST	N/F DOWNING, ROBERT F & BERNADETTE
100/349.0-0115-0002.D	168	NEWBURY ST	N/F CHAMBERS STUART II & KATHLEEN
100/349.0-0115-0002.B	172	NEWBURY ST	N/F NG GAN SONG ETAL, BI ZHEN CHEN
100/349.0-0115-0002.A	174	NEWBURY ST	N/F NG SAU TING & CHAN, SAU YAM
100/349.0-0115-0001.E	178	NEWBURY ST	N/F PERL, LAWRENCE E
100/349.0-0115-0001.D	180	NEWBURY ST	N/F WANG, JAHUI
100/349.0-0115-0001.C	182	NEWBURY ST	N/F RELLY, JOHN F & MARTINEZ, SHAWNDR A
100/632.0-0001-0005.A	423	OLD CONNECTICUT PATH	N/F STONE, BRUCE H TR
100/632.0-0001-0006.A	429	OLD CONNECTICUT PATH	N/F SCHNEIDER HERMAN & ETTA
100/349.0-0115-0003.A	433	OLD CONNECTICUT PATH	N/F OCPD, LLC
100/349.0-0115-0003.B	437	OLD CONNECTICUT PATH	N/F ALICE LEBEWOL, LLC
100/348.0-0112-0003.0	438	OLD CONNECTICUT PATH	N/F SAXONY APARTMENTS INC
100/349.0-0115-0003.0	441	OLD CONNECTICUT PATH	N/F ALICE OGDEN LEBEWOL, LLC
100/349.0-0115-0001.0	445	OLD CONNECTICUT PATH	N/F KUMAR, SACHINDRA
100/349.0-0115-0001.B	447	OLD CONNECTICUT PATH	N/F CASEY PAUL F & ANABEL P
100/348.0-0112-0004.0	458	OLD CONNECTICUT PATH	N/F GUSTIN, SARAH TRUSTEE
100/348.0-0112-0002.B	492	OLD CONNECTICUT PATH	N/F CRP-3 FRAMINGHAM CORP CTR LLC
100/348.0-0112-0002.0	495	OLD CONNECTICUT PATH	N/F HUGHES, SCOTT R TR



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

LIFETIME
THE HEALTHY WAY OF LIFE COMPANY
2902 CORPORATE PLACE
CHANHASSEN, MN 55317

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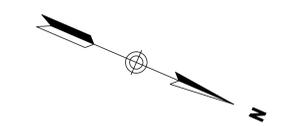


PROJECT NAME
LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE
ABUTTERS PLAN

PUBLICATIONS
Issued For Local Approvals
PROJECT ADDRESS
490 Old Connecticut Path Framingham, MA

DATE
02/28/2014

SHEET NO.
C-2
APPROVED BY: JWD
DRAWN BY: BMG
APPLICATION NUMBER:



Zoning Summary Chart

Zoning District(S):	General Manufacturing (M)		
Overlay District(S):	N/A		
Zoning Regulation Requirements	Existing	Required	Provided
MINIMUM LOT AREA	398,994 SF	6,000 SF	429,041 SF*
FRONTAGE		50 Feet	
OLD CONNECTICUT PATH	321.5± Feet	---	321.5± Feet
SEALTEST DRIVE	1,249± Feet	---	1,249± Feet
FRONT YARD SETBACK	13.3 Feet	50 Feet	88.3 Feet
SIDE YARD SETBACK	116.5 Feet	15 Feet	109.4 Feet†
REAR YARD SETBACK	82.9 Feet	15 Feet	30.2 Feet†
MAXIMUM FLOOR AREA RATIO	0.30	0.32	
MAXIMUM BUILDING HEIGHT	2 Stories	6 Stories/80 Feet*	3 Stories/< 80 Feet
MINIMUM LANDSCAPE OPEN SPACE RATIO	26.3% (104,927 SF)	20% (85,809 SF)	26.8% (114,947 SF)

- EXISTING LOT AREA AT 490 OLD CONNECTICUT PATH OF 398,994 SF PLUS 30,047 SF ADDITIONAL LOT AREA FROM 432 OLD CONNECTICUT PATH.
- MEASURED TO OUTDOOR BISTRO (CLOSEST BUILDING TO SIDE & REAR PROPERTY LINES).
- TOTAL GSF OF BUILDINGS IS EQUAL TO 137,300 (136,500 MAIN BUILDING) & 800 (BISTRO). TOTAL LOT AREA INCLUDES EXISTING LOT AREA AND PROPOSED ADDITIONAL PROPERTY FROM 432 OLD CONNECTICUT PATH.
- THE FOLLOWING HEIGHT REGULATIONS APPLY RELATIVE TO DISTANCES FROM A RESIDENTIAL DISTRICT: FROM 50 FT--200 FT=40 FT HIGH, FROM 200 FT--300 FT= 50 FT HIGH, FROM 300 FT--400 FT= 60 FT HIGH, AND GREATER THAN 400 FT= 80 FT HIGH ACCORDING TO THE MASS GIS DATA OF FRAMINGHAM ZONING THE LTF BUILDING IS LOCATED 470± FROM A RESIDENTIAL DISTRICT.

Parking Summary Chart

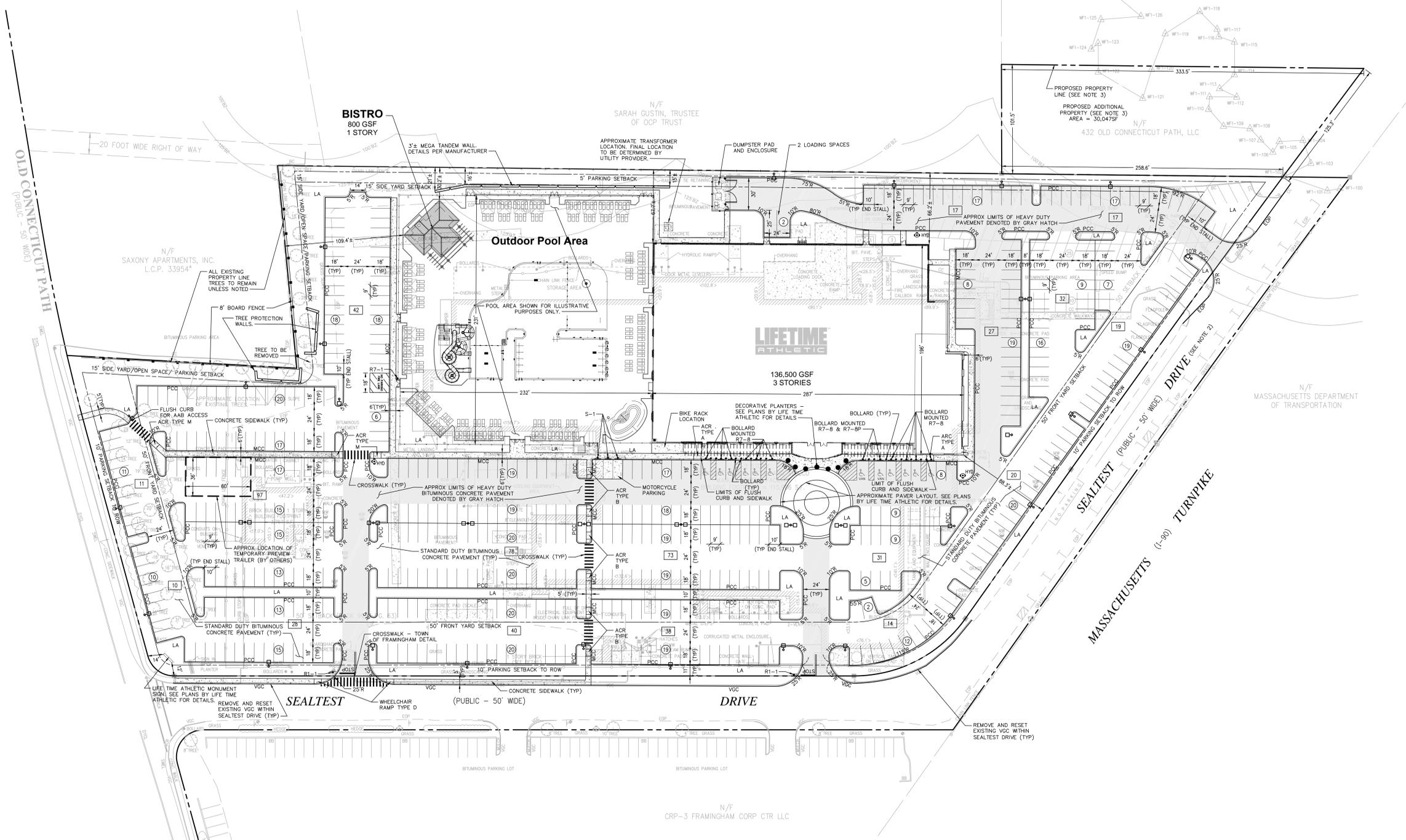
Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	582	582
STANDARD ACCESSIBLE SPACES *	8 x 18	9 x 18	10	10
VAN ACCESSIBLE SPACES	11 x 18	11 x 18	2	2
TOTAL SPACES			594	594
LOADING BAYS**			2	2

* ADA/STATE/LOCAL REQUIREMENTS
 ** LOADING BAYS: TWO BAYS FOR OVER 50,000 SF (RECREATION & ENTERTAINMENT USE)

Parking Requirements:
 HEALTHCARE: 1 SPACE / 3 OCCUPANTS THE FACILITY IS INTENDED TO ACCOMMODATE 1,782 OCCUPANTS (estimated) / 3 = 594 SPACES REQUIRED.

Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R7-1	12"	18"	NO PARKING ANY TIME
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE
S-1	24"	18"	MOTORCYCLE PARKING



Notes

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- LIMITS OF PAVING (RECLAMATION OR FILL & OVERLAY) WITHIN SEALTEST DRIVE TO BE DETERMINED AS PART OF OFF-SITE ROADWAY IMPROVEMENTS.
- FOLLOWING APPROVAL OF PROJECT BY PLANNING BOARD, OWNER WILL ACQUIRE APPROXIMATELY 30,047 SQUARE FEET OF LAND FROM ADJACENT PARCEL 432 OLD CONNECTICUT PATH AND WILL COMBINE IT WITH THE SITE, BY ANR PLAN, TO ACHIEVE FINAL TOTAL SITE AREA OF 429,041 SQUARE FEET.
- WH ENVIRONMENTAL SCIENTISTS DELINEATED WETLANDS ON ADJACENT PARCEL IN OCTOBER, 2013. THE FRAMINGHAM CONSERVATION COMMISSION ISSUED AN ORDER OF RESOURCE AREA DELINEATION ON JANUARY 23, 2014 UNDER MASSDEP FILE NUMBER 158-1302 APPROVING THE BOUNDARIES AND ASSOCIATED BUFFER ZONES.
- REFER TO SHEET C-1 FOR LEGEND AND GENERAL NOTES. REFER TO SHEETS 5.1 - 5.4 FOR DETAILS.



