



LOCUS PLAN
SCALE: 1"=500'

SITE PLAN

FOR

CVS/pharmacy

AT

STORE # 1034

480-498 CONCORD STREET (RT-126)

FRAMMINGHAM, MA 01702

PREPARED FOR:

498 CONCORD STREET REALTY, LLC.
ELIE YOUSSEF
506 CONCORD STREET
FRAMMINGHAM, MA 01702

PREPARED BY:

CIVIL DESIGN

GROUP, LLC

21 HIGH STREET SUITE 300A
NORTH ANDOVER, MA 01845
www.cdengineering.com
P: 978-794-5400
F: 978-914-6161
CONTACT: PHILIP HENRY, P.E.

OWNER OF RECORD:

- 480 CONCORD STREET
OWNER: FOUR EIGHTY CONCORD STREET REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: BOOK 48984, PAGE 38
- 486 CONCORD STREET
OWNER: FOUR EIGHTY CONCORD STREET REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: CERTIFICATE NO. 238762 RECORDED IN REGISTRATION BOOK 1333, PAGE 61
- 486R CONCORD STREET
OWNER: FOUR NINETY TWO CONCORD STREET REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: BOOK 48984, PAGE 332
- 492 CONCORD STREET
OWNER: FOUR NINETY TWO CONCORD STREET REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: BOOK 48984, PAGE 335
- 498 CONCORD STREET
OWNER: BNY REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: BOOK 41875, PAGE 88
- 7 LINDBERGH STREET
OWNER: 7 LINDBERGH ROAD REALTY TRUST, ELIE B. YOUSSEF, TRUSTEE
- DEED REFERENCE: BOOK 51602, PAGE 261
- MAP 51, LOTS 8, 9, 10, 10A, 11 & 12

DATE	DATE REVISED	SHEET NUMBER	SHEET DESCRIPTION
08-07-2013	-	1	COVER SHEET
08-07-2013	-	2	NOTES, LEGEND & ABBREVIATIONS
06-18-2013	-	3	EXISTING CONDITIONS PLAN
08-07-2013	-	4	SITE DEMOLITION & EROSION CONTROL PLAN
08-07-2013	-	5	SITE PLAN
08-07-2013	-	6	SITE GRADING & DRAINAGE PLAN
08-07-2013	-	7	SITE UTILITY PLAN
08-07-2013	-	8	SITE LANDSCAPE PLAN
08-07-2013	-	9	SITE CONSTRUCTION DETAILS
08-07-2013	-	10	SITE CONSTRUCTION DETAILS
08-07-2013	-	11	SITE CONSTRUCTION DETAILS
08-07-2013	-	12	SITE CONSTRUCTION DETAILS
08-07-2013	-	13	PHOTOMETRICS PLAN
08-07-2013	-	A-4.1	EXTERIOR ELEVATIONS
08-07-2013	-	O-1	OUTLINE PLAN

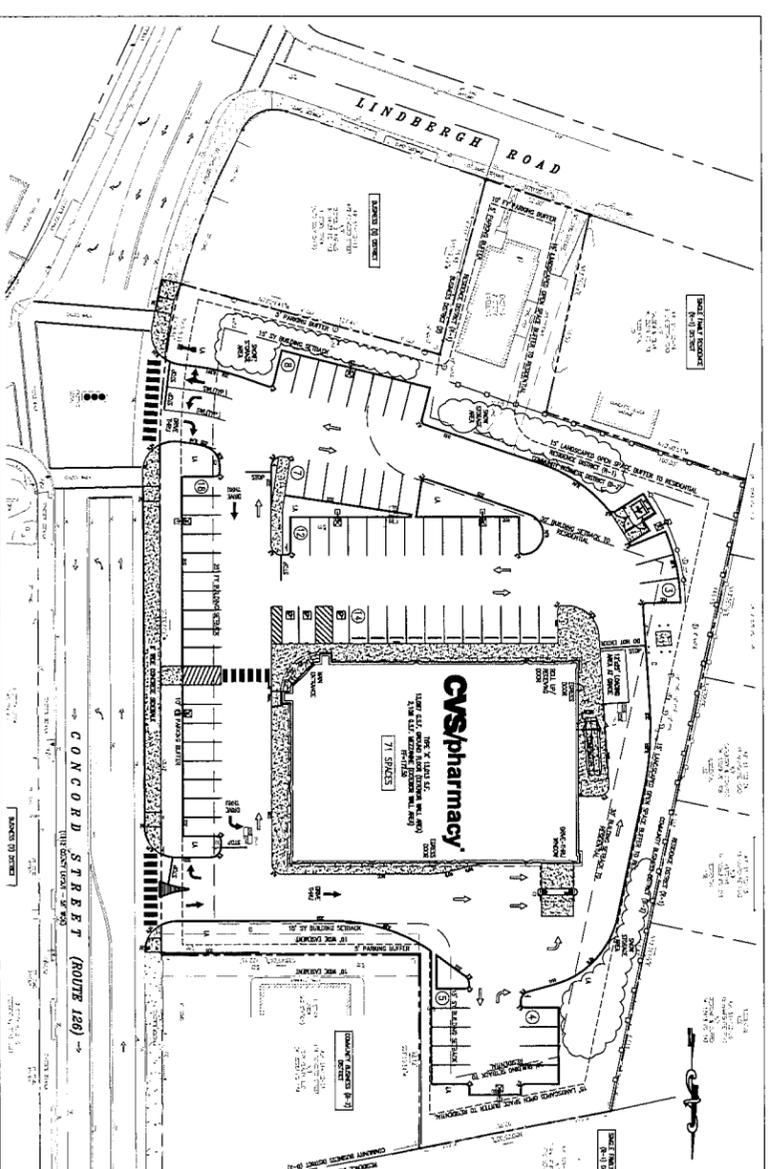
CONSULTANTS:

SURVEY:
ODONE SURVEY & MAPPING, P.C.
291 MAIN STREET, SUITE 5
NORTHBOROUGH, MA 01532
508-351-6022
CONTACT: GLENN ODONE, P.L.S.

LANDSCAPE ARCHITECT:
WILLIAM FLEMING ASSOCIATES, INC.
375 MAIN STREET, SUITE 3
STONHAM, MA 02180
781-438-3088
CONTACT: WILLIAM FLEMING, RLA

TRAFFIC:
VANASSE & ASSOCIATES, INC.
10 NEW ENGLAND BUSINESS CENTER DRIVE
SUITE 314
ANDOVER, MA 01810
978-474-8800
CONTACT: JEFFREY DIRK, P.E.

ARCHITECT:
BKA ARCHITECTS, INC.
142 CRESCENT STREET
BROCKTON, MA 02302
508-583-5603
CONTACT: KEVIN PATON



OVERALL LAYOUT PLAN
SCALE: 1"=40'

ZONING INFORMATION			
ZONING DISTRICT: COMMUNITY BUSINESS (C-3)			
TOTAL AREA: 1.9 ACRES			
REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	8,000 S.F.	84,310 S.F.	NO CHANGE
MIN. LOT FRONTAGE	65 L.F.	372.7 L.F.	NO CHANGE
MIN. FT. SETBACK	25'	<1'	56.8'
MIN. ST. SETBACK	15'	14.1'	42.3'
MIN. OPEN SPACE	20%	36.6%	31.5%
MAX. BUILDING HEIGHT	40' OR 3 ST.	VARIES	+30'
MAX. FLOOR AREA RATIO	0.32	0.15	0.18

APPROVED BY THE
TOWN OF FRAMMINGHAM
PLANNING BOARD

DATE SITE PLAN ENDORSED: _____



PHILIP R. HENRY, P.E.

SHEET
COVER SHEET

1

ISSUED TO THE
TOWN OF FRAMMINGHAM
PLANNING BOARD

DATE: 08/07/2013

CDG PROJECT# 13046

NOT FOR CONSTRUCTION

DATE SITE PLAN SUBMITTED

(NOT FOR CONSTRUCTION)

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
5		
6		

SCALE:

DESIGNED BY: **RAW**

CHECK BY: **PHH**

SCALE:



PHILIP R. HENRY, P.E.

PREPARED FOR:
**498 CONCORD STREET REALTY, LLC,
ELIE YOUSSEF
506 CONCORD STREET
FRAMINGHAM, MA 01702**

PRODUCT:
**CVS
pharmacy**
498-498 CONCORD STREET (RTE-126)
FRAMINGHAM, MA 01702
TYPE A, 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
C# 51773 STORE# 1034

PREPARED BY:
**CYLL DESIGN
GROUP, LLC**

21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.cdyllgroup.com
p. 978-794-5400 f. 978-914-6161

NOTES, LEGENDS &
ABBREVIATIONS

SHEET: **2**

CDC PROJECT #: 13046
DATE: 08/07/2013

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
2. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN SHEET 06/19/2013.
3. IN ACCORDANCE WITH THE PA WORKS CONSTRUCTION GENERAL PERMIT RULES AND REGULATIONS, THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY THE ENGINEER AND IS RESPONSIBLE FOR MAINTAINING A WEEKLY REPORT OF THE STATUS OF EROSION AND SEDIMENT CONTROL MEASURES INCLUDING ANY CORRECTIVE ACTIONS PERFORMED. THESE REPORTS INCLUDING THE SWPPP SHALL BE KEPT ON-SITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND/OR FEDERAL OFFICIALS UPON REQUEST. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF 0.25 INCHES OR GREATER FOR FUNCTIONALITY.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MASS DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) EROSION CONTROL AND SEDIMENTATION AND SHALL REMAIN IN PLACE UNTIL UPRATED SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED.
5. THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
6. CONSTRUCTION SHALL IMPLEMENT TEMPORARY AND PERMANENT STABILIZATION METHODS IN ACCORDANCE WITH SECTION 2.2 STABILIZATION REQUIREMENTS IN THE 2012 IMPACT GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
7. THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT STORMWATER RUNOFF IS DIVERTED TO TEMPORARY SEDIMENTATION BASINS TO THE MAXIMUM EXTENT PRACTICABLE. TEMPORARY SEDIMENTATION BASINS SHALL BE RELOCATED AS NEEDED AS THE PROJECT EVOLVES.
8. THE PROPOSED ON-SITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SLOD SOCK (SEE DETAIL).
9. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
10. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
11. ADJACENT PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES WITH AN ADJACENT PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
12. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SMOGNET LINES, WHITE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
13. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED MEASURES. TEMPORARY MEASURES MAY BE REQUIRED TO PROTECT ADJACENT PROPERTIES SUCH AS UNBARRICADED DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, DRIVEWAYS AND SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNBARRICADED CONDITION OCCURS.
14. STOCKPILES SHALL BE LOCATED OUTSIDE OF ALL RESOURCE AREA BUFFER ZONES. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND AND SHALL BE COVERED TO PREVENT WASHOUT.
15. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATING AND SHALL BE INSPECTED.

SITE LAYOUT NOTES

1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY THE STATE (601) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY AFFECT UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. THIS PROJECT INCLUDES THE DEMOLITION OF A RESTAURANT OFFICE BUILDING, SINGLE FAMILY HOME AND ASSOCIATED PARKING LOTS, UTILITY CONNECTIONS AND APPURTEANCES.
3. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN SHEET 06/19/2013.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
5. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SMOGNET LINES, WHITE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO BE REMOVED UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
7. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
8. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
9. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL HEREBY. CONSTRUCTION ACCESS EXISTS. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
10. PEDESTRIAN AND VEHICULAR ACCESS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE KEPT IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTIONS/RECONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITH THE TRAILER AND CLEARLY VISIBLE.
12. EXISTING WATER SERVICE TO BE ABANDONED AT THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED BY THE TOWN.
13. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
14. EXISTING ON-SITE BRICKWORKS SHALL BE SHIPPED, PULVERIZED AND STOCKPILED ON-SITE TO BE USED AS RECLAIMED ASPHALT PAVEMENT BARRIERS/CONCRETE FILL MATERIAL. IF DEMOLISHED SURFACE BY THE GEOTECHNICAL RECOMMENDATIONS, IF EXISTING PAVEMENT IS NOT SUITABLE FOR REUSE, IT SHALL BE REMOVED OFF-SITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
15. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND OPERED ON A REGULAR BASIS.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL SUPERVISOR OF THE SITE DURING THE CONSTRUCTION PROCESS.
17. CONTRACTOR SHALL COORDINATE DECOMMISSIONING/RELOCATION OF MONITORING WELLS WITH OWNERS ENVIRONMENTAL CONSULTANT PRIOR TO REMOVAL.

GRADING & DRAINAGE NOTES

1. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE ON THE EXISTING CONDITIONS PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
3. EXISTING ELEVATIONS ALONG EACH BUILDING SIDE WAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
4. NEW SPURWAYS SHALL HAVE A MINIMUM CROSS SLOPE OF 1:5% THE MINIMUM RUNNING SLOPE SHALL BE 4:5% UNLESS A CONTRACTOR WANTS TO PROPOSE OTHER SLOPES. SLOPES SHALL NOT EXCEED AN 8% RUNNING SLOPE AND SHALL NOT EXCEED A 6% SLOPE UNLESS A HANDRAIL IS PROVIDED. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESSIBLE AREAS SHALL BE SLOPED AT A MINIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
5. CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRASSES CANNOT BE PLANTED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES, ROADS AND YARDS.
6. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
7. PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING EDGE OF PAVEMENT GRADE.
8. EXISTING DRIVEWAY AND UTILITY RAIL ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
9. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
10. EXISTING TRESSES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
11. ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
12. NEW CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
13. NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (405 N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
14. ROOF DRAIN LEADERS SHALL BE 6" HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
15. C/S ROOF LEADERS SHALL BE INSTALLED WITH A MINIMUM COVER OF 2" AND SHALL MAINTAIN POSITIVE PITCH TOWARDS THEIR RESPECTIVE CONNECTION POINTS.
16. ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED/SOD GRADE.