FRAMINGHAM PLANNING BOARD
 DEFINITIVE DEVELOPMENT PLAN APPROVALS

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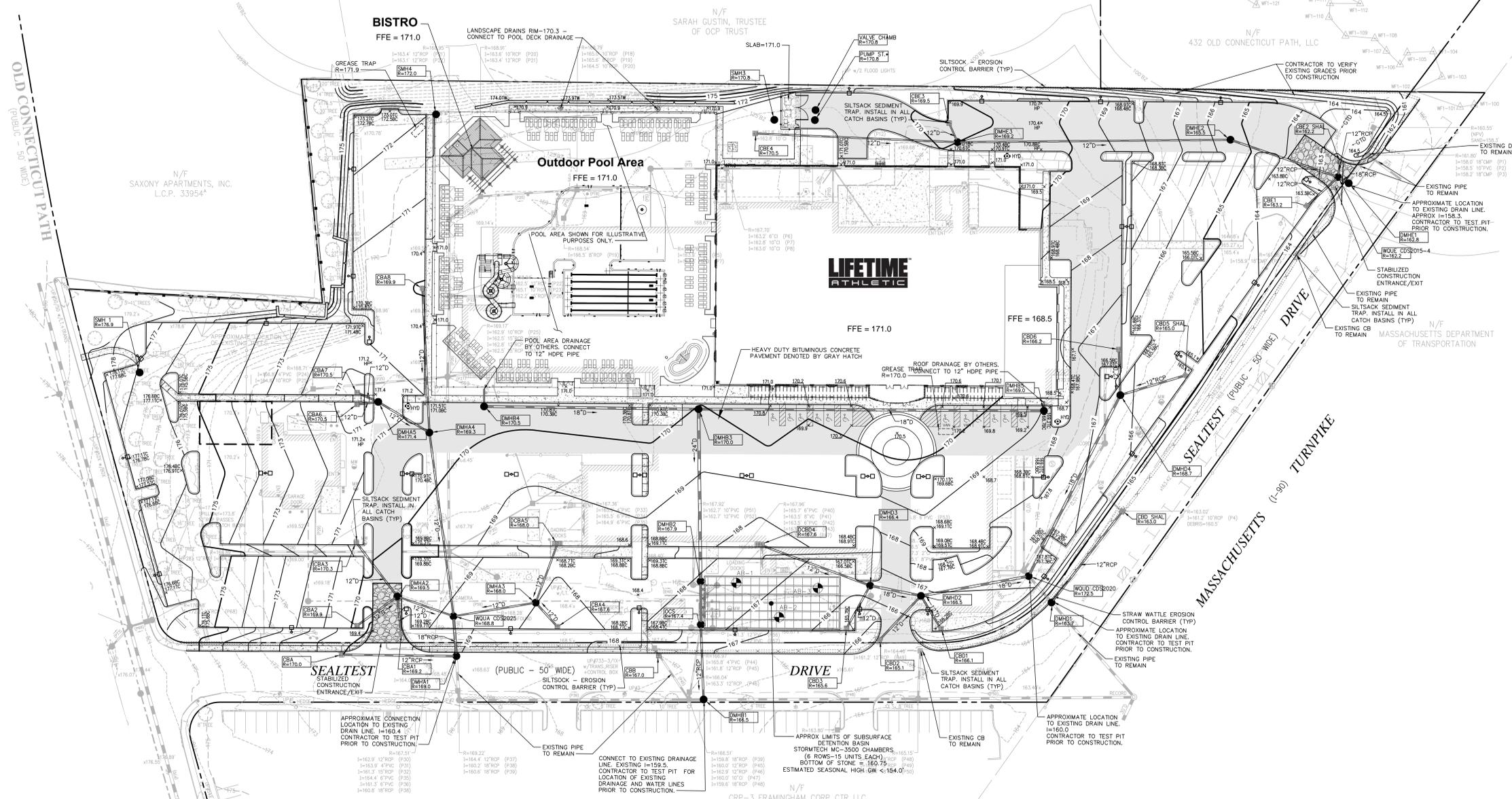
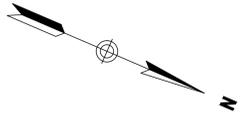


PROJECT NAME: **LIFE TIME ATHLETIC - FRAMINGHAM**
 SHEET TITLE: **LAYOUT AND MATERIALS PLAN**

PUBLICATIONS	DATE	SHEET NO.
Issued For Local Approvals	02/28/2014	C-3
PROJECT ADDRESS	APPROVED BY: JWD	
490 Old Connecticut Path Framingham, MA	DRAWN BY: BMG	
	APPLICATION NUMBER:	

Notes

1. **PLAN INTENT:** THIS PLAN DEPICTS THE PROJECT AT A LEVEL OF DETAIL SUFFICIENT TO MEET THE REQUIREMENTS OF PERMITTING BUT IS NOT INTENDED TO INCLUDE DETAILS SUFFICIENT FOR CONSTRUCTION.
2. LIMITS OF PAVING (RECLAMATION OR MILL & OVERLAY) WITHIN SEALTEST DRIVE TO BE DETERMINED AS PART OF OFF-SITE ROADWAY IMPROVEMENTS.
3. SEVERAL ASSUMPTIONS WERE MADE IN THE GRADING PLAN DESIGN. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING HIS OWN DIRT TAKE-OFF OF THE PROPOSED GRADING AND SHALL EVALUATE THE GEOTECHNICAL REPORT TO MAKE HIS OWN ASSUMPTIONS PRIOR TO THE START OF GRADING. IF IT IS DETERMINED THAT THE ENGINEER MADE AN INCORRECT ASSUMPTION OR THAT FIELD CONDITIONS ARE DIFFERENT THAN ASSUMED, THE GRADING CONTRACTOR IS RESPONSIBLE FOR IMMEDIATELY INFORMING ENGINEER/OWNER OF ANY DISCREPANCIES IN GRADING QUANTITIES SO THAT THE SITE CAN BE RAISED OR LOWERED AS NECESSARY TO ACHIEVE A SITE BALANCE.
4. THE CONTRACTORS BID FOR SITE GRADING SHALL ASSUME THAT ANY IMPORT OR EXPORT NOT IDENTIFIED IN THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE BID, AND NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE GRADING CONTRACTOR FOR HAULING OFF OR IMPORT OF FILL UNLESS MUTUALLY AGREED TO BY OWNER.
5. CONTOURS SHOWN ARE FOR FINISHED PAVEMENT, SIDEWALK, SLAB OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
6. THE CONTRACTOR SHOULD VERIFY ALL EARTHWORK QUANTITIES SHOWN OR NOT SHOWN ON THE CONSTRUCTION PLANS.
7. IF DURING THE GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE GEOTECHNICAL ENGINEER SHALL BE CONTACTED FOR RECOMMENDATION.
8. ON-SITE MATERIALS SUITABLE FOR FILL BENEATH DRIVES AND PARKING AREAS BEYOND 5- FEET OF THE BUILDING SHALL BE COMPACTED IN ACCORDANCE WITH GUIDELINES PRESENTED IN THE GEOTECHNICAL REPORT.
9. SPOT ELEVATIONS SHOWN TAKE PRECEDENCE OVER CONTOUR AND SLOPES SHOWN. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, GUTTER, AND UTILITIES.
10. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT, AND SHALL BE CONSIDERED INCIDENTAL.
11. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE GEOTECHNICAL REPORT PREPARED FOR THE PROJECT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE REPORT ON THE SITE AT ALL TIMES.
12. ALL LANDSCAPE ISLANDS SHALL HAVE A CROWN OF TOPSOIL PRIOR TO LANDSCAPING. REFER TO LANDSCAPE PLAN FOR SPECIFICATIONS.
13. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IF ANY REPAIRS ARE TO BE NEEDED. ALL EXISTING STRUCTURES AND PIPES SHALL BE CLEANED OF SILT AND DEBRIS BEFORE CONSTRUCTION COMMENCES, AND AFTER THE SITE HAS BEEN CONSTRUCTED.
14. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO COST TO THE OWNER.
15. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
16. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
17. REFER TO SHEET C-1 FOR LEGEND AND ADDITIONAL NOTES. REFER TO SHEETS 5.1-5.3 FOR DETAILS.



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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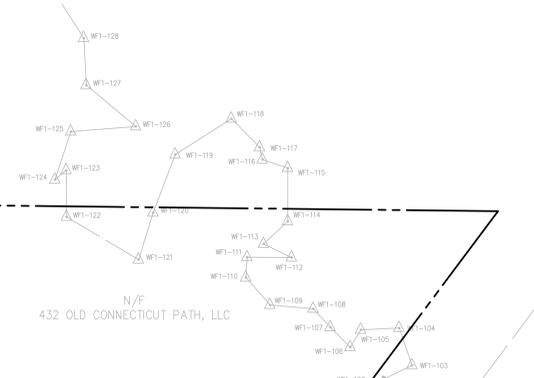
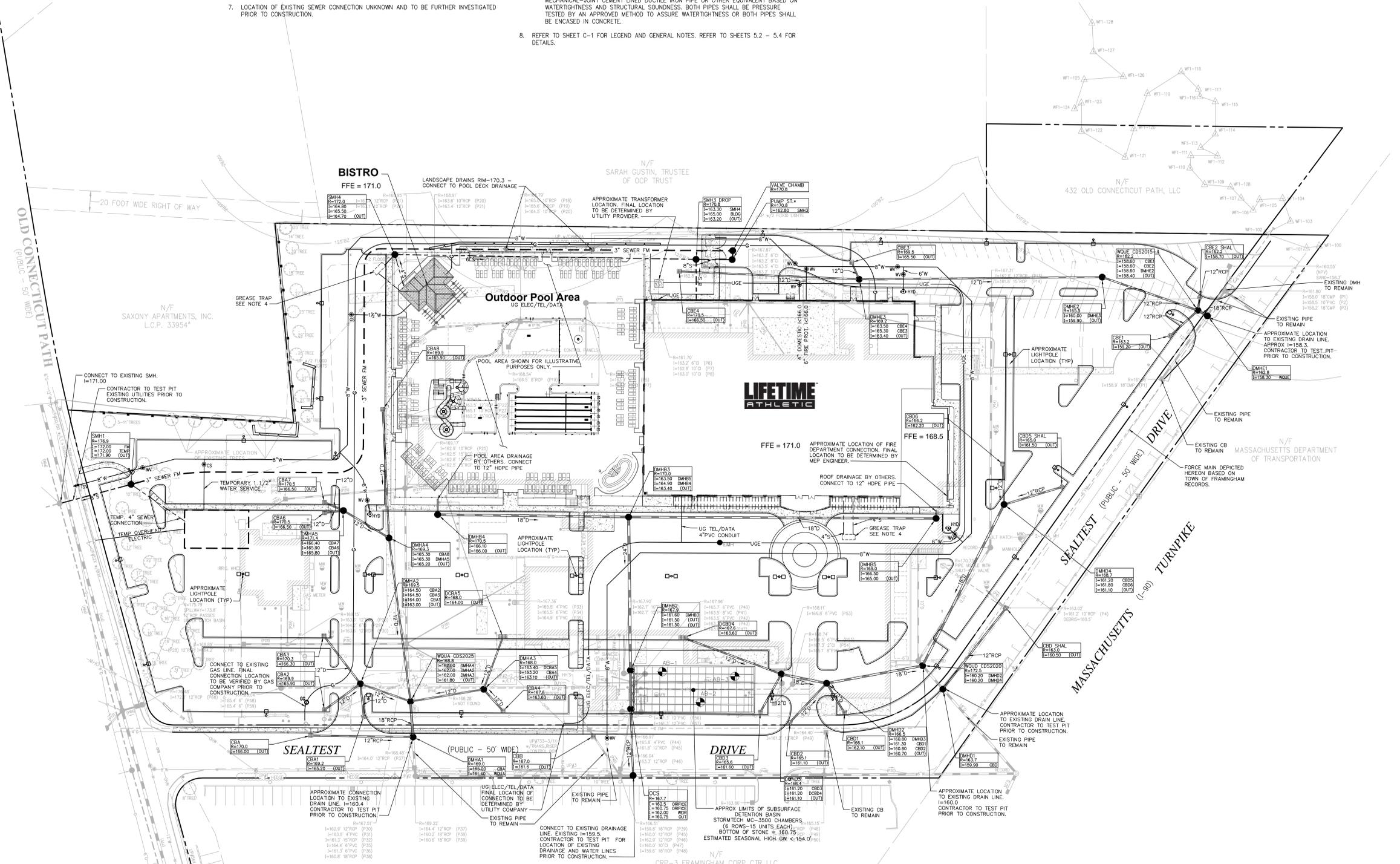
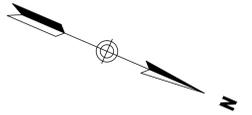


PROJECT NAME
LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE
GRADING AND DRAINAGE PLAN

PUBLICATIONS	DATE	SHEET NO.
Issued For Local Approvals	02/28/2014	C-4
PROJECT ADDRESS	APPROVED BY: JWD DRAWN BY: BMG APPLICATION NUMBER:	
490 Old Connecticut Path Framingham, MA		

Notes

1. **PLAN INTENT:** THIS PLAN DEPICTS THE PROJECT AT A LEVEL OF DETAIL SUFFICIENT TO MEET THE REQUIREMENTS OF PERMITTING BUT IS NOT INTENDED TO INCLUDE DETAILS SUFFICIENT FOR CONSTRUCTION.
2. **PUMP STATION:** PUMP STATION TO BE DESIGNED TO CONVEY 35,000 GALLONS PER DAY. PUMP STATION TO INCLUDE ALL CONTROLS, DUPLEX PUMPS, AND A DIESEL POWERED GENERATOR.
3. **PRESALE TRAILER AND TEMPORARY UTILITIES:** APPROXIMATE LOCATION OF PRESALE BUILDING/TRAILER SHOWN. PRESALE BUILDING/TRAILER TO BE TEMPORARILY CONNECTED TO GAS, ELECTRIC, TELEPHONE, WATER, AND SEWER AS GENERALLY DEPICTED HEREON.
4. **GREASE TRAPS:** GREASE TRAPS DEPICTED HEREON ARE FOR ILLUSTRATIVE PURPOSES ONLY. IN ACCORDANCE WITH MASSACHUSETTS PLUMBING CODE, GREASE TRAPS SHALL BE DESIGNED BY PROJECT PLUMBING ENGINEER.
5. **MASTER DEVELOPER (NATIONAL DEVELOPMENT)** RESPONSIBLE FOR BRINGING UTILITY SERVICES/CONNECTIONS TO SITE. LIFE TIME FITNESS RESPONSIBLE FOR ON SITE UTILITY RUNS AND BUILDING CONNECTIONS.
6. **GAS:** GAS LINE LOCATION IS APPROXIMATE. FINAL LOCATION AND DETAILS BY THE GAS COMPANY.
7. **LOCATION OF EXISTING SEWER CONNECTION UNKNOWN AND TO BE FURTHER INVESTIGATED PRIOR TO CONSTRUCTION.**
7. **WATER:** ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 5' BELOW THE SURFACE AND DEEPER TO AVOID CONFLICTS. WHEN A SEWER PIPE CROSSES ABOVE OR BELOW A WATER PIPE, THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING PROCEDURES:
 - 7.1. **HORIZONTAL SEPARATION:** WHENEVER SEWERS SHALL BE LAID AT A MINIMUM AT LEAST 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN IF:
 - 7.1.1. IT IS LAID IN A SEPARATE TRENCH, OR IF;
 - 7.1.2. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAINS LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF;
 - 7.1.3. IN EITHER CASE, THE ELEVATIONS OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
 - 7.2. **VERTICAL SEPARATION:** WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWERS SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
 - 7.3. **WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATERTIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATERTIGHTNESS OR BOTH PIPES SHALL BE ENCASED IN CONCRETE.**
8. REFER TO SHEET C-1 FOR LEGEND AND GENERAL NOTES. REFER TO SHEETS 5.2 - 5.4 FOR DETAILS.



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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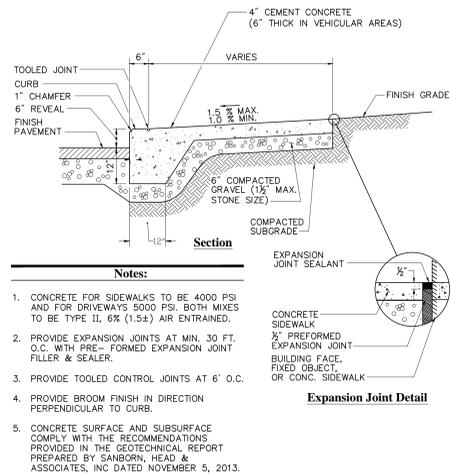
REVISIONS

CRP-3 FRAMINGHAM CORP CTR LLC
APPROXIMATE LIMITS OF SUBSURFACE DETENTION BASIN STORMTECH MC-3550 CHAMBERS (6 ROWS - 15 UNITS EACH)
BOTTOM OF STONE = 160.75
ESTIMATED SEASONAL HIGH GW = 154.00-30

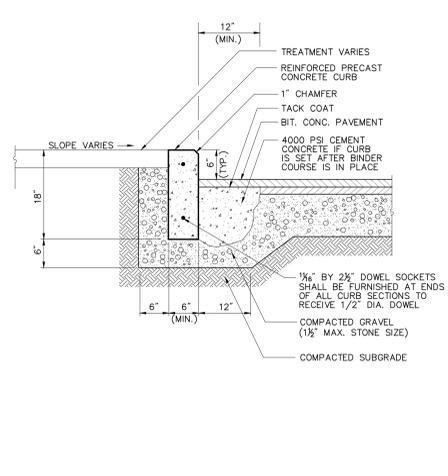


PROJECT NAME: LIFETIME ATHLETIC - FRAMINGHAM
SHEET TITLE: UTILITY PLAN

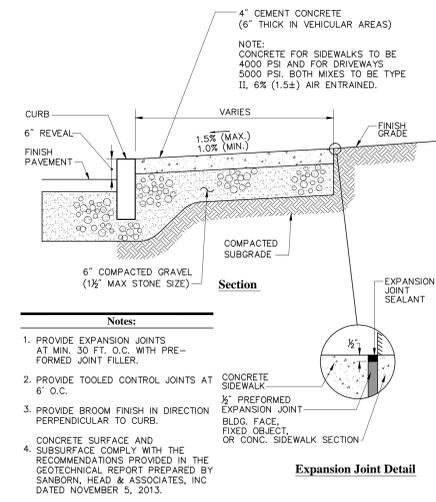
PUBLICATIONS: Issued For Local Approvals
PROJECT ADDRESS: 490 Old Connecticut Path Framingham, MA
DATE: 02/28/2014
SHEET NO.: C-5
APPROVED BY: JWD
DRAWN BY: BMG
APPLICATION NUMBER:



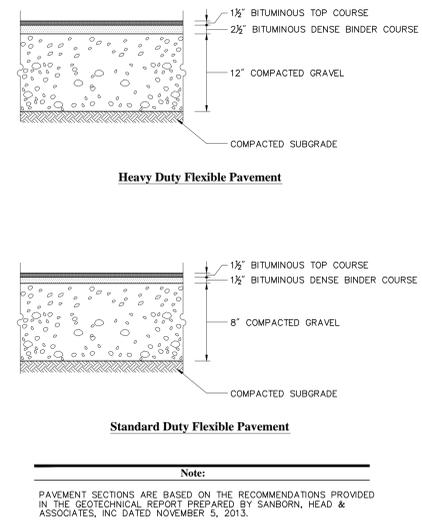
Monolithic Concrete Curb (MCC) & Sidewalk 12/11
N.T.S. Source: VHB LD_421



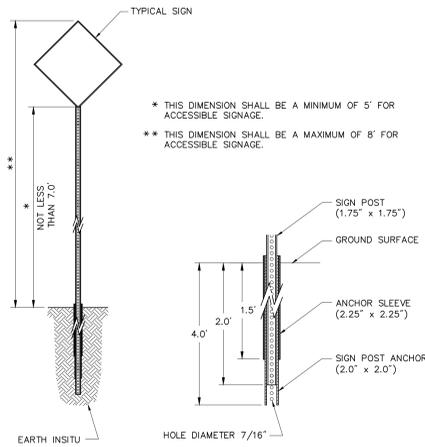
Precast Concrete Curb (PCC) 12/11
N.T.S. Source: VHB LD_404



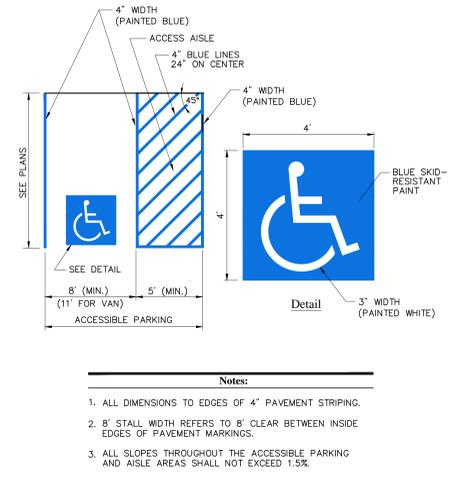
Concrete Sidewalk 4/11
N.T.S. Source: VHB LD_420



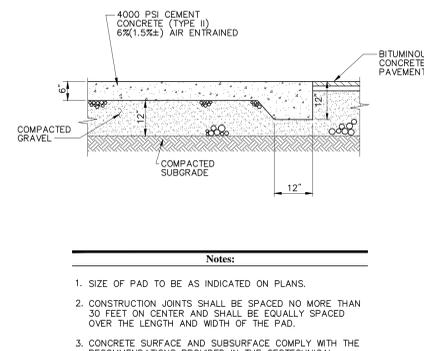
Bituminous Concrete Pavement Sections 12/11
N.T.S. Source: VHB LD_430



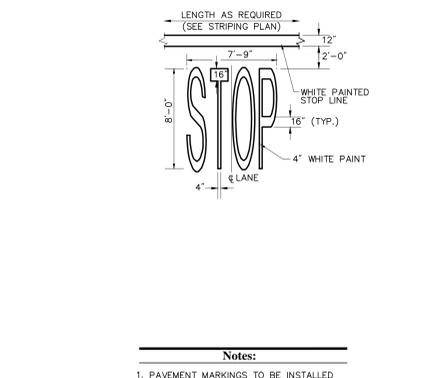
Sign Post - Type 'B' 12/12
N.T.S. Source: VHB LD_702



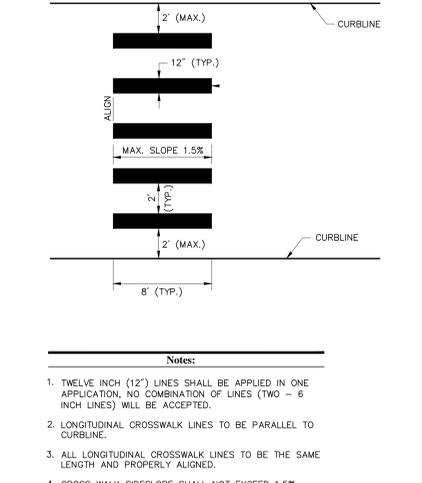
Accessible Parking Space 11/10
N.T.S. Source: VHB LD_552



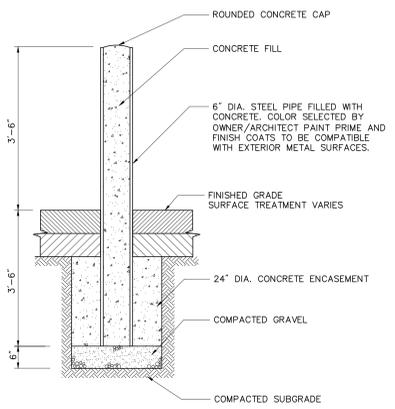
Motorcycle Parking & Surface for Pavers in Drive Aisle 6/08
N.T.S. Source: VHB LD_554



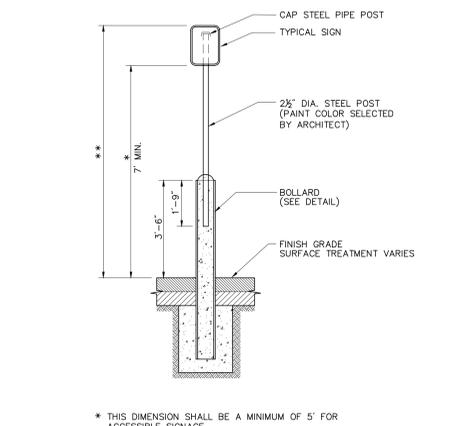
Painted Pavement Markings - On Site 6/08
N.T.S. Source: VHB LD_554