GENERAL NOTES

1. ZONING DISTRICT AND SITE INFORMATION OBTAINED FROM THE TOWN OF FRAMINGHAM ZONING MAP, DATED FEBRUARY 1, 2007, AND THE TOWN OF FRAMINGHAM ZONING BYLAW, DATED JANUARY 2013.
2. THE PROJECT INCLUDES LOTS 8, 9, 10, 10A, 11 & 12 ON MAP 51 AS SHOWN ON THE TOWN OF FRAMINGHAM ASSESSOR'S MAP AND TOTALS 1.94 ACRES.
3. THE PROJECT LIES WITHIN THE COMMUNITY BUSINESS DISTRICT (B-2) AND THE RESIDENCE DISTRICT (R-1) AND IS NOT WITHIN AN OVERLAY DISTRICT OR GROUNDWATER PROTECTION DISTRICT.
4. APPROVALS TO THIS PLAN MAY OCCUR AS UNRESOLVED CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
5. THIS SITE LIES WITHIN ZONE X, WHICH IS DENIED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD RATE INSURANCE MAP (FRIM), COMMUNITY PANEL #2017305102, WITH AN EFFECTIVE DATE OF JUNE 24, 2010.
6. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
8. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.

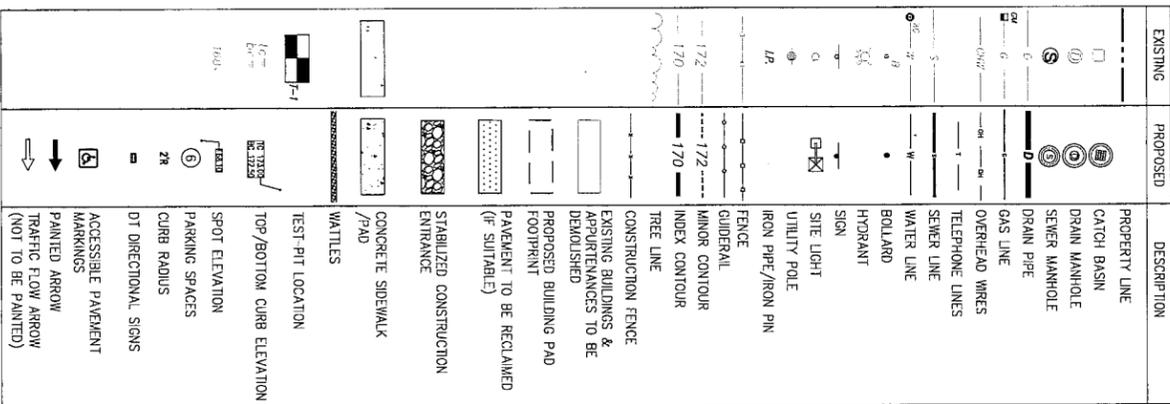
MUNICIPALITY CONTACTS

DEPARTMENT	CONTACT	PHONE NUMBER	ADDRESS
TOWN MANAGER	ROBERT HALPIN	508-532-5400	150 CONCORD STREET, FRAMINGHAM MA 01702
BUILDING DEPARTMENT	MICHAEL TUSINO	508-532-5500	150 CONCORD STREET, FRAMINGHAM MA 01702
PUBLIC WORKS	PETER SELLERS	508-532-5600	150 CONCORD STREET, FRAMINGHAM MA 01702
ASSESSOR	MARY ELLEN KELLEY	508-532-5415	150 CONCORD STREET, FRAMINGHAM MA 01702
FIRE	GARY DAUGHERTY	508-532-5930	10 LORING DRIVE, FRAMINGHAM MA 01702
HEALTH	JENNIFER THOMPSON	508-532-5470	150 CONCORD STREET, FRAMINGHAM MA 01702
PLANNING	AMANDA LOOMIS	508-532-5450	150 CONCORD STREET, FRAMINGHAM MA 01702
POLICE	STEVEN CARL	508-872-1212	1 WILLIAM WELCH WAY, FRAMINGHAM MA 01702
TOWN CLERK	VALERIE MAULVEY	508-532-5520	150 CONCORD STREET, FRAMINGHAM MA 01702
CONSERVATION COMMISSION	MAEGHAN WATERS	508-532-5460	150 CONCORD STREET, FRAMINGHAM MA 01702
BOARD OF SELECTMAN	DEWENS GIOMBETTI	508-532-5400	150 CONCORD STREET, FRAMINGHAM MA 01702
ZONING BOARD OF APPEALS	EUGENE KENNEDY	508-532-5456	150 CONCORD STREET, FRAMINGHAM MA 01702
COMMUNITY & ECONOMIC DEVELOPMENT	ALISON STEINHELD	508-532-5455	150 CONCORD STREET, FRAMINGHAM MA 01702

GENERAL ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
ASSESSOR'S PARCEL	A.P.	PROPERTY LINE
BUILDING FOOTPRINT	BIT	CATCH BASIN
BUILDING OUTLINE	CONC	DRAIN MANHOLE
CHAIN LINK SURFACE	C.L.F.	SEWER MANHOLE
CATCH BASIN	CO	SEWER PIPE
CLEARCUT	CONC	OVERHEAD WIRES
CONCRETE SURFACE	DWH	TELEPHONE LINES
DRAIN MANHOLE	DWH	SEWER LINE
DASHED WHITE LINE	DYCL	WATER LINE
DOUBLE YELLOW CENTERLINE	ECC	BOLLARD
EXPOSED CONCRETE CURB	ECC	HYDRANT
EXPOSED FLOOR ELEVATION	FEE	SIGN
FRONT YARD	FY	SITE LIGHT
FRONT YARD	FY	UTILITY POLE
VERTICAL GRANITE CURB	GM	IRON PIPE/IRON PIN
GAS METER	GM	GENEAL
HIGH DENSITY	HDPE	INDEX CONTOUR
POLYETHYLENE PIPE	HDPE	CONSTRUCTION FENCE
INVERT ELEVATION	I	EXISTING BUILDINGS & APPURTENANCES TO BE DEMOLISHED
LANDSCAPED AREA	L	PROPOSED BUILDING PAD
LANDSCAPED CONCRETE CURB	MCC	FOOTPRINT
LANDSCAPED CONCRETE CURB	MCC	PAVEMENT TO BE RECLAIMED (IF SUITABLE)
INVERT NOT AVAILABLE	N/A	STABILIZED CONSTRUCTION ENTRANCE
NOW OR FORMERLY	N/F	CONCRETE SIDEWALK /PAD
ON CENTER	OC	WALLETS
RIM ELEVATION	R	TEST PIT LOCATION
ROOF DRAIN	RD	TOP/BOTTOM CURB ELEVATION
REMOVE	RM	SPOT ELEVATION
REAR YARD	RY	PARKING SPACES
SLOD SOCK	SS	CURB RADIUS
SOLID WHITE LINE	SW	ACCESSIBLE PAVEMENT
SLOPE OF CURB	SY	PAINTED ARROW
UTILITY POLE	UP	TRAFFIC FLOW ARROW (NOT TO BE PAINTED)

LEGEND



NOT FOR CONSTRUCTION

REVISIONS:

REV	DATE	COMMENT
1		
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5		
6		



DESIGNED BY: BAW
CHECK BY: PHH



PHILIP R. HENRY, P.E.

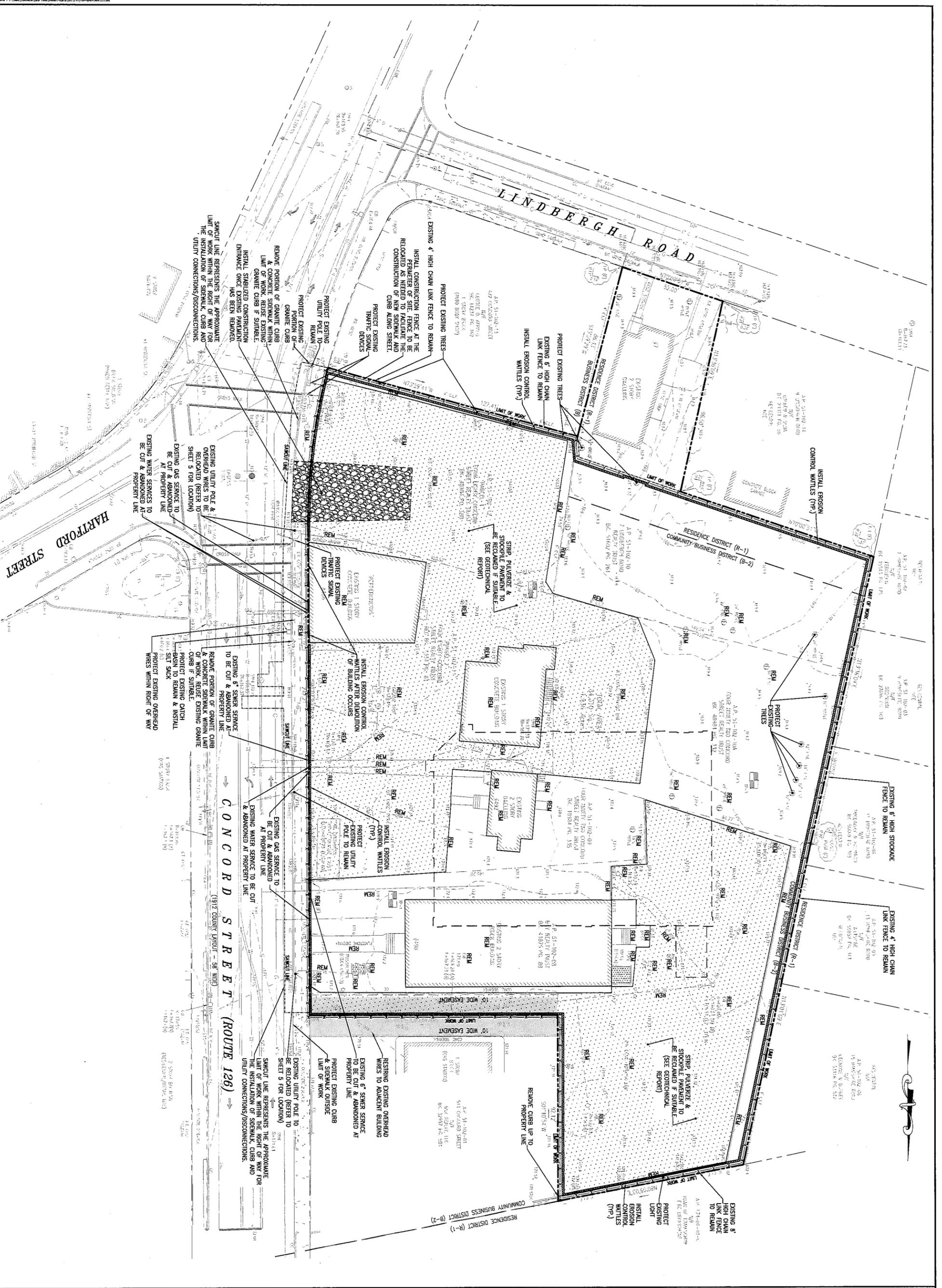
PREPARED FOR:
498 CONCORD STREET REALTY, LLC.
ELLE VOISSEUR
506 CONCORD STREET
FRAMINGHAM, MA 01702

PROJECT:
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pharmacy
480-498 CONCORD STREET, RTE-126
FRAMINGHAM, MA 01702
TYPE A, 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
CNS 51773 STORE# 1034

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SHEET:
**SITE DEMOLITION &
EROSION CONTROL
PLAN**
4

CDG PROJECT #: 13048
DATE: 08/07/2013



ZONING INFORMATION

ZONING DISTRICT: COMMUNITY BUSINESS (CB-2)

REGULATION	REQUIRED	PROPOSED
TOTAL AREA: 1.94 ACRES		
MIN. LOT AREA	8,000 S.F.	84,310 S.F. NO CHANGE
MIN. LOT FRONTAGE	65 L.F.	372.7 L.F. NO CHANGE
MIN. F.Y. SETBACK	25'	14.1' 56.8'
MIN. S.Y. SETBACK	15'	42.3'
MIN. LANDSCAPED SURFACE RATIO	20%	36.8% 31.5%
MAX. BUILDING HEIGHT	40' OR 3 ST.	31.5% 4.0'
MAX. FLOOR AREA RATIO	0.32	0.15 0.18