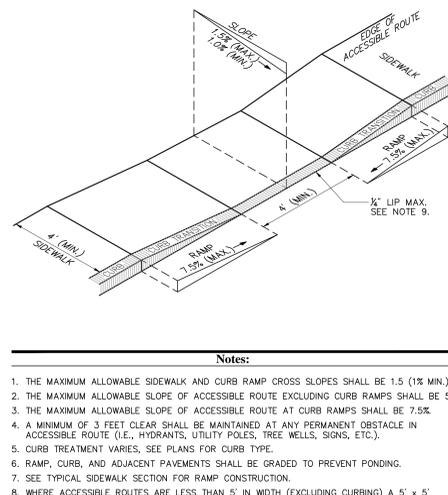
Crosswalk (On-Site) 6/08
N.T.S. Source: VHB LD_553



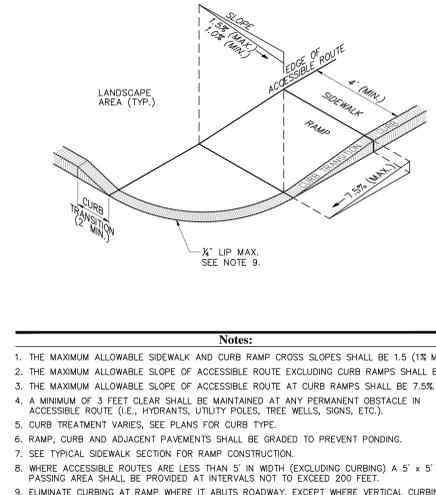
Bollard 6/08
N.T.S. Source: VHB LD_700



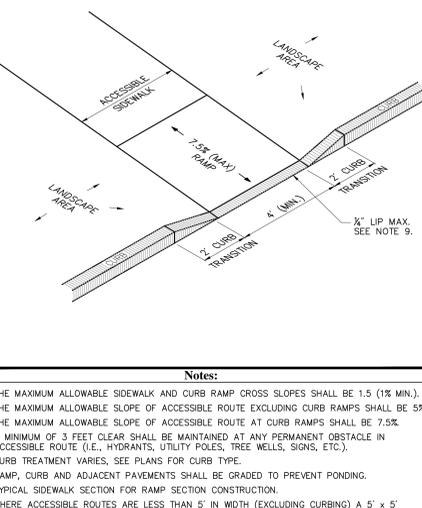
Bollard Mounted Sign 4/12
N.T.S. Source: VHB LD_703



Accessible Curb Ramp (ACR) Type 'A' 11/10
N.T.S. Source: VHB LD_500



Accessible Curb Ramp (ACR) - Type 'B' 9/13
N.T.S. Source: VHB LD_501



Accessible Curb Ramp (ACR) Type 'M' 11/10
N.T.S. Source: VHB LD_502

LIFETIME
THE HEALTHY WAY OF LIFE COMPANY
2902 CORPORATE PLACE
CHANHASSEN, MN 55317

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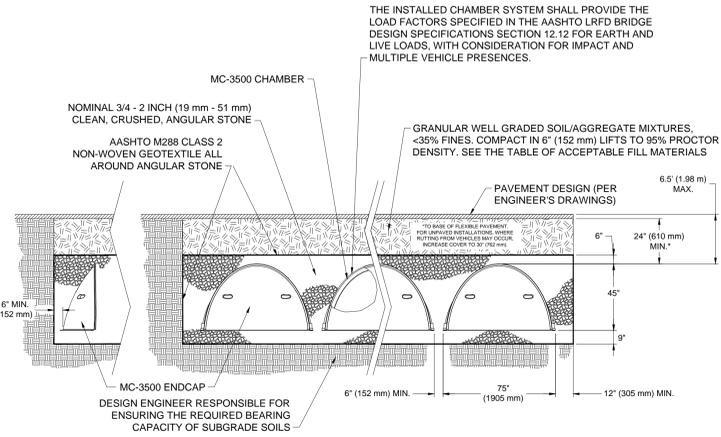
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
REVISIONS

PROJECT NAME
LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE
SITE DETAILS

PUBLICATIONS
Issued For Local Approvals
PROJECT ADDRESS
490 Old Connecticut Path
Framingham, MA

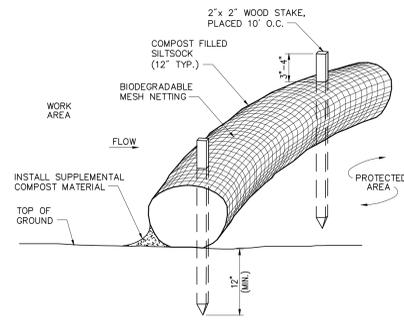
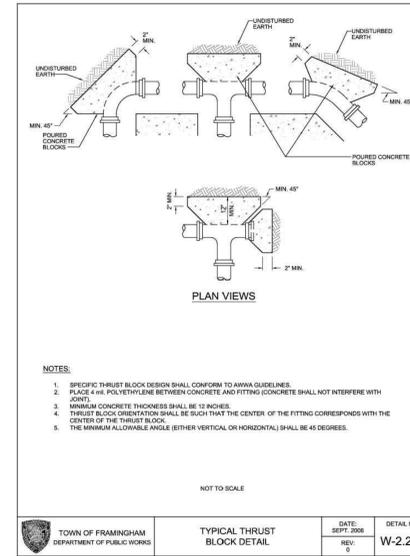
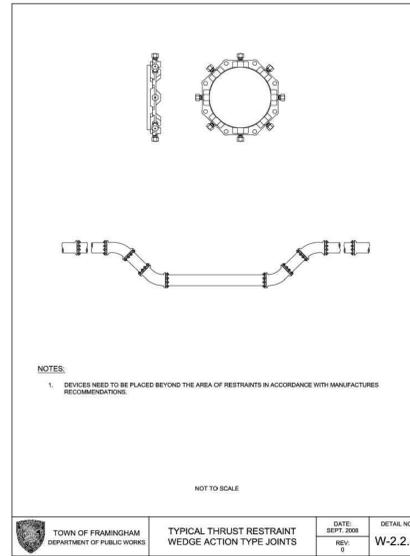
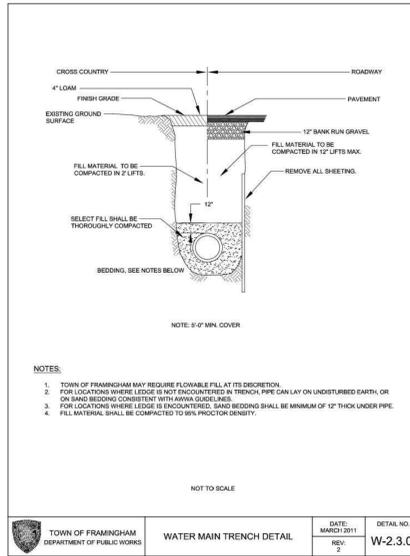
DATE
02/28/2014
SHEET NO.
C-6.1
APPROVED BY:
JWD
DRAWN BY:
BMG
APPLICATION NUMBER

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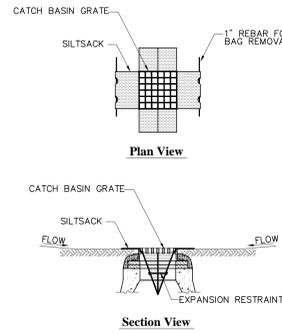
Stormtech MC-3500 Typical Cross-Section

N.T.S. Source: Stormtech 6/12



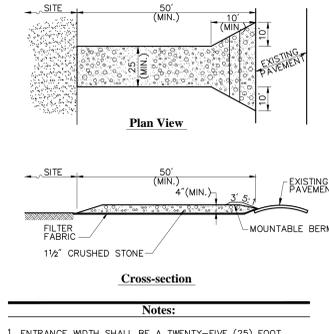
Siltsock - Erosion Control Barrier

N.T.S. Source: VHB 8/12 LD_658



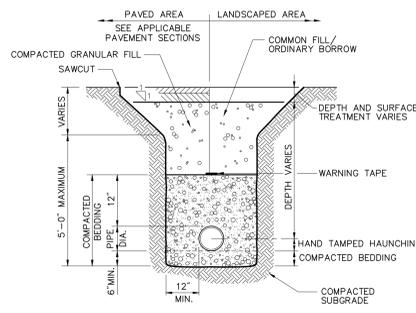
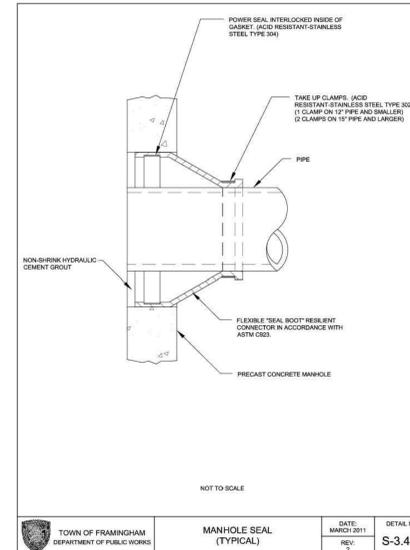
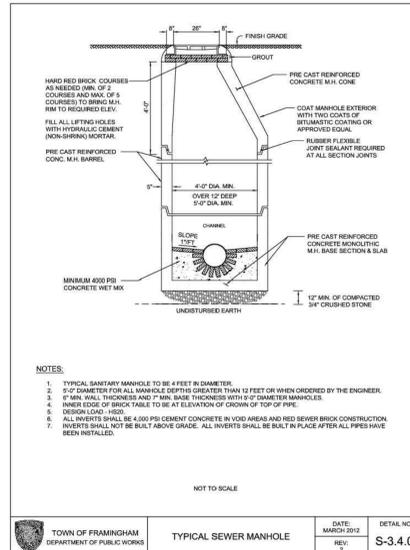
Siltsock Sediment Trap

N.T.S. Source: VHB 6/08 LD_674



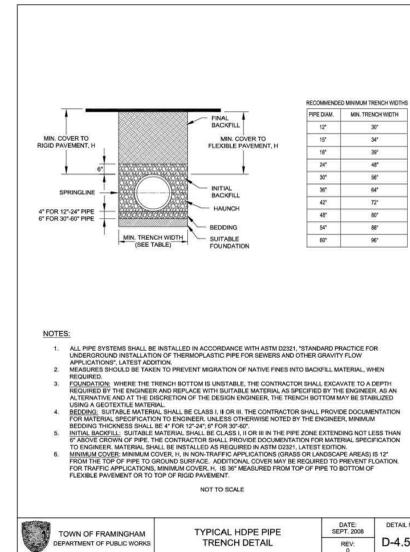
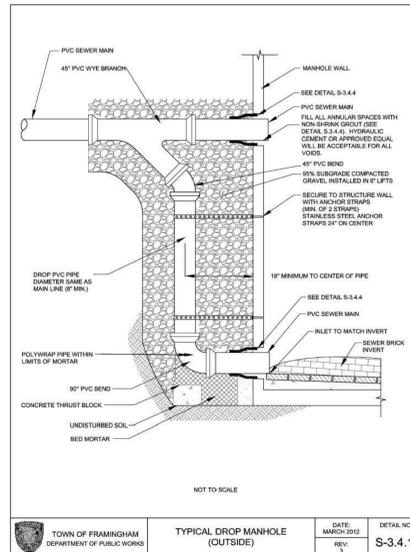
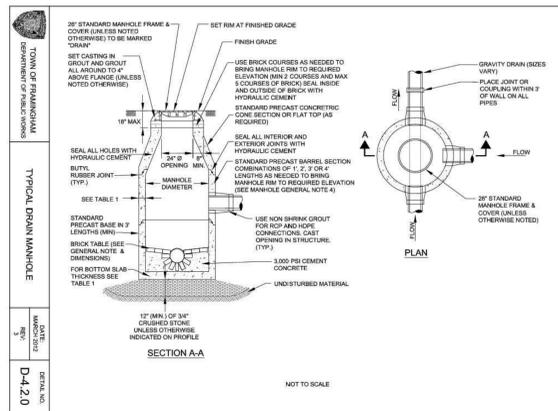
Stabilized Construction Exit

N.T.S. Source: VHB 6/08 LD_682



Utility Trench

N.T.S. Source: VHB 8/11 LD_300



Notes

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DEFINITIVE DEVELOPMENT PLAN APPROVALS