PARKING & LOADING INFORMATION

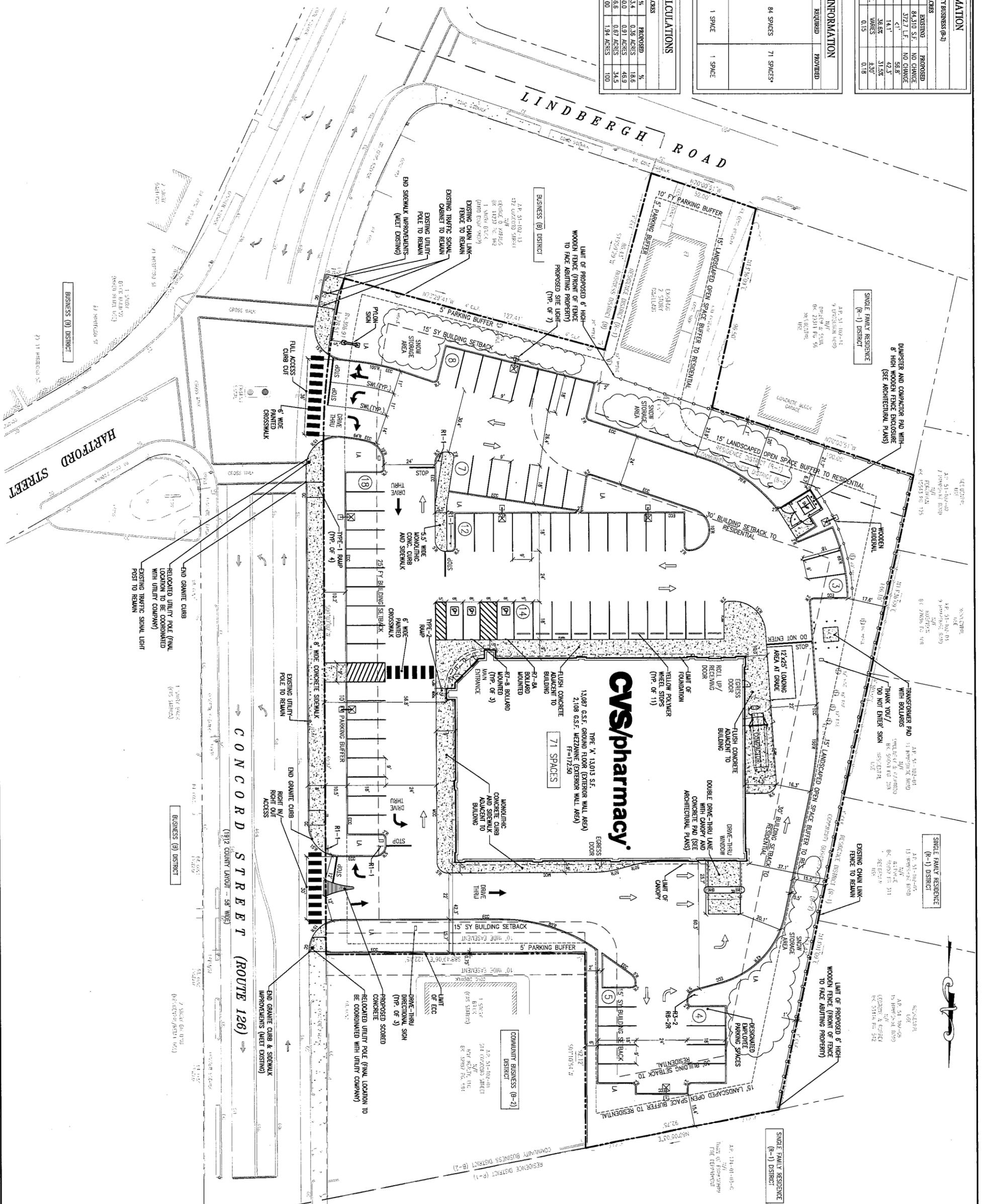
USE	REQUIRED	PROVIDED
PARKING: GENERAL, BUSINESS, COMMERCIAL, SERVICE ESTABLISHMENTS CATERING TO THE RETAIL TRADE	84 SPACES	71 SPACES*
* 1 SPACE PER 200 SF GROSS FLOOR AREA + 1 SPACE PER EMPLOYEE		
LOADING: RETAIL SERVICES	1 SPACE	1 SPACE
1 SPACE FOR 5,000 SF - 20,000 SF		

LAND COVERAGE CALCULATIONS

	TOTAL AREA: 1.94 ACRES	EXISTING	PROPOSED	%
COVER		0.28 ACRES	0.36 ACRES	18.6
BUILDING		0.97 ACRES	30.0	0.97 ACRES 30.0
PAVEMENT		0.71 ACRES	35.6	0.67 ACRES 34.5
LANDSCAPE/GROSS/OPEN		1.94 ACRES	100	1.94 ACRES 100

MUTCD REFERENCE SIGN

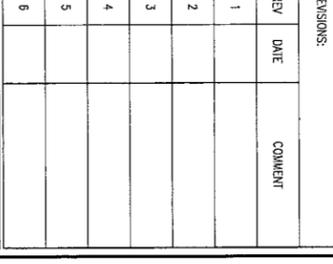
R1-1	STOP
R7-8	RESERVED
R7-8A	WALK ACCESSIBLE
R3-2	NO LEFT TURN
R6-2R	ONE WAY



APPROVED BY THE
TOWN OF FRANKFORD
PLANNING BOARD

(NOT FOR CONSTRUCTION)

REVISIONS:	DATE	COMMENT
1		
2		
3		
4		
5		
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PHILIP R. HENRY, P.E.

PREPARED FOR:
498 CONCORD STREET REALTY, LLC.
ELIE YOUSSEF
506 CONCORD STREET
FRANKFORD, MA 01702

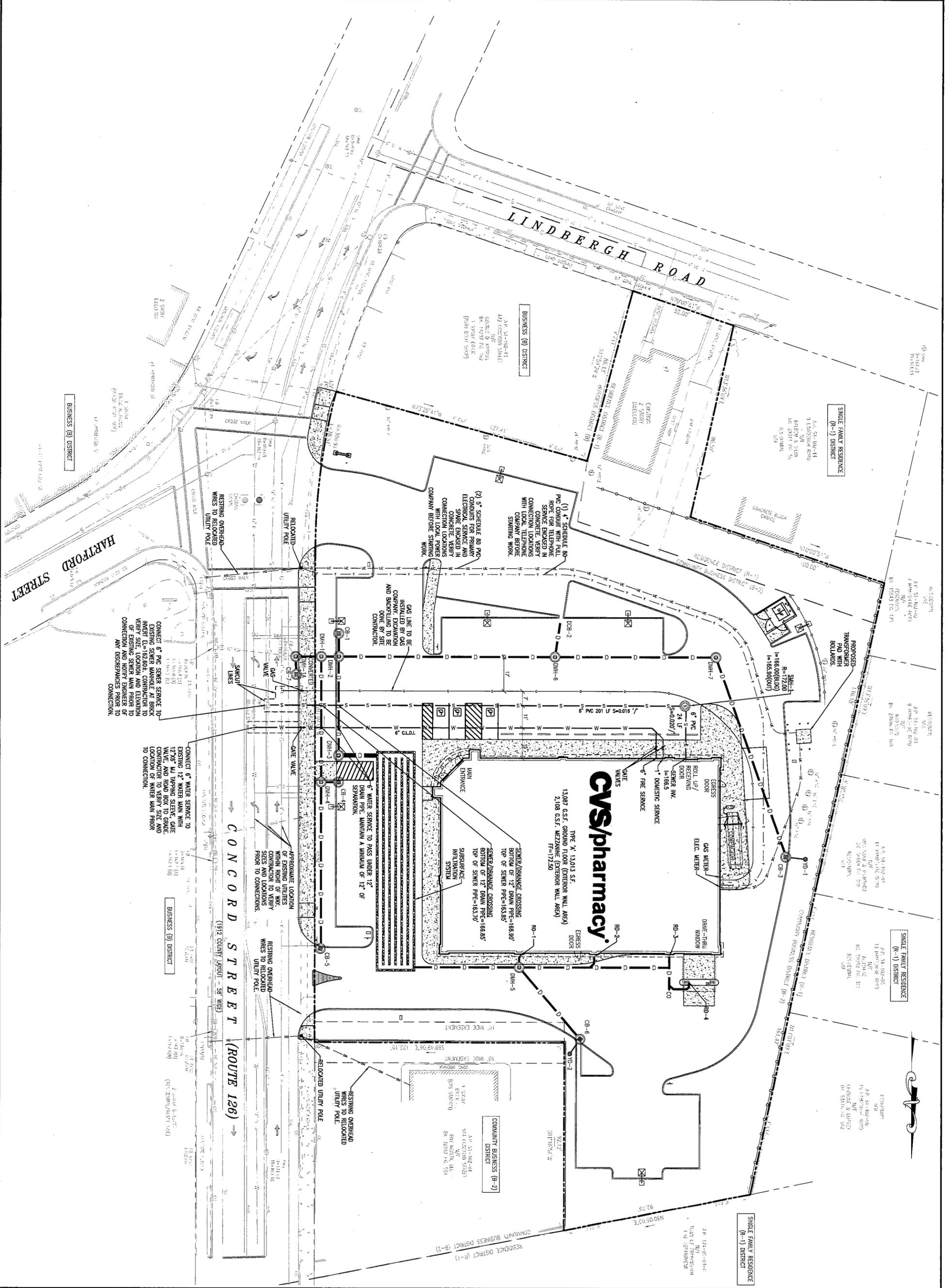
PROJECT:
CVS
pharmacy
480-498 CONCORD STREET (RTE-126)
FRANKFORD, MA 01702

TYPE 'A' 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
CS# 51773 STORE# 1014

PREPARED BY:
Civil Design Group, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.civildesigngroup.com
p. 978-794-5400 f. 978-914-6161

SITE PLAN

CDG PROJECT #: 13046
DATE: 08/07/2013



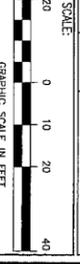
APPROVED BY THE
 TOWN OF FRAMINGHAM
 PLANNING BOARD

DATE SITE PLAN DROBBED: _____

NOT FOR CONSTRUCTION

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
5		
6		



DESIGNED BY: BAW
 CHECK BY: PRH
 SEAL: _____



PHILIP R. HENRY, P.E.

PREPARED FOR:
 498 CONCORD STREET REALTY, LLC.
 ELIE YOUSSEF
 506 CONCORD STREET
 FRAMINGHAM, MA 01702

PROJECT:
CVS
pharmacy
 486-498 CONCORD STREET (RTE-126)
 FRAMINGHAM, MA 01702

TYPE: A, 13,013 SF
 RIGHT SIDE DOUBLE DRIVE THRU
 LEFT ENTRANCE
 CSH 51773 STORE# 1034

PREPARED BY:
CIVIL DESIGN
GROUP, LLC

21 HIGH STREET, SUITE 300A
 NORTH ANDOVER, MA 01845
 www.civildesigngroup.com
 p. 978-794-5400 f. 978-914-6161

SITE UTILITY
PLAN
7

CDC PROJECT #: 13046
 DATE: 08/07/2013

(NOT FOR CONSTRUCTION)

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
5		
6		

SCALE:
NOT TO SCALE

DESIGNED BY: BHW
CHECK BY: PPH

SCALE:



PHILIP R. HENRY, P.E.

PREPARED FOR:
498 CONCORD STREET REALTY, LLC.
ELIE YOUSSEF
506 CONCORD STREET
FRAMINGHAM, MA 01702

PROJECT:

CVS
pharmacy
480-498 CONCORD STREET (RTE-126)
FRAMINGHAM, MA 01702
TYPE: A, 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
CSH 51773 STORE# 1034

PREPARED BY:

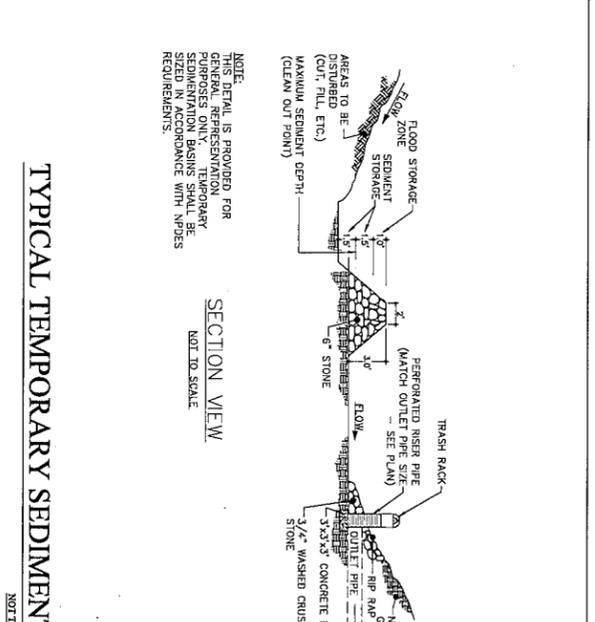
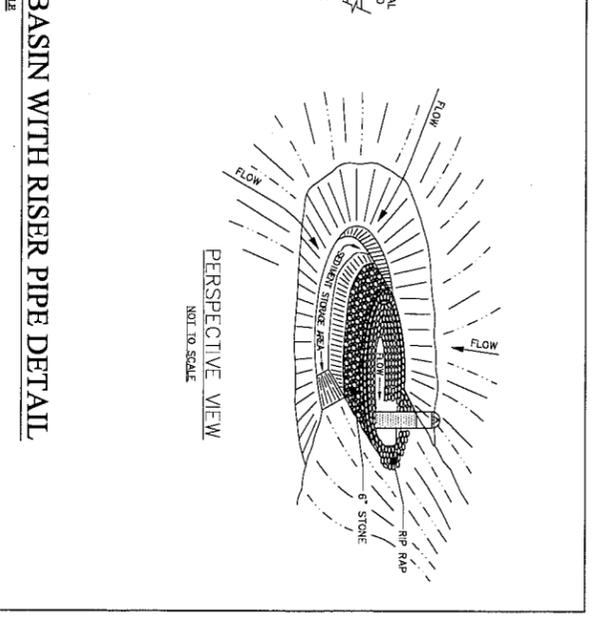
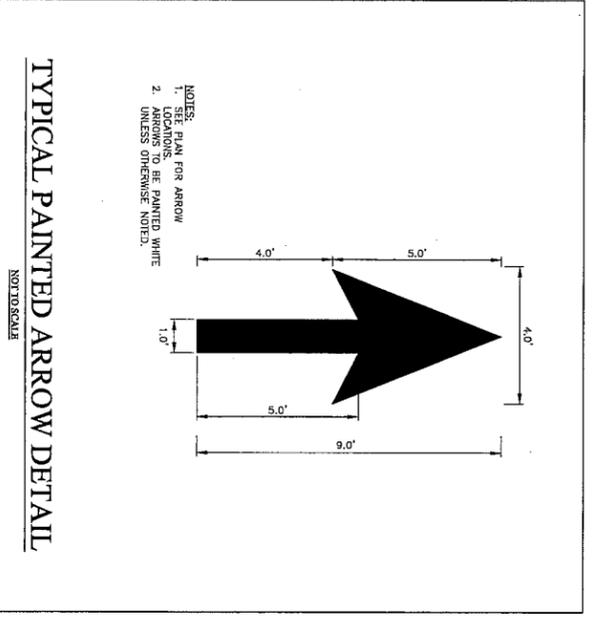
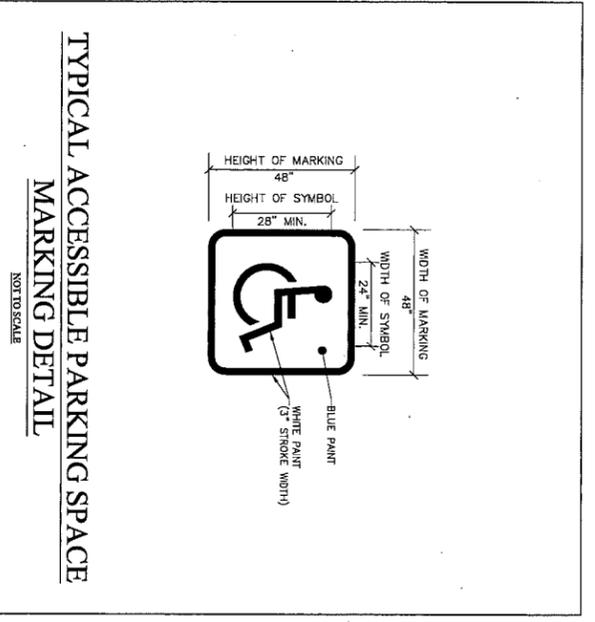
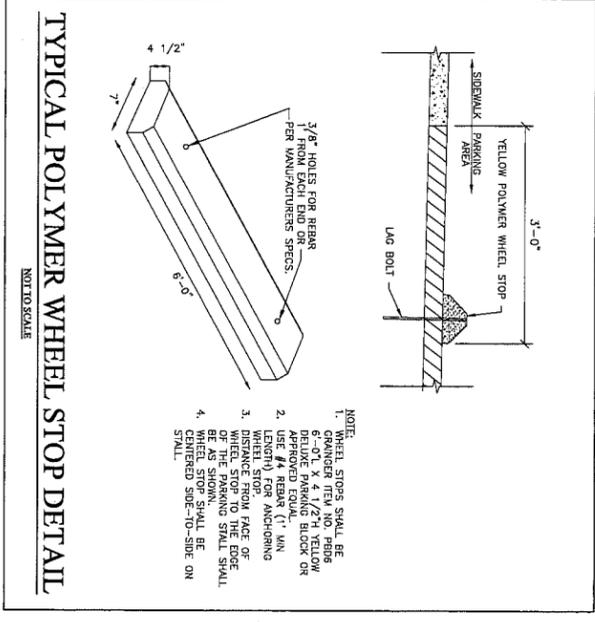
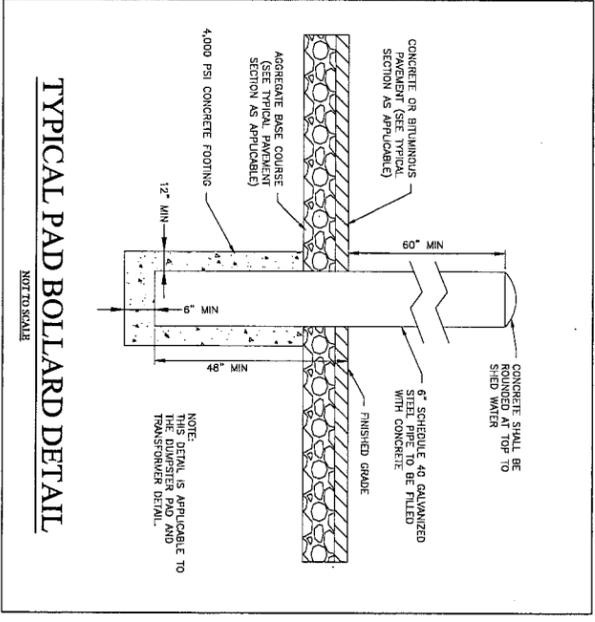
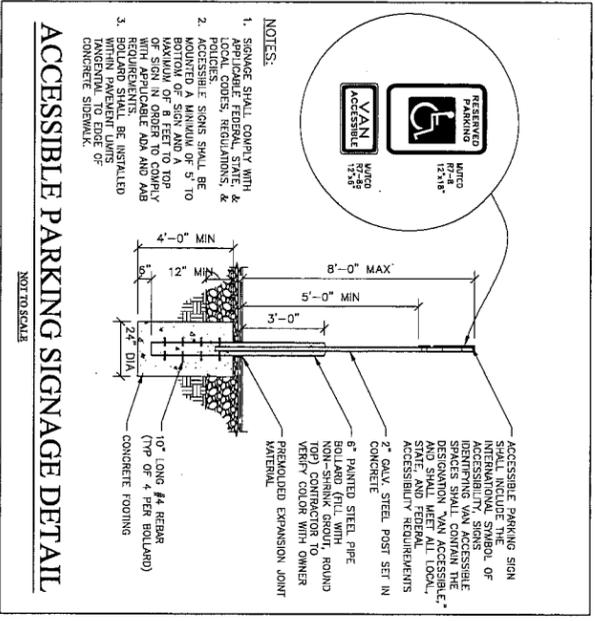
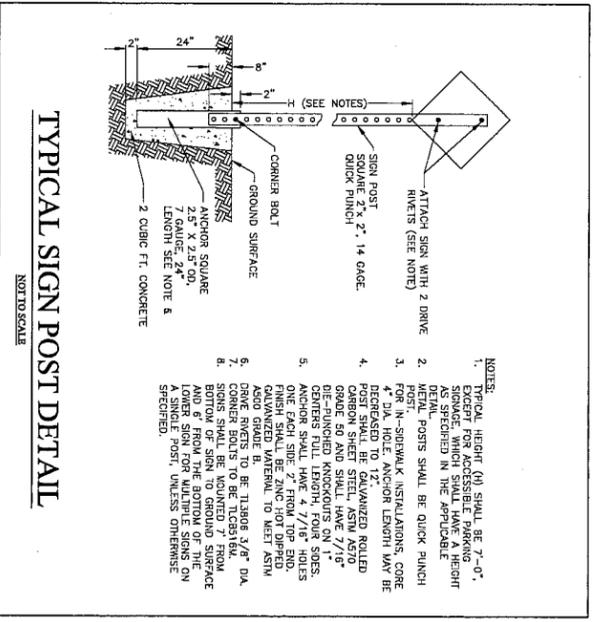
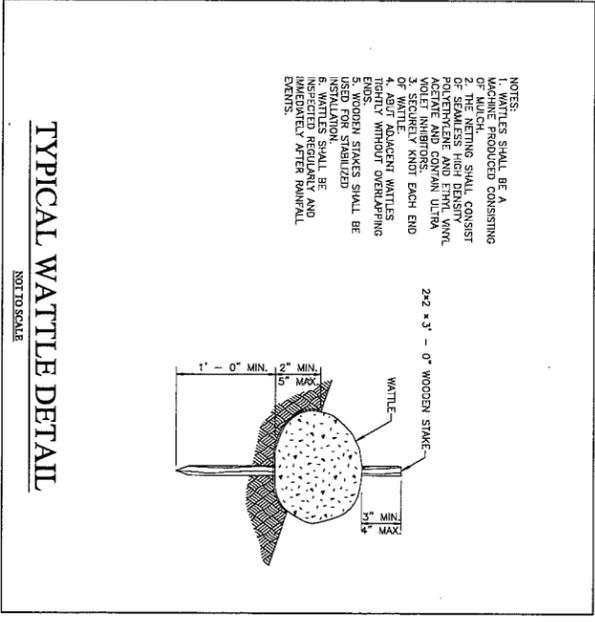
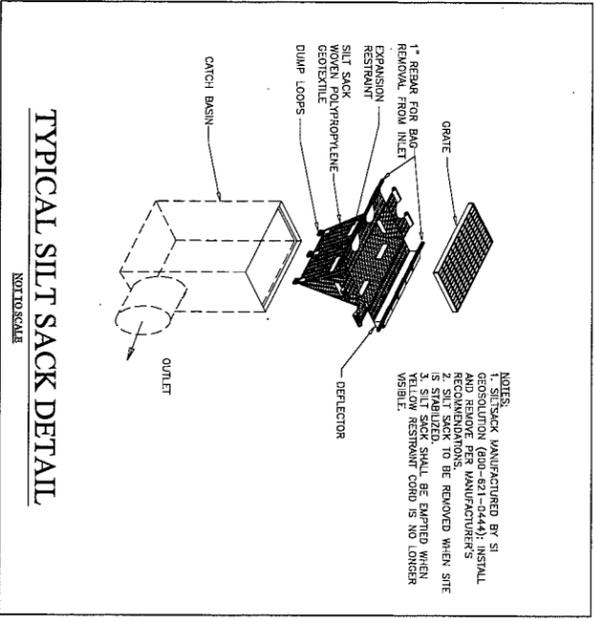
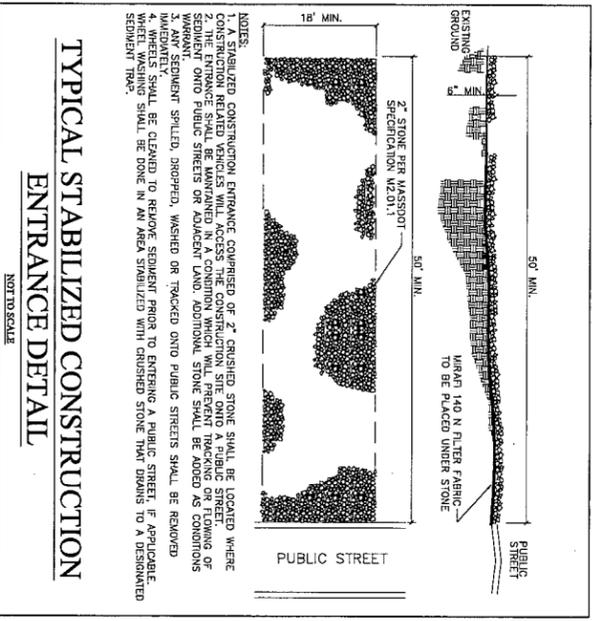
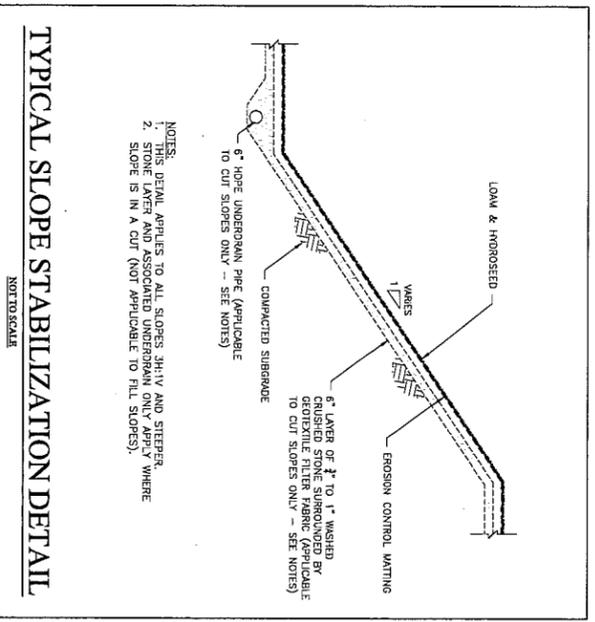
Civil Design
GROUP, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.civildesigngroup.com
p. 978-794-5400 f. 978-914-6161