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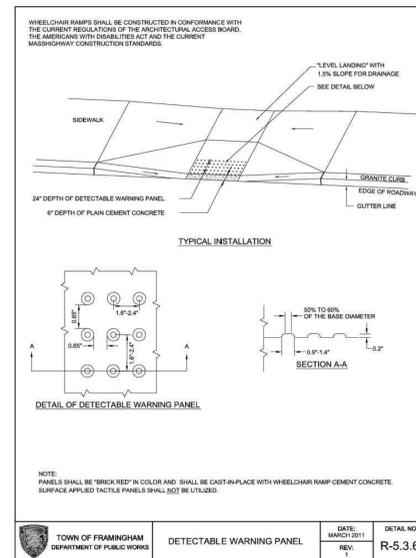
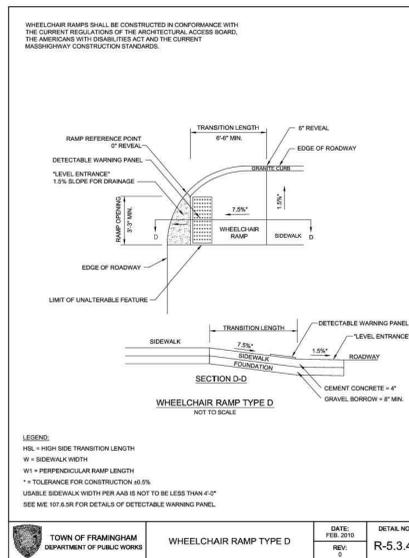
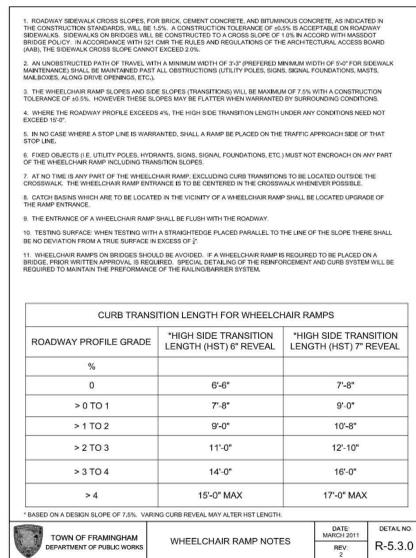
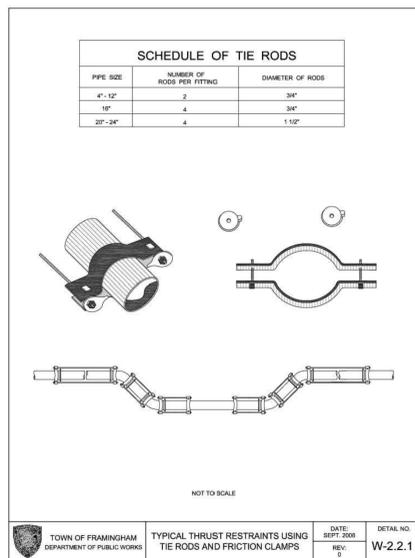
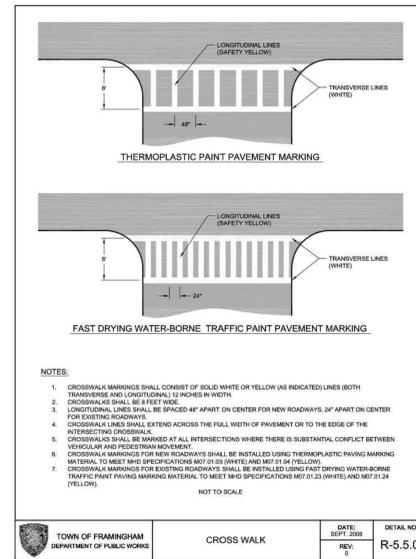
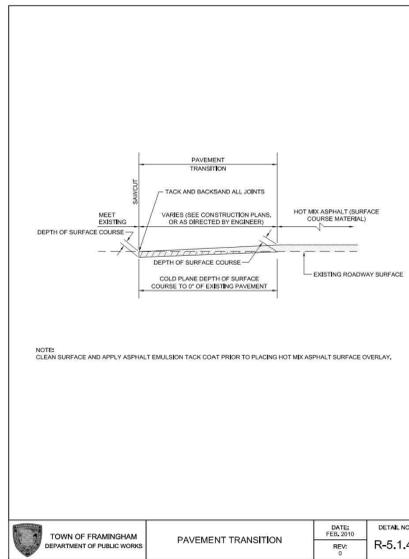
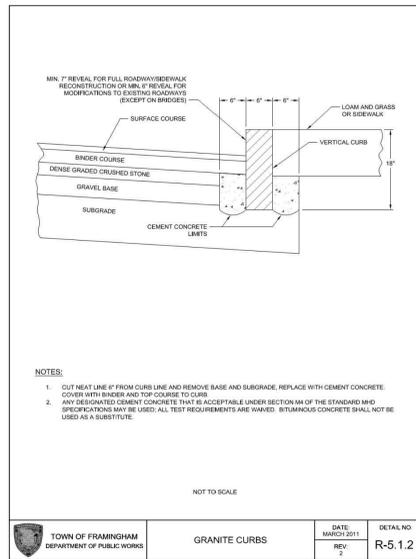
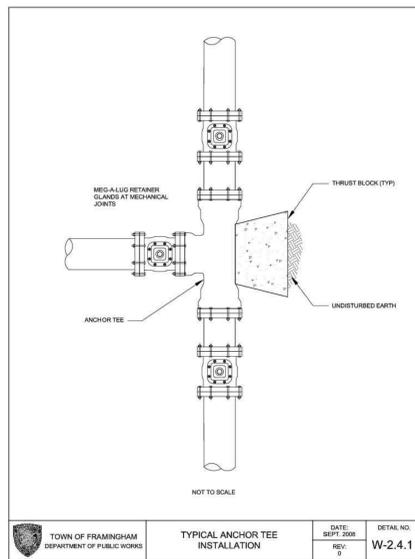
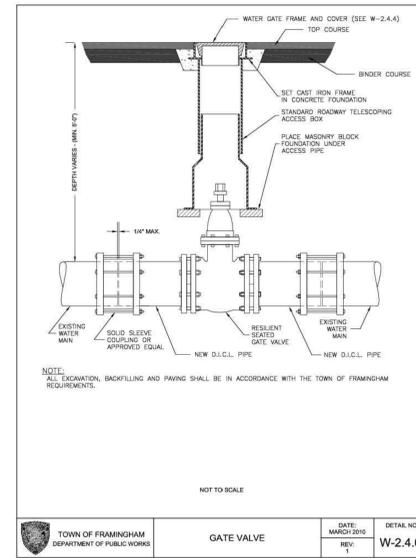
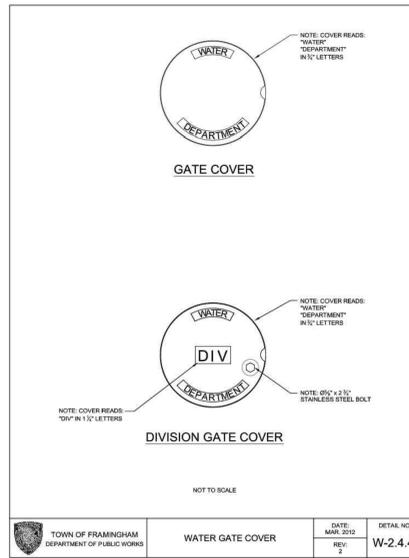
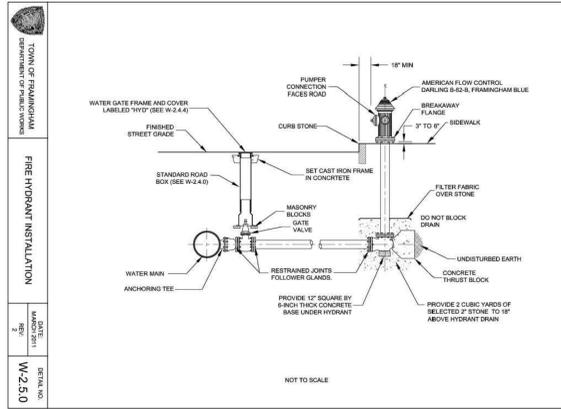
REVISIONS

COMMONWEALTH OF MASSACHUSETTS
CRAIG C. LIZOTTE
CIVIL
No. 3097
REGISTERED PROFESSIONAL ENGINEER

PROJECT NAME:
LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE:
SITE DETAILS

PUBLICATIONS:
Issued For Local Approvals
PROJECT ADDRESS:
490 Old Connecticut Path Framingham, MA

DATE:
02/28/2014
SHEET NO.
C-6.3
APPROVED BY:
JWD
DRAWN BY:
BMG
APPLICATION NUMBER:



Notes

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FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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PROJECT NAME:
LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE:
SITE DETAILS

PUBLICATIONS:
Issued For Local Approvals
PROJECT ADDRESS:
**490 Old Connecticut Path
Framingham, MA**

DATE:
02/28/2014

SHEET NO.
C-6.4

APPROVED BY: JWD
DRAWN BY: BMG
APPLICATION NUMBER:

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AA	10	Acer rubrum 'Armstrong'	'Armstrong' Columnar Maple	2 1/2 - 3" CAL.	
AR	26	Acer rubrum 'October Glory'	'October Glory' Maple	2 1/2 - 3" CAL.	
PL	8	Platanus x acerifolia	London Plane Tree	2 1/2 - 3" CAL.	
QP	8	Quercus palustris	Pin Oak	2 1/2 - 3" CAL.	
QR	17	Quercus rubra	Red Oak	2 1/2 - 3" CAL.	
UP	5	Ulmus americana 'Princeton'	American Elm	2 1/2 - 3" CAL.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
PG	22	Picea glauca	White Spruce	8 - 10' HT.	
PP	13	Picea pungens	Colorado Spruce	8 - 10' HT.	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
BN	5	Betula nigra 'Heritage' Clump	Clump Heritage River Birch	10 - 12 FT. HT.	
PO	27	Prunus incisa 'Okame'	Okame Cherry	2 1/2 - 3" CAL.	
PC	52	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2 - 3" CAL.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CS	21	Cornus sericea	Red Osier Dogwood	2 - 2 1/2' HT.	
FG	28	Fothergilla gardenii	Dwarf Fothergilla	24"-30" SPD.	
IC	36	Ilex crenata 'Convexa'	Convex-leaved Japanese Holly	2 - 2 1/2' HT.	
IS	20	Ilex crenata 'Sky Pencil'	Sky Pencil Japanese Holly	42" HT.	
IG	401	Ilex glabra	Common Holly	2 - 2 1/2' HT.	
IM	41	Ilex x meserveae 'China Girl'	China Girl Holly	2 - 2 1/2' HT.	
JH	44	Juniperus chinensis 'Hetzl'	Columnar Hetz Juniper	42" HT.	
LA	132	Leucothoe axillaris	Coastal Leucothoe	18 - 24" SPD.	
PW	287	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	2 - 3" HT.	
PM	13	Pinus mugo mugo	Mugho Pine	24 - 36" SPD.	
RC	123	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	2 - 2 1/2' HT.	
RO	50	Rhododendron x 'Olga Mezitt'	Olga Mezitt PJM Rhododendron	2 - 2 1/2' HT.	
RP	51	Rhododendron x 'PJM Compact Form'	PJM Compact Rhododendron	2 - 2 1/2' HT.	
SL	125	Spiraea x bumalda 'Little Princess'	Little Princess Spiraea	15 - 18" SPD.	
VS	253	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Japanese Snowball	2 - 2 1/2' HT.	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
JM	276	Juniperus conferta 'Silver Mist'	Silver Mist Juniper	18-24" SPD	24" o.c.
JP	330	Juniperus procumbens 'Nana'	Dwarf Japanese Garden Juniper	18-24" SPD	24" o.c.
RF	54	Rosa acicularis 'The Fairy'	The Fairy Rose (Min)	18-24" SPD	24" o.c.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HO	289	Helictotrichon sempervirens	Blue Oat Grass	#1 Cont.	24" o.c.
PH	1,111	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 GAL.	24" o.c.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HR	909	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	1 GAL.	18" o.c.
HS	521	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 GAL.	16" o.c.