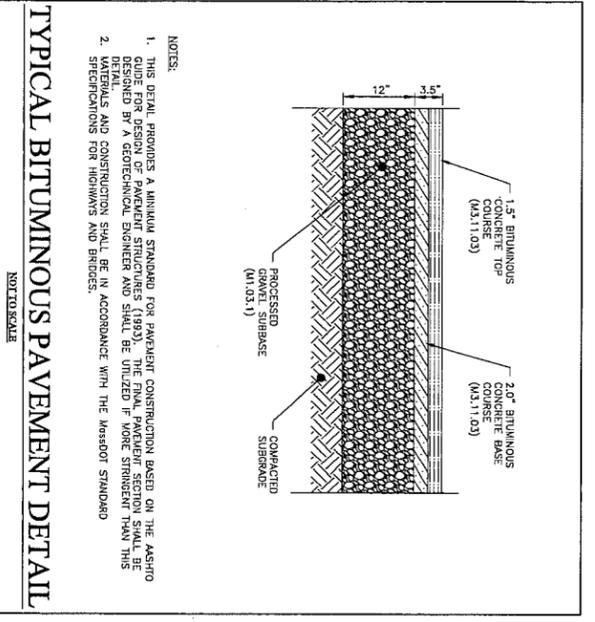
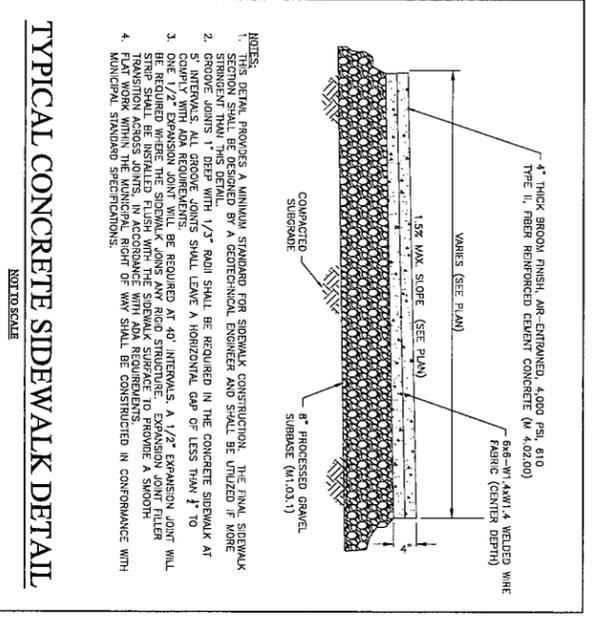
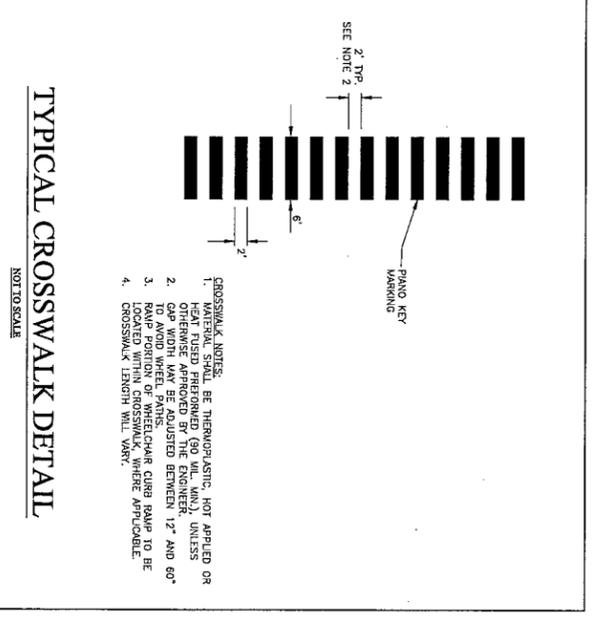
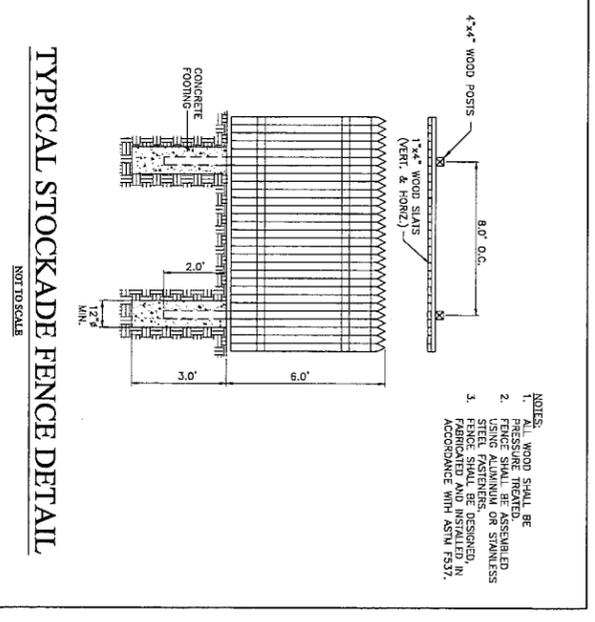
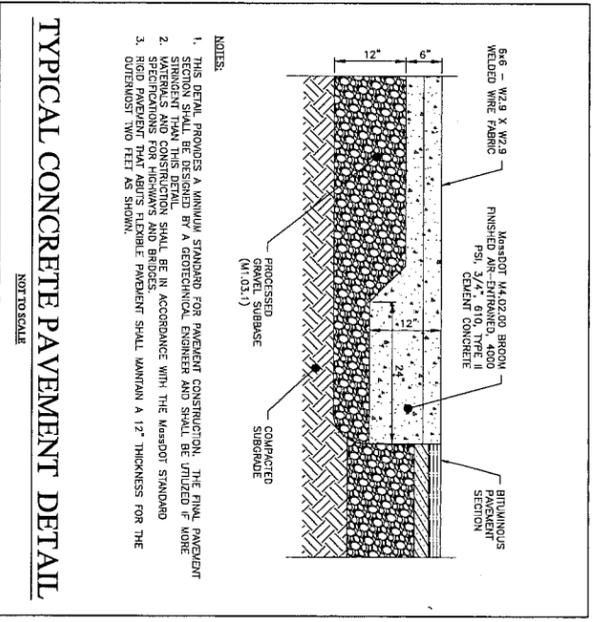
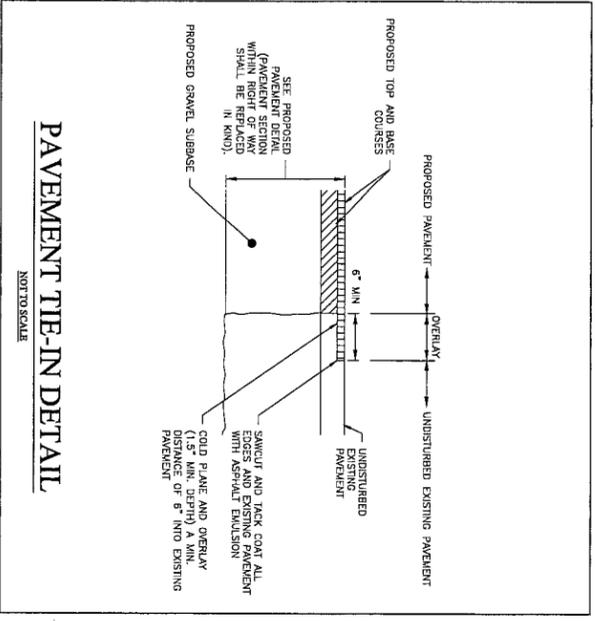
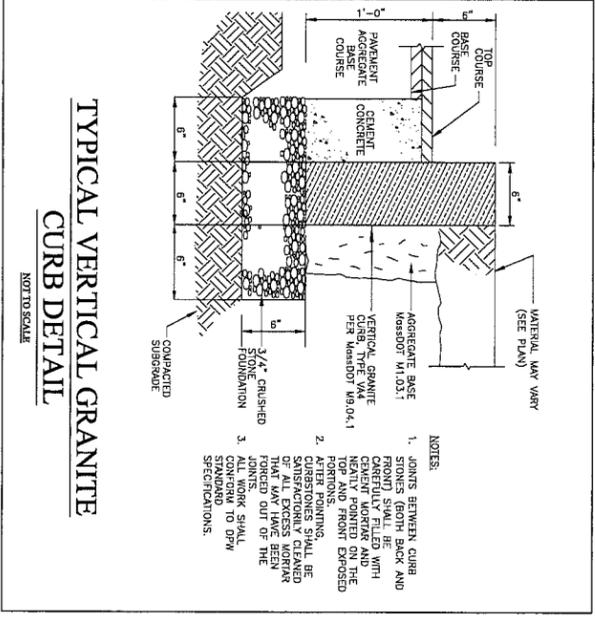
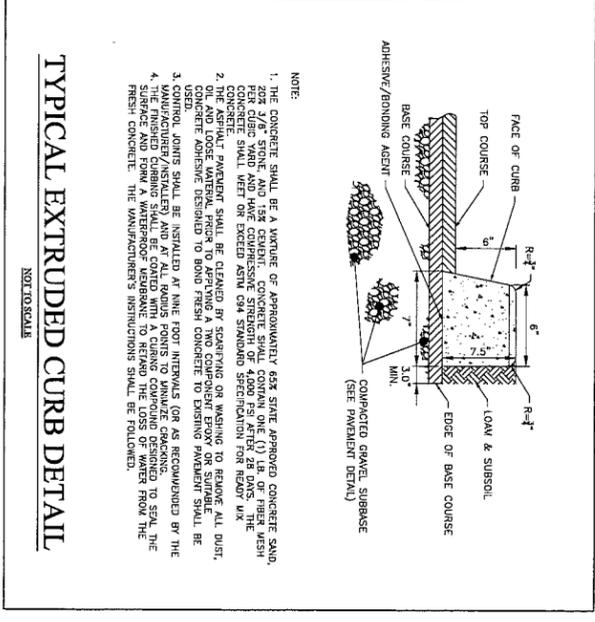
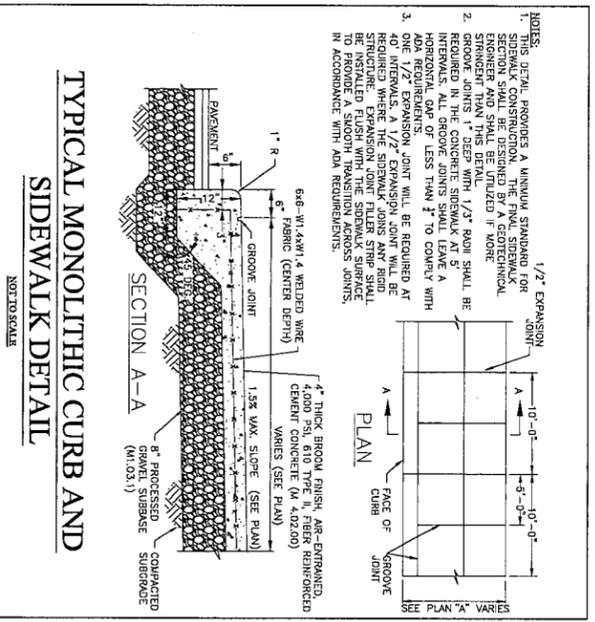
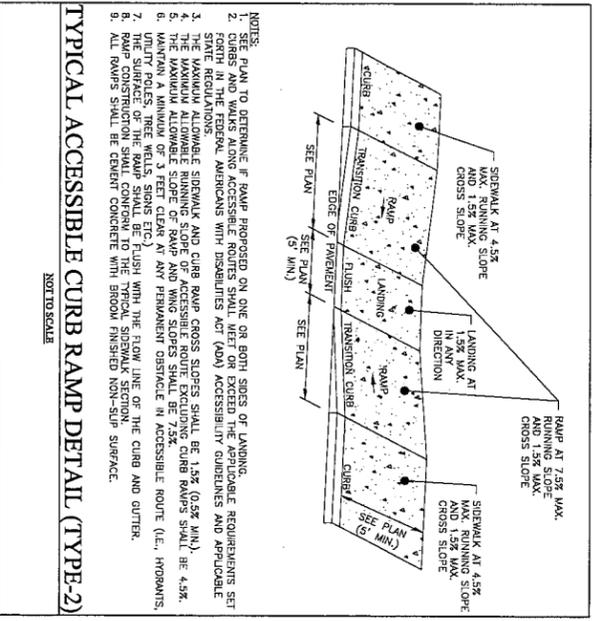
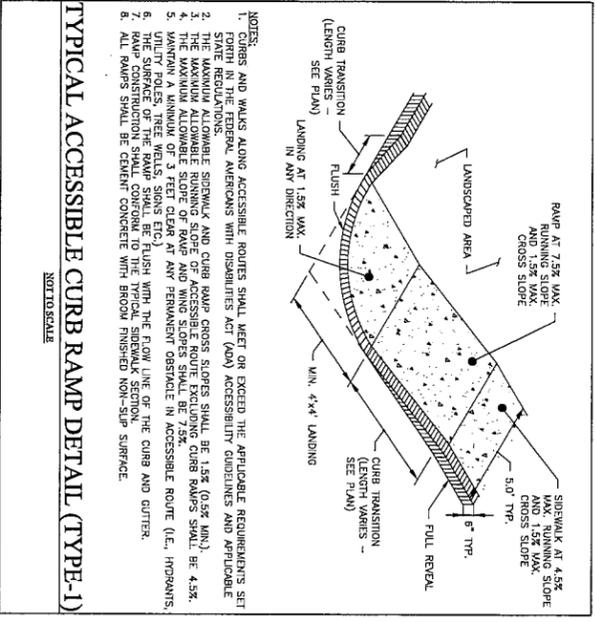
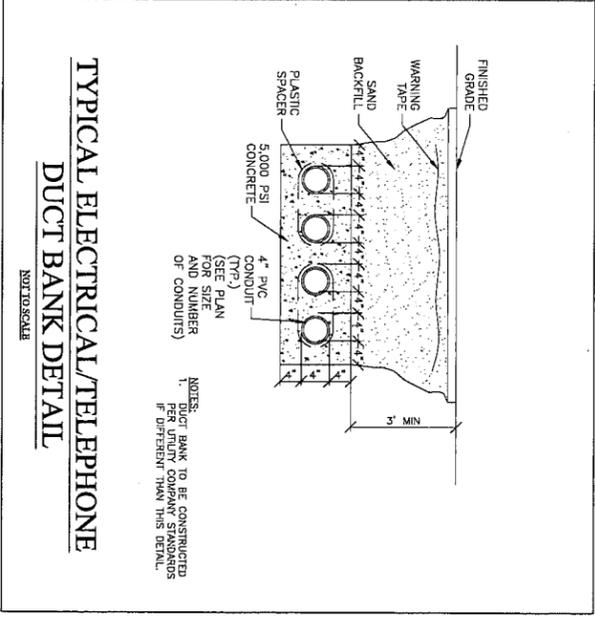
SHEET: **SITE**

CONSTRUCTION
DETAILS

9

CDD PROJECT #: 13046
DATE: 08/07/2013





APPROVED BY THE
TOWN OF FRAMINGHAM
PLANNING BOARD

DATE SET PLAN ENDS: _____

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
5		
6		

SCALE: NOT TO SCALE

DESIGNED BY: BHW
CHECK BY: PRH

SCALE: _____

PROJECT: PHILIP R. HENRY, P.E.

PREPARED FOR: 498 CONCORD STREET REALTY, LLC.
ELIE YOUSSEF
506 CONCORD STREET
FRAMINGHAM, MA 01702

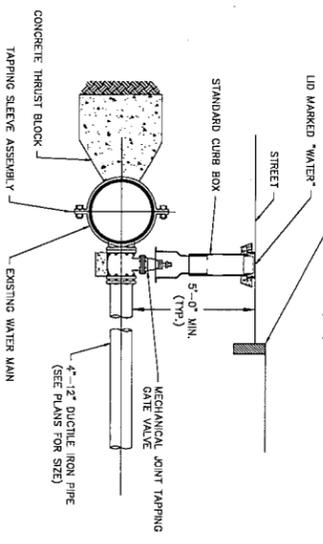
PROJECT: 498 CONCORD STREET (RTE-126)
FRAMINGHAM, MA 01702
TYPE: A, 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU LEFT ENTRANCE
CS# 51773 STORE# 1034

PREPARED BY: CIVIL DESIGN GROUP, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p. 978-794-5400 f. 978-914-6161

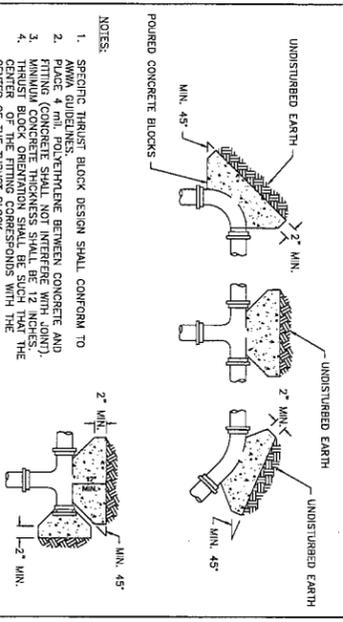
SHEET: SITE CONSTRUCTION DETAILS
10

CDC PROJECT #: 13046
DATE: 08/07/2013

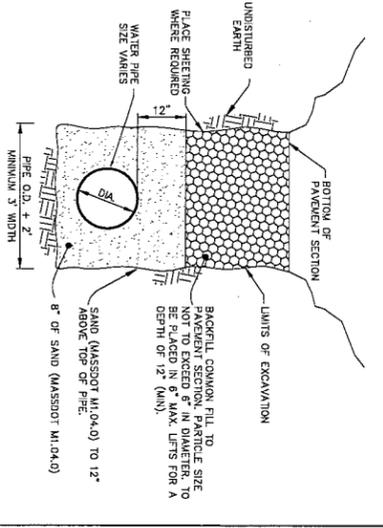
- NOTES:
1. EXTENSION TYPE VALVE BOX TO BE MULLER MODEL.
 2. VALVE BOX TO CONFORM TO THE LOCAL MUNICIPALITY OR UTILITY COMPANY SPECIFICATIONS.
 3. VALVE BOX TO BE LOCATED 18" OFF OF BACK OF CURB (TYP.) UNLESS OTHERWISE SHOWN.



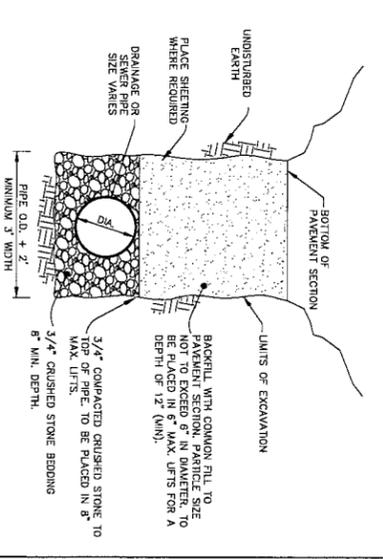
TAPPING SLEEVE CONNECTION DETAIL
NOT TO SCALE



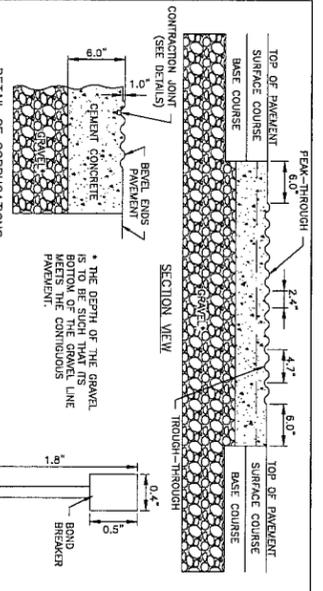
TYPICAL THRUST BLOCK DETAIL
NOT TO SCALE



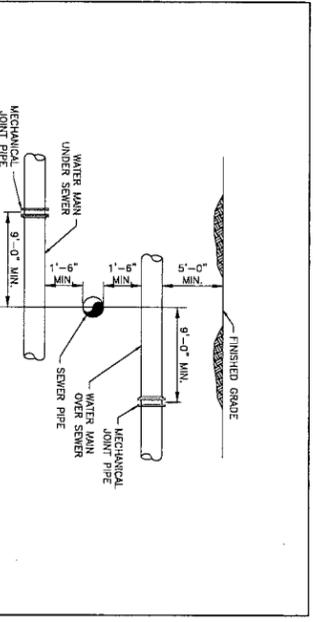
TYPICAL WATER TRENCH DETAIL
NOT TO SCALE



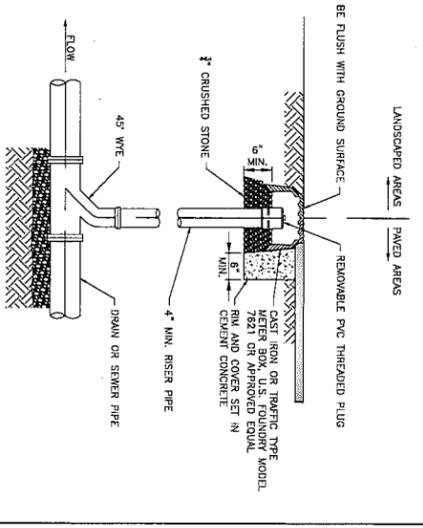
TYPICAL DRAIN & SEWER TRENCH DETAIL
NOT TO SCALE



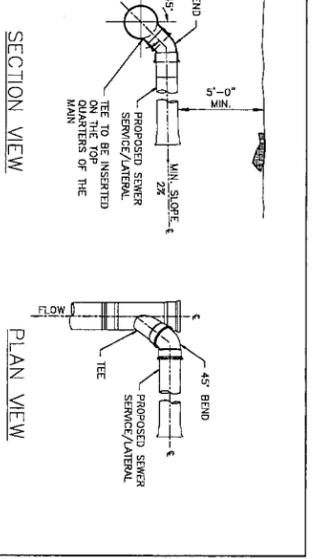
SCORED CONCRETE PAVEMENT DETAIL
NOT TO SCALE



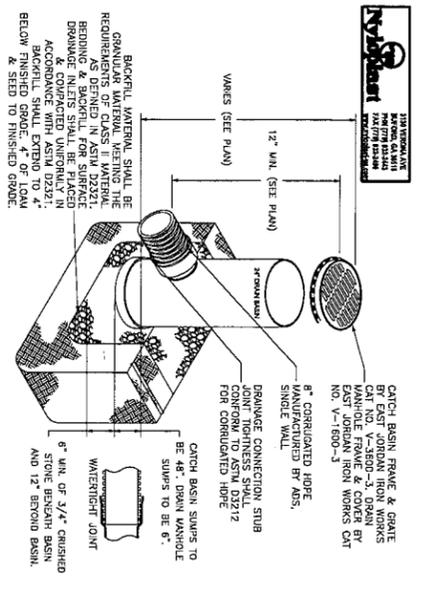
WATER/SEWER CROSSING DETAIL
NOT TO SCALE



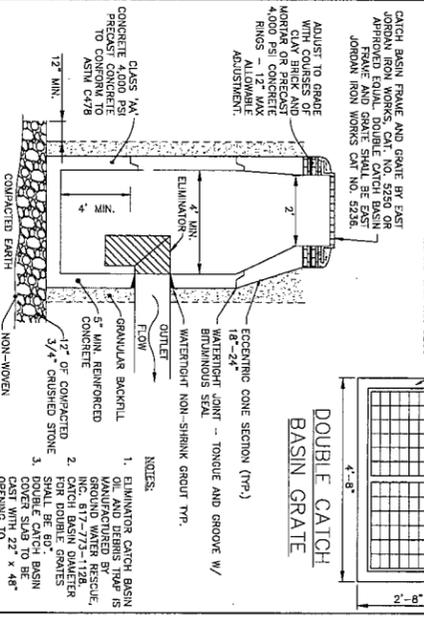
TYPICAL CLEANOUT DETAIL
NOT TO SCALE



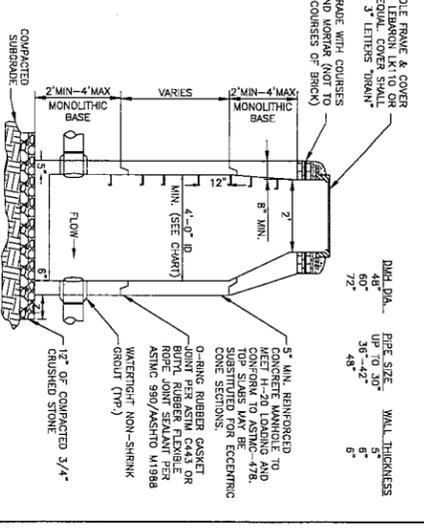
TYPICAL SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE



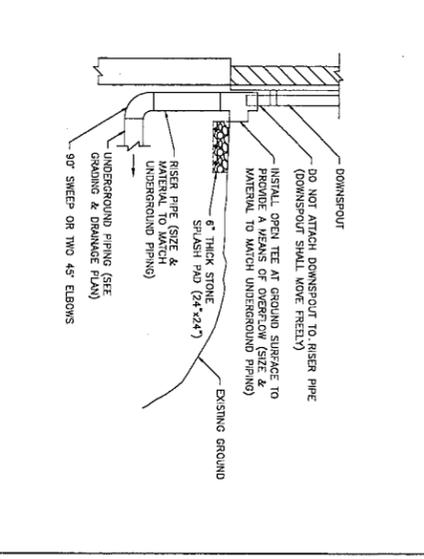
NYLOPLAST 24" DRAIN BASIN (YARD DRAIN)
NOT TO SCALE



TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



TYPICAL DRAIN MANHOLE DETAIL
NOT TO SCALE



GUTTER DOWNSPOUT DETAIL
NOT TO SCALE

(NOT FOR CONSTRUCTION)

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
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NOT TO SCALE

DESIGNED BY: BAW
CHECK BY: PRH



PHILIP R. HENRY, P.E.

PREPARED FOR:
498 CONCORD STREET REALTY, LLC.
ELLE YOUSSEF
506 CONCORD STREET
FRAMINGHAM, MA 01702

PROJECT:
CVS
pharmacy
480-998 CONCORD STREET (RT2-126)
FRAMINGHAM, MA 01702
TYPE: A 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
CSH 51773 STORE# 1034

PREPARED BY:
CIVIL DESIGN
GROUP, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.cdgenr.com
P: 978-794-5400 E: 978-914-6161

SITE CONSTRUCTION DETAILS
11

(NOT FOR CONSTRUCTION)

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		
4		
5		
6		

NOT TO SCALE

DESIGNED BY: BAW
CHECK BY: PRH

SCALE:



PHILIP R. HENRY, P.E.