Notes

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2. GENERAL SITE CONFIGURATION AND BUILDING AND POOL DECK LOCATION, SIZE, AND LAYOUT ARE BASED ON PLANS PROVIDED TO VHB BY LIFE TIME FITNESS ON OCTOBER 8, 2013.
3. PROPOSED GRADING AND DRAINAGE AS DEPICTED HEREON IS AT A SCHEMATIC DESIGN LEVEL. GRADING AND DRAINAGE DESIGN TO BE REFINED FOR PERMITTING AND CONSTRUCTION.

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CHANHASSEN, MN 55317

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Transportation
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Environmental Services
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Worcester, Massachusetts 01604
508.752.1001 • FAX 508.752.1276

REVISIONS

MASSACHUSETTS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
No. 10000
JAMES J. DELORENZO
1000 STATE STREET, SUITE 200
BOSTON, MA 02116

PROJECT NAME
LIFE TIME ATHLETIC - FRAMINGHAM

SHEET TITLE
Planting Plan

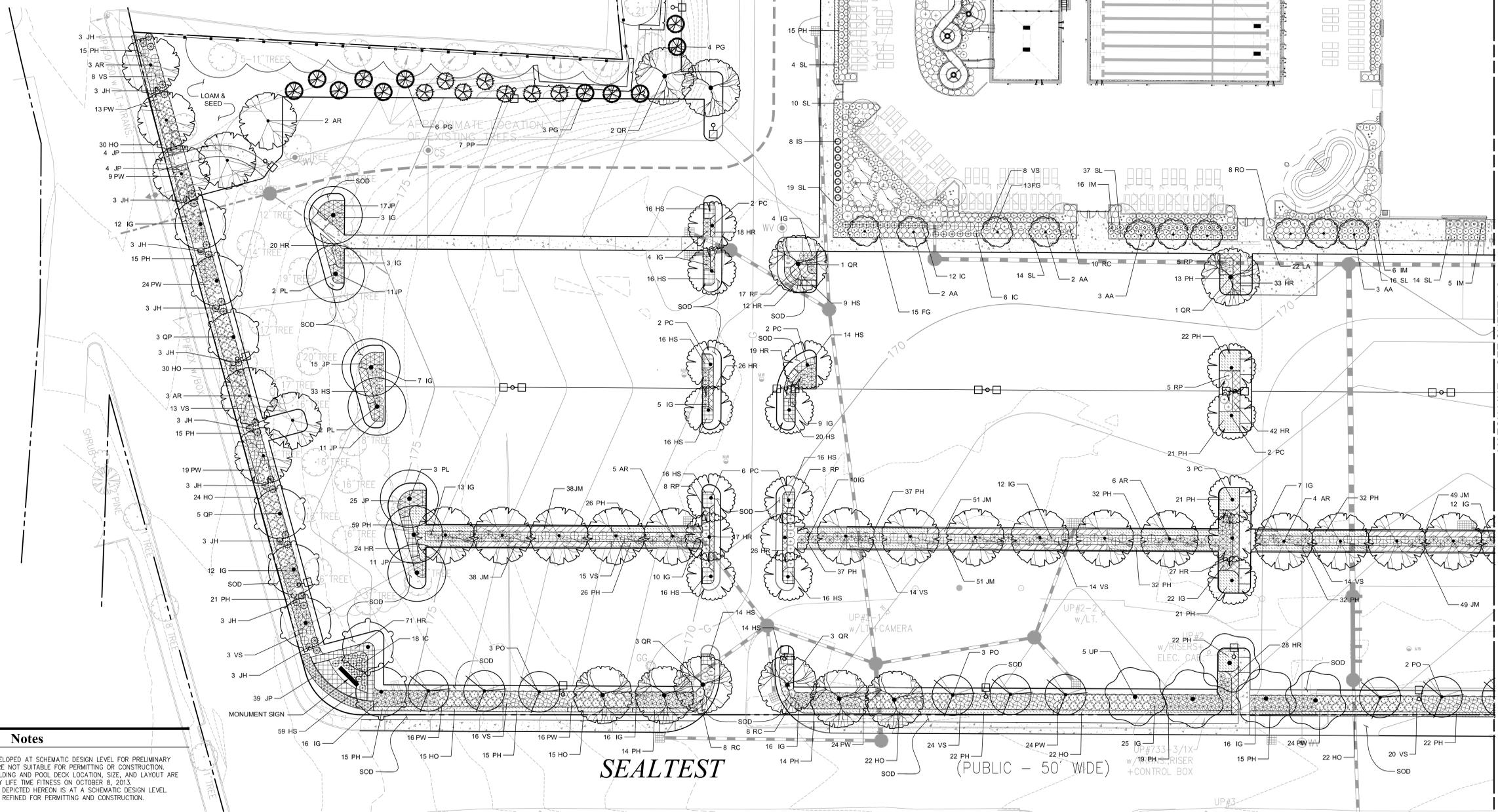
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Issued For Local Approvals

PROJECT ADDRESS
490 Old Connecticut Path
Framingham, MA

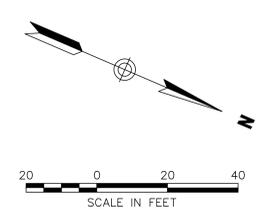
DATE
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SHEET NO.
L-1

APPROVED BY: JWD
DRAWN BY: BMG
APPLICATION NUMBER:

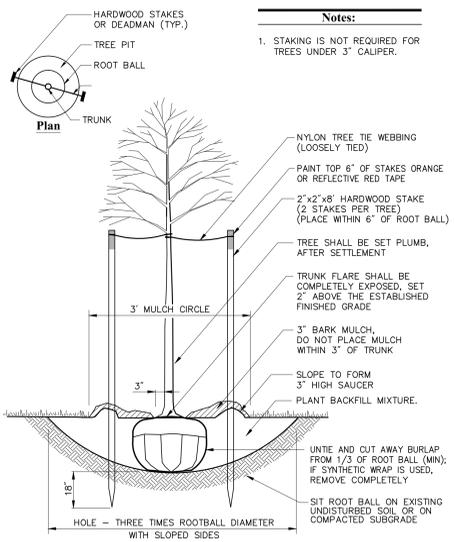


MATCH LINE - SEE SHEET L-2

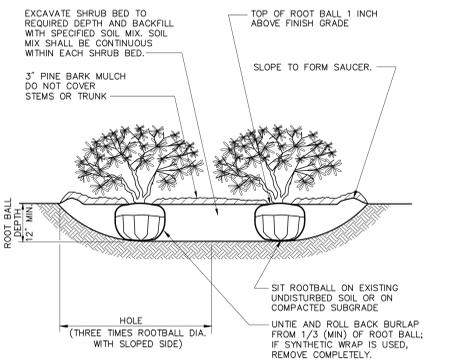


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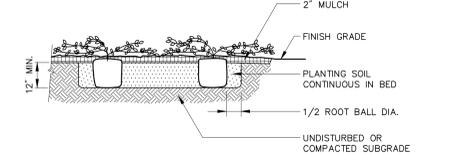


Tree Planting (For Trees Under 4" Caliper) 1/10
 N.T.S. Source: VHB LD_602

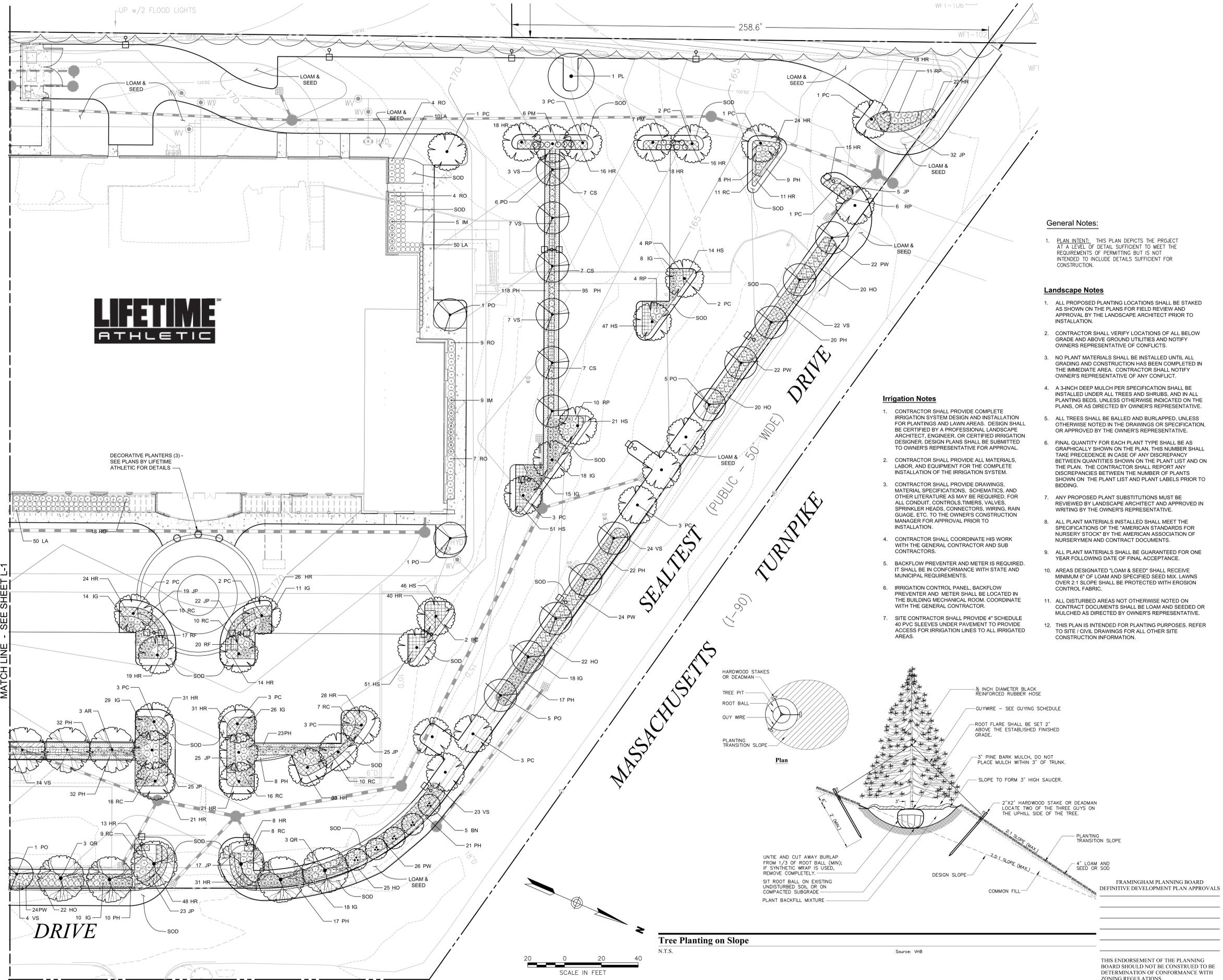


Shrub Bed Planting 6/08
 N.T.S. Source: VHB LD_601

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.



Ground Cover Planting 11/09
 N.T.S. Source: VHB LD_615

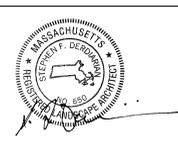


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REVISIONS

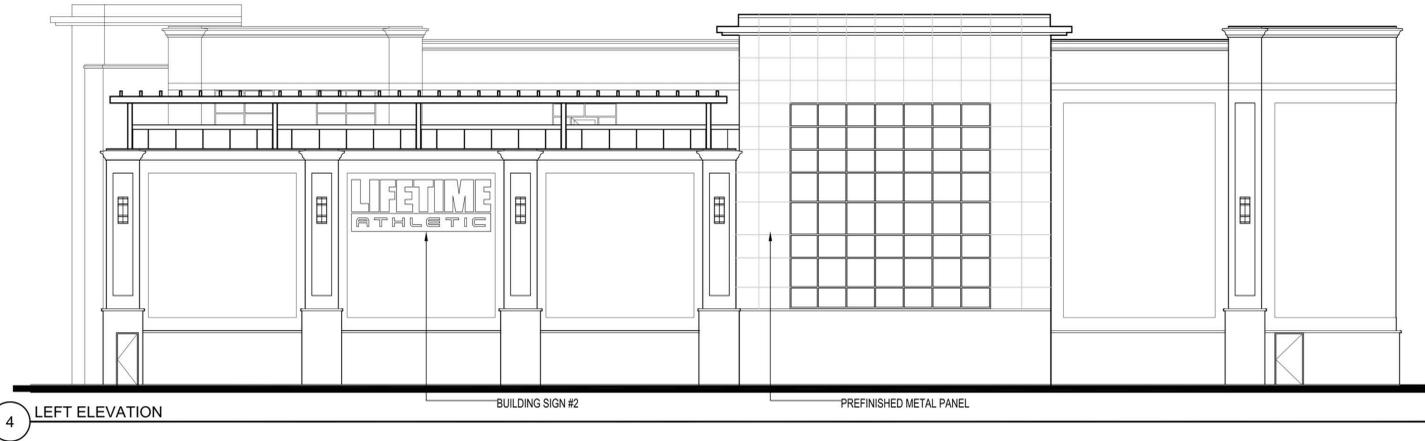


PROJECT NAME
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 SHEET TITLE
Planting Plan

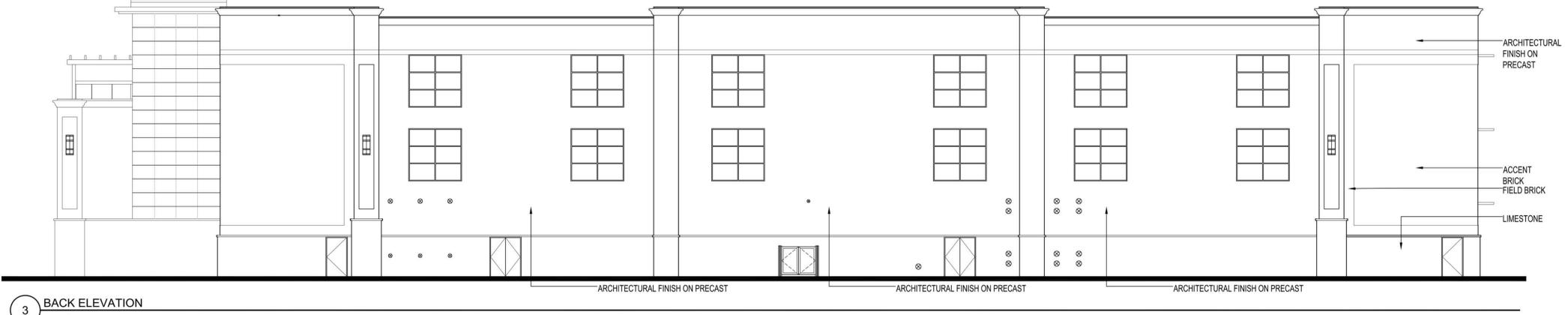
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 Framingham, MA**

DATE
02/28/2014
 SHEET NO.
L-2
 APPROVED BY: JWD
 DRAWN BY: BMG
 APPLICATION NUMBER:

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.



4 LEFT ELEVATION



3 BACK ELEVATION



2 LEFT ELEVATION



1 FRONT ELEVATION

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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CONSULTANT	REVISIONS

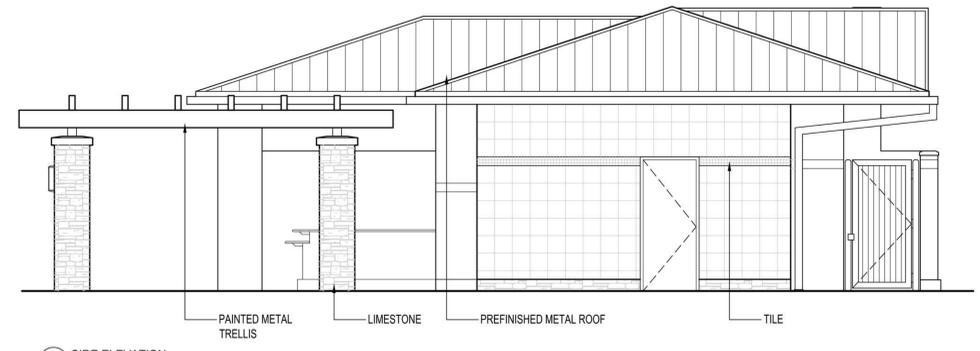
PROJECT NAME	LIFE TIME ATHLETIC - FRAMINGHAM
SHEET TITLE	BUILDING ELEVATIONS

PUBLICATIONS	Issued For Local Approvals	DATE	02/28/2014
PROJECT ADDRESS	490 Old Connecticut Path Framingham, MA		

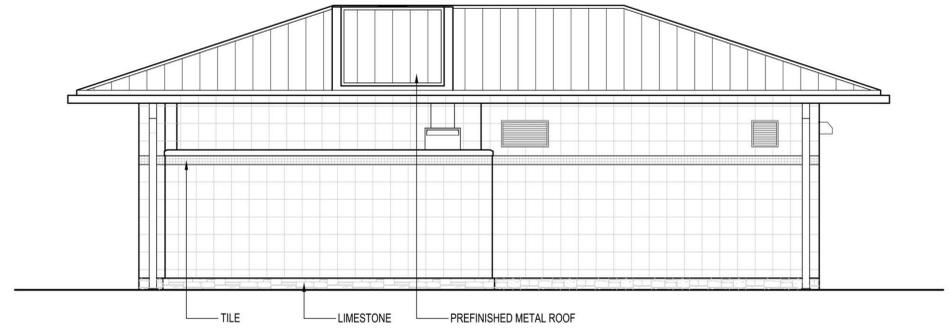
SHEET NO.	A1
APPROVED BY:	
DRAWN BY:	
APPLICATION NUMBER:	



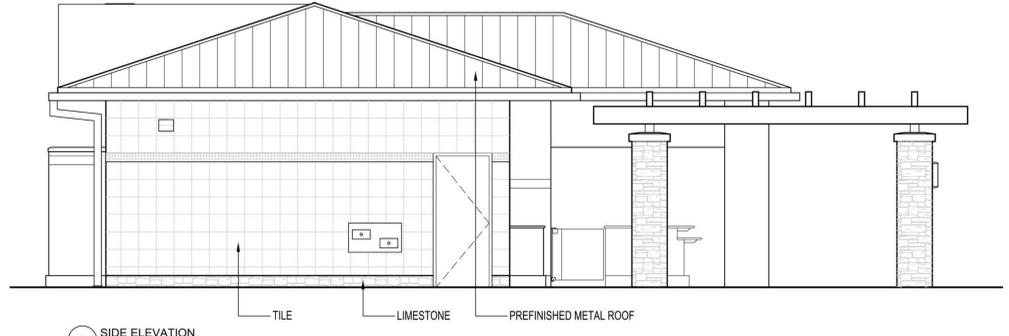
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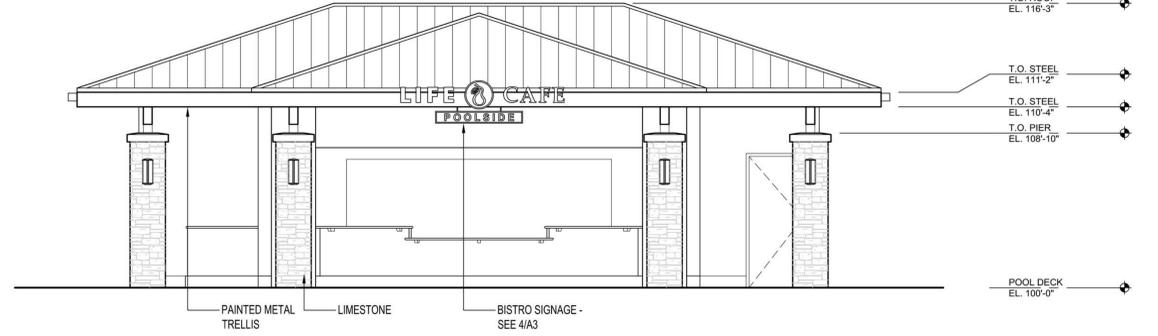
4 SIDE ELEVATION



3 BACK ELEVATION



2 SIDE ELEVATION



1 FRONT ELEVATION

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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LIFETIME
THE HEALTHY WAY OF LIFE COMPANYSM
2902 CORPORATE PLACE
CHANHASSEN, MN 55317

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LIFETIME
ARCHITECTURE | DESIGN™

CONSULTANT

REVISIONS

PROJECT NAME
LIFE TIME ATHLETIC - FRAMINGHAM

SHEET TITLE
BISTRO ELEVATIONS

PUBLICATIONS
Issued For Local Approvals

PROJECT ADDRESS
490 Old Connecticut Path
Framingham, MA

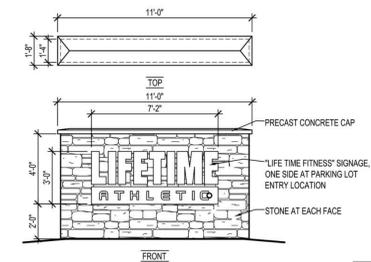
DATE
02/28/2014

SHEET NO.
A2

APPROVED BY:

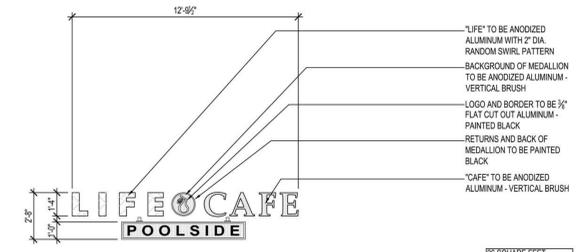
DRAWN BY:

APPLICATION NUMBER:

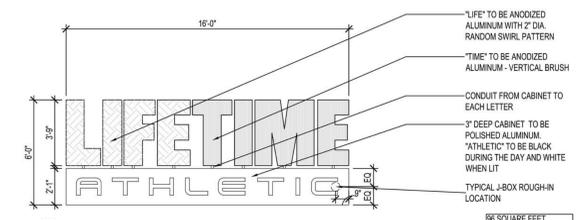


D LIFETIME ATHLETIC MONUMENT
1/4" = 1'-0"

- ALL LETTERS TO BE 3" DEEP REVERSE CHANNEL
- ALL SPECIFIED FINISHES TO RETURN ON SIDES OF LETTER AND CABINET

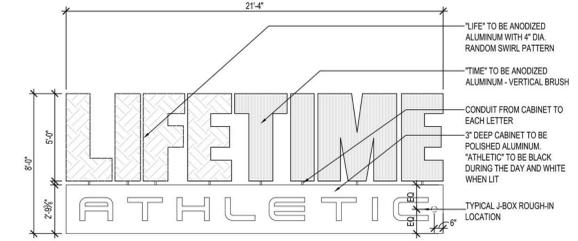


4 LIFE CAFE POOLSIDE BISTRO CANOPY SIGN
1/4" = 1'-0"



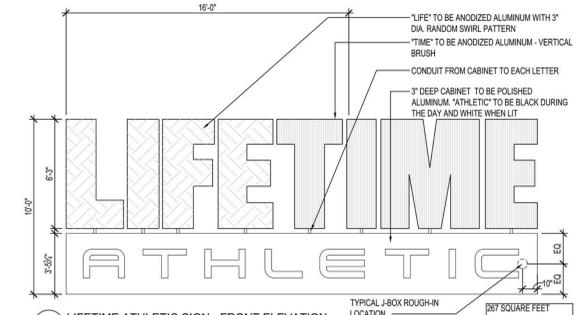
3 LIFETIME ATHLETIC SIGN - POOL SIDE ELEVATION
1/4" = 1'-0"

- ALL LETTERS TO BE 3" DEEP REVERSE CHANNEL MOUNTED 2" FROM FACE OF WALL
- ALL LETTERS AND CABINET TO BE INTERNALLY ILLUMINATED WITH WITH L.E.D. "HALO" LIGHTING
- ALL SPECIFIED FINISHES TO RETURN ON SIDES OF LETTER AND CABINET

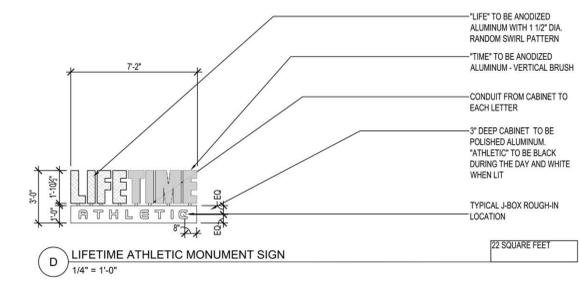


2 LIFETIME ATHLETIC SIGN - SQUASH SIDE ELEVATION
1/4" = 1'-0"

- ALL LETTERS TO BE 3" DEEP REVERSE CHANNEL MOUNTED 2" FROM FACE OF WALL
- ALL LETTERS AND CABINET TO BE INTERNALLY ILLUMINATED WITH WITH L.E.D. "HALO" LIGHTING
- ALL SPECIFIED FINISHES TO RETURN ON SIDES OF LETTER AND CABINET



1 LIFETIME ATHLETIC SIGN - FRONT ELEVATION
1/4" = 1'-0"



D LIFETIME ATHLETIC MONUMENT SIGN
1/4" = 1'-0"

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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LIFETIME
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LIFETIME
ARCHITECTURE | DESIGN

CONSULTANT
REVISIONS

PROJECT NAME
LIFE TIME ATHLECTIC - FRAMINGHAM
SHEET TITLE
BUILDING SIGNAGE DETAILS

PUBLICATIONS
Issued For Local Approvals
PROJECT ADDRESS
490 Old Connecticut Path
Framingham, MA
DATE
02/28/2014

SHEET NO.
A3
APPROVED BY:
DRAWN BY:
APPLICATION NUMBER:



LIFE TIME FITNESS FIXTURE SCHEDULE								
TYPE	DESCRIPTION	VOLT	# LAMPS	TYPE	WATTAGE	MANUFACTURER	CATALOG NUMBER	NOTES
P	EXTERIOR LIGHT POLE AND HEADS, DIE-CAST ALUMINUM FIXTURE HOUSING, ACRYLIC LENS. 4" STRAIGHT SQUARE STEEL POLE WITH BASE COVER, FIXTURE AND POLE TO BE DARK BRONZE IN COLOR. SINGLE HEAD, 24" POLE, TYPE 4 MEDIUM DISTRIBUTION, 80 LED CLUSTER, 530mA DRIVE CURRENT, HOUSE-SIDE SHIELD.	480	NA	LED	142	LITHONIA	DSX2 LED-80C-530-30K-T4M-480-SPA-HS-DOBXD SSS 25 4G-DOB-S6C4	1
P1	EXTERIOR LIGHT POLE AND HEADS, DIE-CAST ALUMINUM FIXTURE HOUSING, ACRYLIC LENS. 4" STRAIGHT SQUARE STEEL POLE WITH BASE COVER, FIXTURE AND POLE TO BE DARK BRONZE IN COLOR. SINGLE HEAD, 24" POLE, TYPE 4 MEDIUM DISTRIBUTION, 80 LED CLUSTER, 530mA DRIVE CURRENT.	480	NA	LED	142	LITHONIA	DSX2 LED-80C-530-30K-T4M-480-SPA-DOBXD SSS 25 4G-DOB-S6C4	1
P2	EXTERIOR LIGHT POLE AND HEADS, DIE-CAST ALUMINUM FIXTURE HOUSING, ACRYLIC LENS. 4" STRAIGHT SQUARE STEEL POLE WITH BASE COVER, FIXTURE AND POLE TO BE DARK BRONZE IN COLOR. DOUBLE HEAD, 23'-0" OR 24'-0" POLE, TYPE 4 MEDIUM DISTRIBUTION, 80 LED CLUSTER, 530mA DRIVE CURRENT.	480	NA	LED	284	LITHONIA	(2) DSX2 LED-80C-530-30K-T4M-480-SPA-CDOBXD SSS 25 4G-DOB-S6C4	1
P3	EXTERIOR LIGHT POLE AND HEADS, DIE-CAST ALUMINUM FIXTURE HOUSING, ACRYLIC LENS. 4" STRAIGHT SQUARE STEEL POLE WITH BASE COVER, FIXTURE AND POLE TO BE DARK BRONZE IN COLOR. SINGLE HEAD, 24" POLE, TYPE 2 MEDIUM DISTRIBUTION, 80 LED CLUSTER, 530mA DRIVE CURRENT, HOUSE-SIDE SHIELD.	480	NA	LED	142	LITHONIA	DSX2 LED-80C-530-30K-T2M-480-SPA-HS-DOBXD SSS 25 4G-DOB-S6C4	1
P4	EXTERIOR LIGHT POLE AND HEADS, DIE-CAST ALUMINUM FIXTURE HOUSING, ACRYLIC LENS. 4" STRAIGHT SQUARE STEEL POLE WITH BASE COVER, FIXTURE AND POLE TO BE DARK BRONZE IN COLOR. SINGLE HEAD, 24" POLE, TYPE 4 MEDIUM DISTRIBUTION, 100 LED CLUSTER, 530mA DRIVE CURRENT, HOUSE-SIDE SHIELD.	480	NA	LED	175	LITHONIA	DSX2 LED-100C-530-30K-T4M-480-SPA-HS-DOBXD SSS 25 4G-DOB-S6C4	1
Q4	LED EXTERIOR WALL MOUNT AREA LIGHT, DARK BRONZE IN COLOR. TYPE 3 DISTRIBUTION.	277	NA	LED	58	LITHONIA	ASW1-LED1-49B300/30K-3M-VOLT-DOBXD	
R6	LED DECORATIVE BOLLARD, BLACK HOUSING FINISH. PROVIDE WITH HOUSE-SIDE SHIELD.	277	NA	LED	38	NIM LIGHTING	BNE1-36L3K1V4R-MS	

NOTES:
1. COORDINATE POLE HEIGHT AND CONCRETE BASE. REFER TO DETAILS 200.2 AND 300.2.

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLP	Description
□	10	F	SINGLE	0.900	DSX2 LED 80C 530 30K T4M HVOLT HS
□	8	F1	SINGLE	0.900	DSX2 LED 80C 530 30K T4M HVOLT
□	8	F2	BACK-BACK	0.900	(2) DSX2 LED 80C 530 30K T4M HVOLT
□	5	P3	SINGLE	0.900	DSX2 LED 80C 530 30K T2M HVOLT HS
□	2	P4	SINGLE	0.900	DSX2 LED-100C 530 30K T4M HVOLT HS
○	4	Q4	SINGLE	0.900	ASW1-LED1-49B300/30K-3R3
●	20	R6	SINGLE	0.900	BNE-36LED-3500R



TYPE 'Q4'

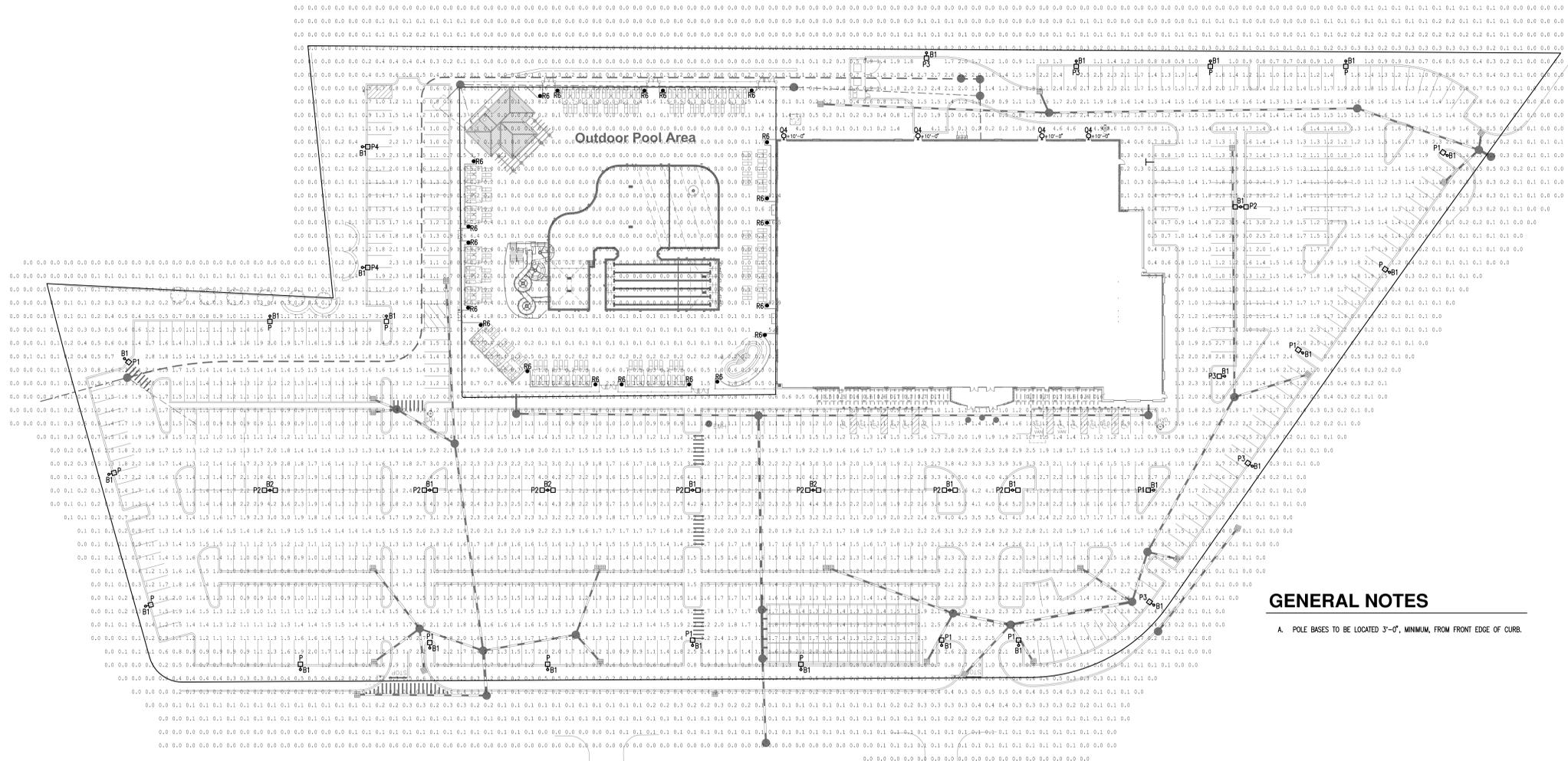


TYPES 'P1', 'P2', 'P3', 'P4'



TYPE 'R6'

4 PROPOSED FIXTURE IMAGES
NO SCALE



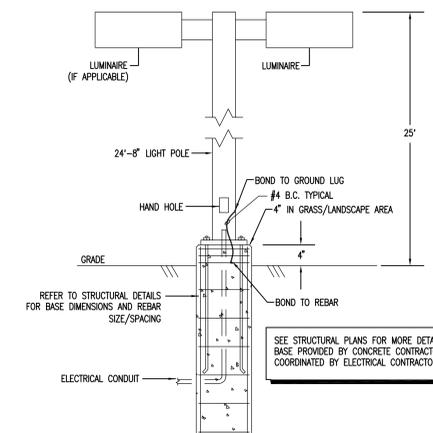
1 PHOTOMETRIC SITE PLAN
1"=40'-0"



GENERAL NOTES

A. POLE BASES TO BE LOCATED 3'-0", MINIMUM, FROM FRONT EDGE OF CURB.

2 POLE BASE DETAIL - TYPE 'B1'
NO SCALE



3 POLE BASE DETAIL - TYPE 'B2'
NO SCALE