PREPARED FOR:
498 CONCORD STREET REALTY, LLC.
ELLE YOUSSEF
506 CONCORD STREET
FRAMINGHAM, MA 01702

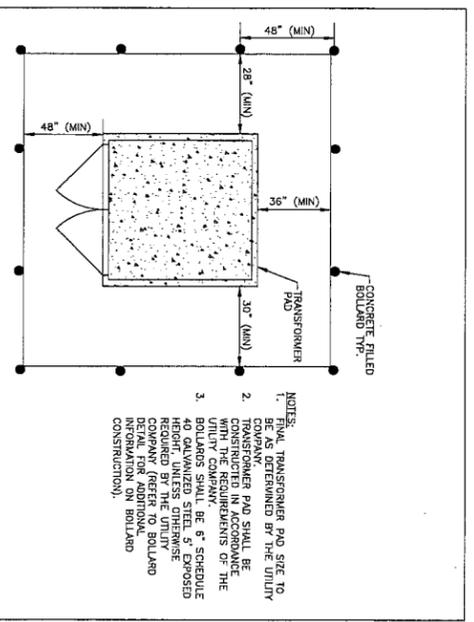
PROJECT:

CVS
pharmacy
480-498 CONCORD STREET (RTE-1A)
FRAMINGHAM, MA 01702
TYPE: A, 13,013 SF
RIGHT SIDE DOUBLE DRIVE THRU
LEFT ENTRANCE
CSM 5173 STORE# 1034

PREPARED BY:
CIVIL DESIGN
GROUP, LLC
21 HIGH STREET, SUITE 300A
NORTH ANDOVER, MA 01845
www.cdesigneng.com
p: 978-794-5400 f: 978-914-6161

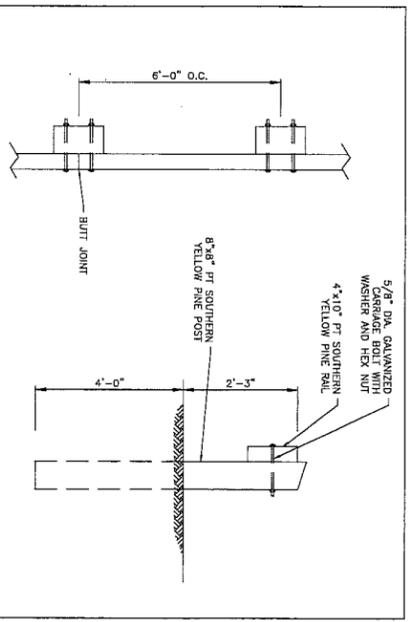
SHEET: **12**
SITE
CONSTRUCTION
DETAILS

CDG PROJECT #: 13046
DATE: 08/07/2013



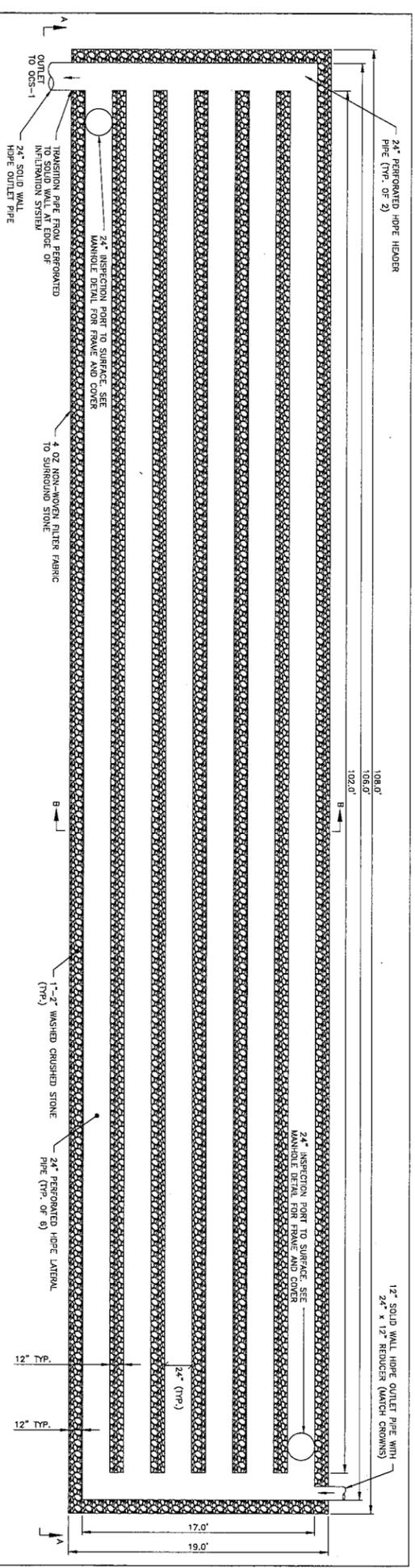
- NOTES:
1. FINAL TRANSFORMER PAD SIZE TO BE AS DETERMINED BY THE UTILITY
 2. TRANSFORMER PAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH UTILITY CONSTRUCTION SPECIFICATIONS
 3. BOLLARDS SHALL BE 6\"/>

TYPICAL TRANSFORMER PAD DETAIL
NOT TO SCALE

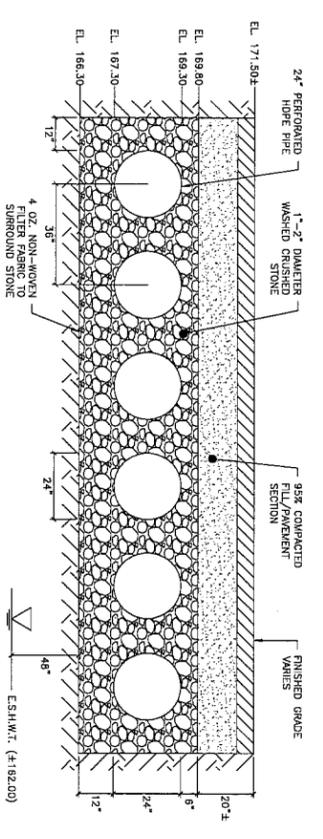


- NOTE:
1. INSTALL GUIDERAIL SUCH THAT RAIL FACE IS 2\"/>

WOODEN GUIDERAIL DETAIL
NOT TO SCALE



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

SUBSURFACE INFILTRATION SYSTEM DETAIL
NOT TO SCALE

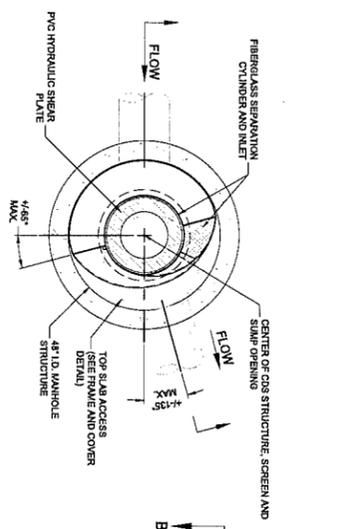
- GENERAL NOTES
1. INSULATION BASH SHALL BE CONSTRUCTED OF DUAL WALL CORRUGATED HOPE PIPE (ANSI N-12 OR APPROVED EQUAL). ALL PIPING OUTSIDE LINES OF THE STONE BED SHALL BE SOLID WALL.
 2. THE INVERT IN THE DETAIL SHALL BE SET LEVEL AT 3. PIPING AND INSTALLATION METHODS SHALL BE DESIGNED FOR H-20 LOADS.

ABBREVIATIONS:
E.S.H.W.T. = ESTIMATED SEASONAL HIGH WATER TABLE

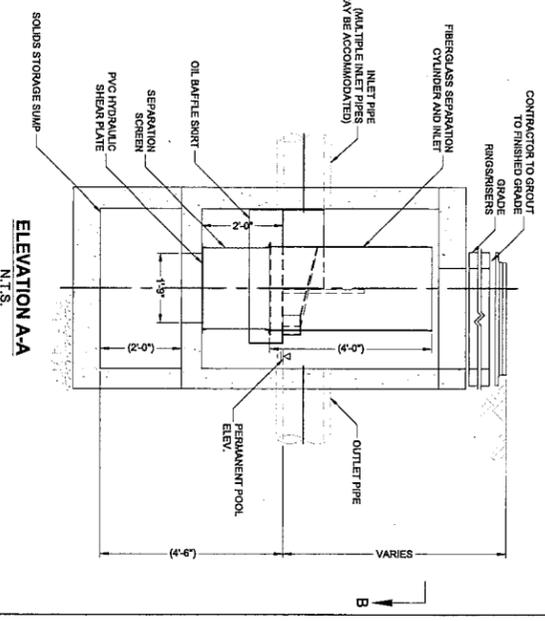
- GENERAL NOTES
1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR FABRICATION DRAWINGS WITH DETAIL STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR SUPPLIER.
 3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION PROVIDED.
 4. LOAD RATING: SHEAR PLATE IS PLACED ON SHEET AT BOTTOM OF SCREEN CHANGER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 5. STRUCTURE AND CASINGS SHALL VENT AIRSHO H520 TO EXTERIOR.
 6. DRAINAGE PLAN SHALL BE SET WITH PERMITS AND #2015-4.
- INSTALLATION NOTES
1. ANY SUB-BASE, BACKFILL, BEPTH, AND/OR AMT-F-LOATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS.
 3. CONTRACTOR TO PROVIDE AND SET THE CDS.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO JOINTS BELOW PIPE INVERTS ARE GROUDED.
- SCREENING UNIT APPROXIMATE WEIGHT PICK = 9,000 LBS.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

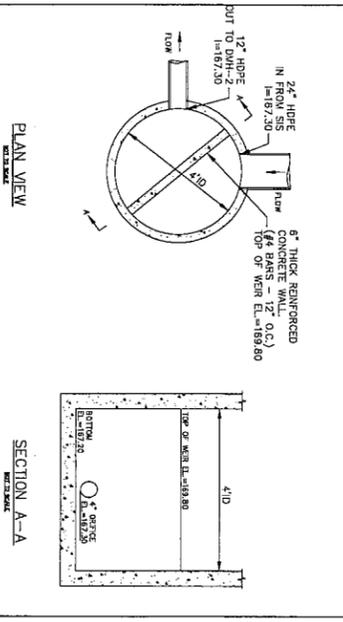


PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS 2015-4-C DETAIL
NOT TO SCALE



- NOTES:
1. OUTLET CONTROL PRECAST STRUCTURE SHALL CONFORM TO THE TYPICAL DRAIN MANHOLE DETAIL.
 2. INVERT ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR.

OUTLET CONTROL STRUCTURE #1 DETAIL
NOT TO SCALE

* Z - LUMINAIRE MOUNTING HEIGHT A.F.G.

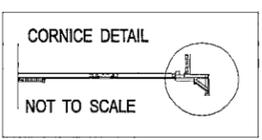
Luminaire Location Summary	X	Y	Z *	Offset	TH
1	A	441	228	25	0
2	C	448	142	25	90
3	C	530	152	25	90
4	C	448	338	25	206.655
5	C	719	304	25	160
6	C	311	235	25	344.147
7	D90	442	297	25	0
8	M/D4	513.7	343.5	24	0
9	M/D4	606.5	343.3	24	0
10	M/D4	510.8	316.8	24	0
11	M/D4	606.5	203.9	24	0
12	M/D4	576.5	203.9	24	0
13	M/D4	510.8	270.8	24	0
14	M/D4	606.7	204.9	24	0
15	M/D4	606.7	321.7	24	0
16	M/D4	510.7	322.8	24	0
17	M/D4	606.7	326.7	24	0
18	M/D4	510.7	303.8	24	0
19	M/D4	606.7	337.7	24	0
20	M/D4	510.7	333.8	24	0
21	M/D4	510.8	278.8	24	0
22	M/D4	510.8	288.8	24	0
23	M/D4	510.8	294.8	24	0
24	M/D4	510.8	301.8	24	0
25	M/D4	510.8	101.8	24	0
26	M/D4	606.8	218.9	24	0
27	M/D4	606.8	224.8	24	0
28	M/D4	606.8	232.8	24	0
29	M/D4	606.8	248.9	24	0
30	M/D4	606.8	248.9	24	0
31	M/D4	606.8	226.9	24	0
32	M/D4	606.8	264.8	24	0
33	M/D4	606.8	272.8	24	0
34	M/D4	606.8	283.9	24	0
35	M/D4	606.8	283.9	24	0
36	M/D4	606.8	295.9	24	0
37	M/D4	606.8	304.9	24	0
38	M/D4	606.8	312.8	24	0
39	M/D4	606.8	203.9	24	0
40	M/D4	622.5	203.9	24	0
41	M/D4	600.5	203.9	24	0
42	OR	633	332	14	90
43	OR	619	332	14	90
44	OR	612	332	14	90
45	OR	612	209.2	24	0
46	OR	611.5	218	24	0
47	OR	623	204.6	24	0
48	OR	627.1	342.2	18	90
49	OR	622.1	342.2	18	90
50	OR	627.1	342.2	18	90

* HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

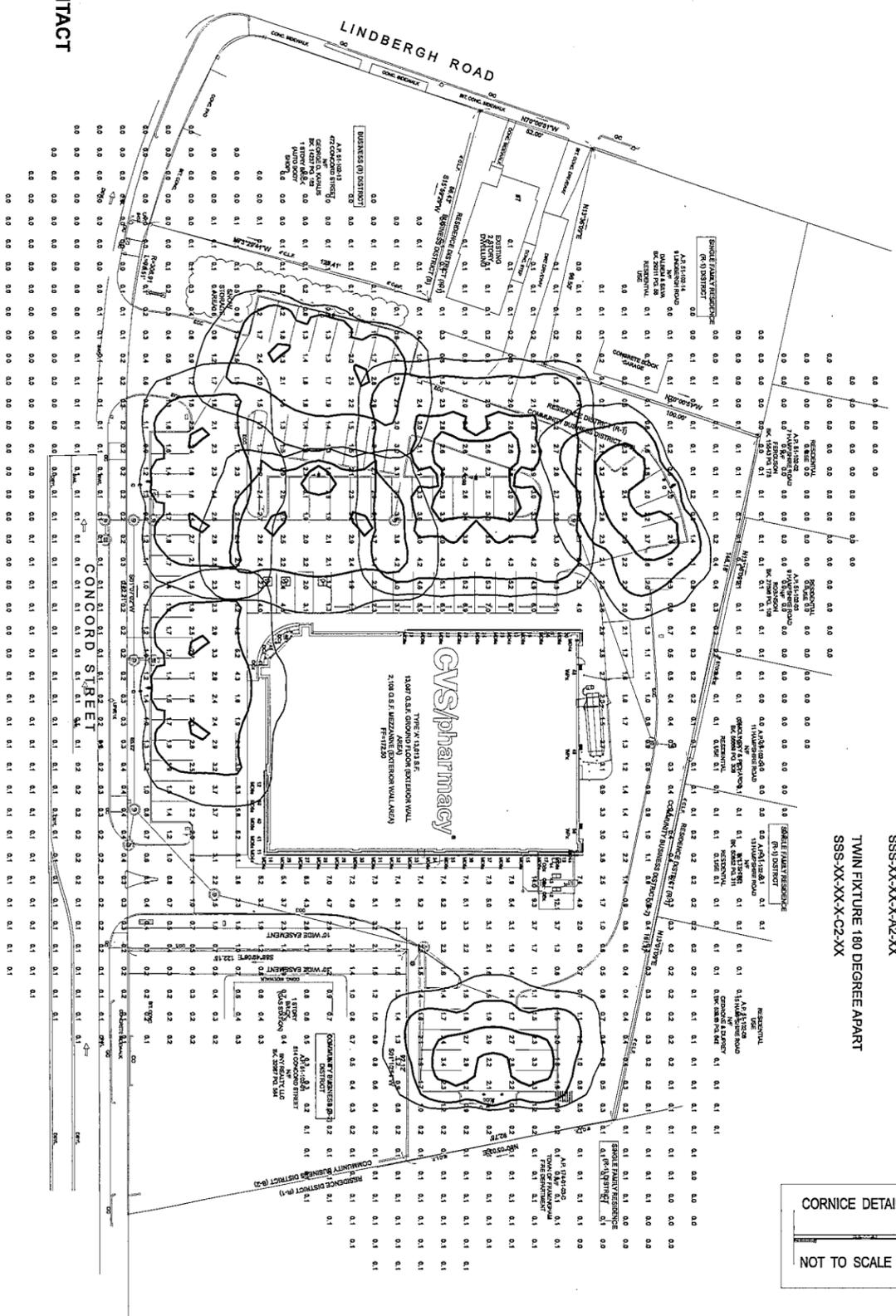
Symbol	Label	Qty	Description	Arrangement	Lum. Watts	Lum. Lumens	LDL	LDD	BF	LLF
→	A	1	CL1-50L-4K-4 (Hubbell Lf)	SINGLE	141	12036	0.850	0.950	1.000	0.803
→	C	5	CL1-50L-4K-4BC (Hubbell Lf)	SINGLE	140.3	9656	0.850	0.950	1.000	0.803
→	D90	1	CL1-50L-4K-4M HZ (Hubbell Lf)	SINGLE	207.8	16522	0.850	0.950	1.000	0.803
→	M/D4	4	C1-32 AMOBT GEN105	SINGLE	32	2895	0.850	0.900	0.890	0.732
→	M/D4	30	QTY 2 - C1-32 AMOBT GEN105	GROUP	N/A	N/A	N/A	N/A	N/A	0.732
→	OR	3	Z6T8 2.32A12 120 ALDDE	SINGLE	98	6068	0.850	0.900	0.880	0.732
→	OR	3	A4T78M02 OR	SINGLE	94	3995	0.730	0.950	0.950	0.659
→	OR	3	WFL2 70M FT	SINGLE	95	3341	0.740	0.950	0.950	0.669

Label	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
CVS PHARMACY	1.0 FC MINIMUM	Fc	2.65	7.0	1.1	2.41	6.35

POLE SPEC FOR CIMARRON:
 SINGLE FIXTURE
 SSS-XX-XX-X-A2-XX
 TWIN FIXTURE 180 DEGREE APART
 SSS-XX-XX-X-C2-XX



FOR PRICING CONTACT
 NESCO
 40 Hudson Rd
 Canton, MA 02021
 Tel: 781-828-9494
 Fax: 781-575-1398
 E-Mail: cvsplans@nescoweb.com

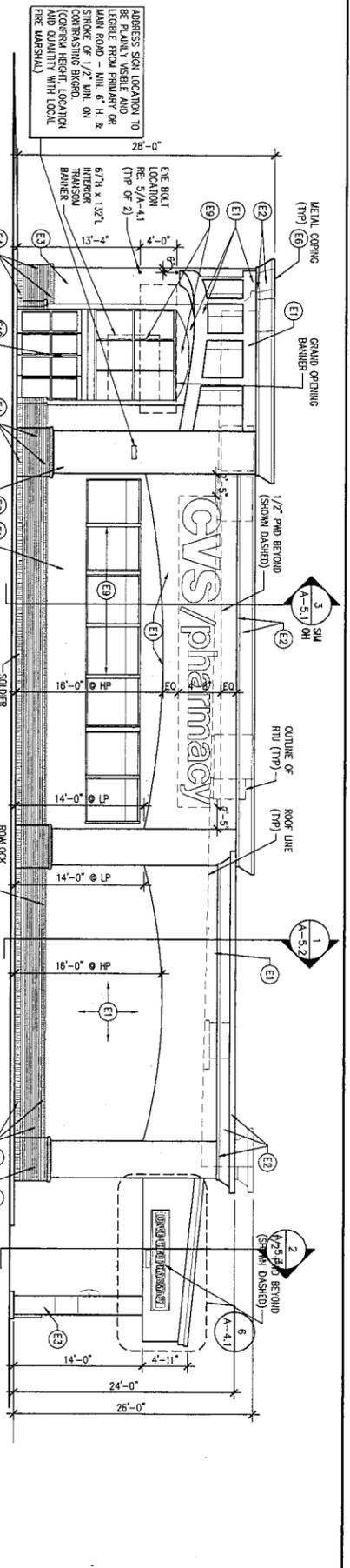


NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY

Scale: 30' = 1" (Graphic Scale)

CVS #1034
 PHOTOMETRICS PLAN

13



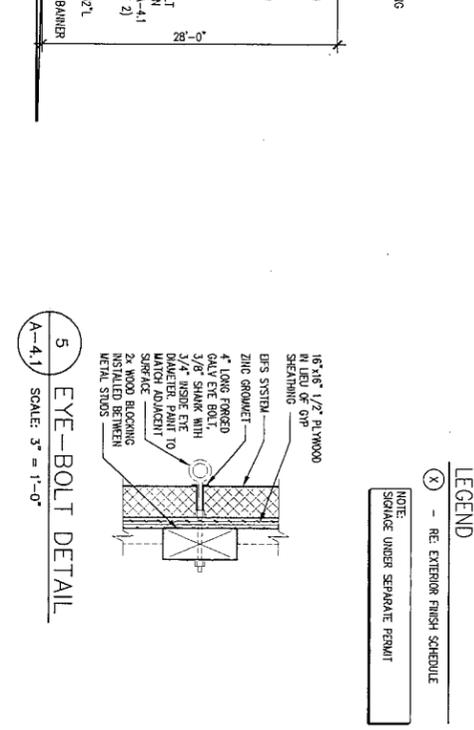
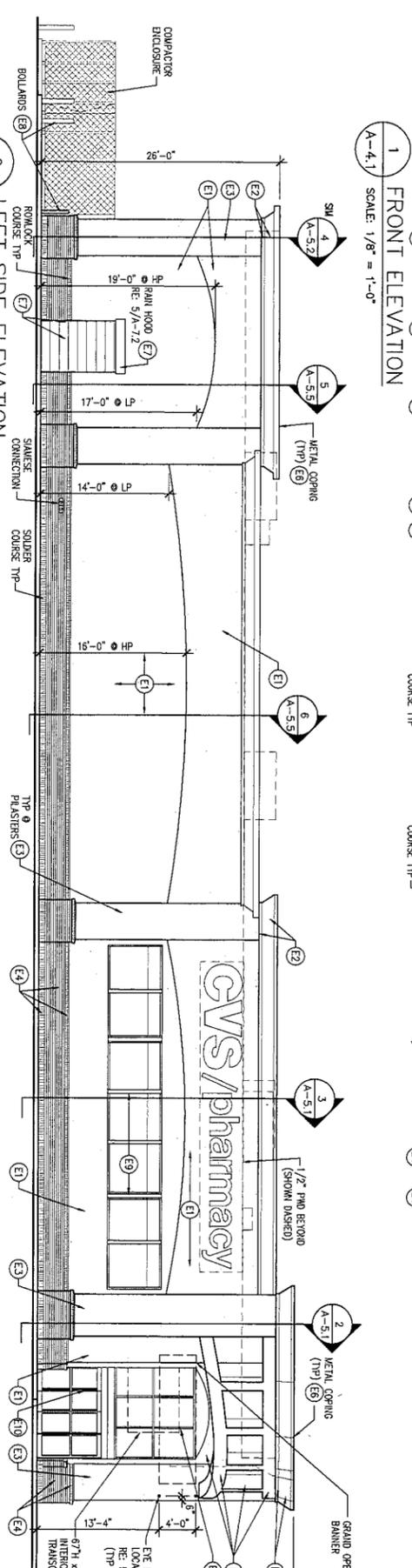
TAG	MATERIAL / DESCRIPTION	WFR	FINISH / CAT. NO.	COLOR	NOTES
E1	EIFS	S10 LOTUSAN SYSTEM	191 STOUT	M401-0020	SEE SPECIFICATION
E2	EIFS	S10 LOTUSAN SYSTEM	191 STOUT 1.5	M405-0001	SEE SPECIFICATION
E3	EIFS	S10 LOTUSAN SYSTEM	191 STOUT 1.5	M405-0001	SEE SPECIFICATION
E4	BRICK VENEER	PINE HALL BRICK	MODULAR	ONS RED	1" RUSHY PAINT, 3/16" LOTUSAN, MATH-0003, 1/2" PINE HALL BRICK, CONSOLIDATED BRICK BUILDING SPECIALS INC.
E5	PAINT	BENJAMIN MOORE	PAINT TO MATCH	BEJAMIN MOORE	
E6	PAINT	BENJAMIN MOORE	PAINT TO MATCH	BEJAMIN MOORE	
E7	PAINT	BENJAMIN MOORE	PAINT TO MATCH	BEJAMIN MOORE	
E8	BOLLARD COVER	SEE SITE & STREET FURNISHINGS SPEC.	SEE SPECS	YELLOW	TYPE FOR ALL PRE-BOLLARDS
E9	ALUM STOREFRONT	SEE SITE & STREET FURNISHINGS SPEC.	SEE SPECS	CLEAR ANODIZED	
E10	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS	CLEAR ANODIZED	

CVS pharmacy

HELLO

STORE NUMBER: 1034
 480-498 CONCORD ST
 FRAMINGHAM, MA

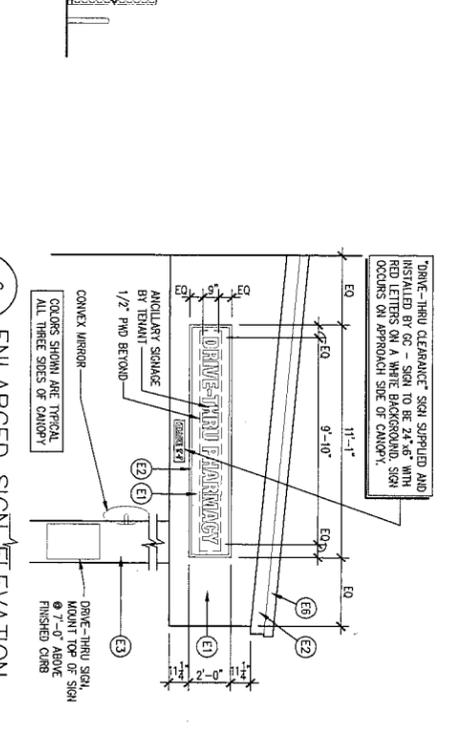
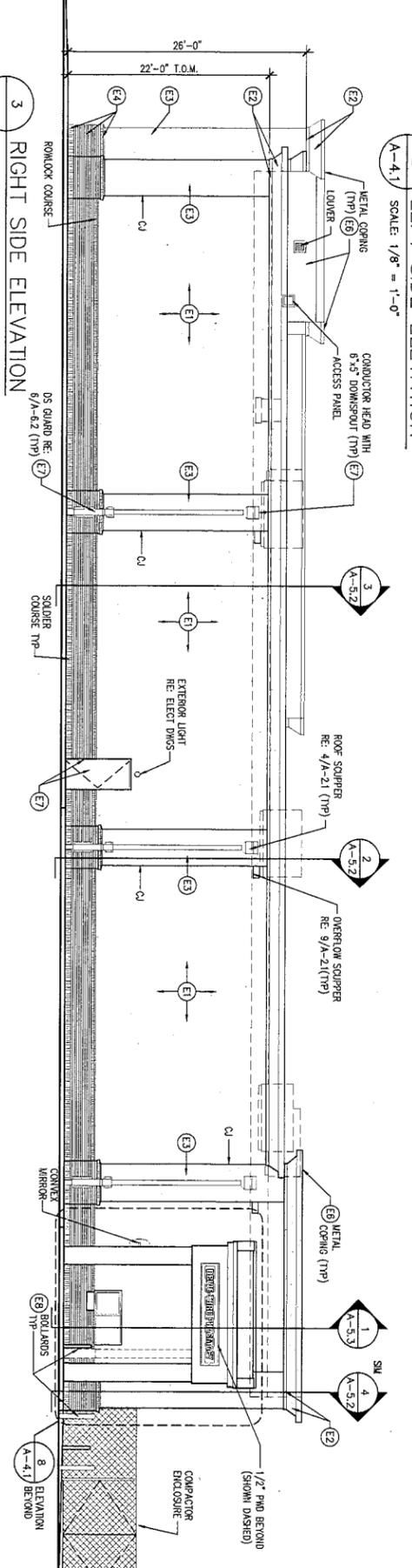
PROJECT TYPE: RELO
 DEAL TYPE: TURNKEY
 CS PROJECT NUMBER: 51773



BKA Architects, Inc.
 Architecture + Interiors

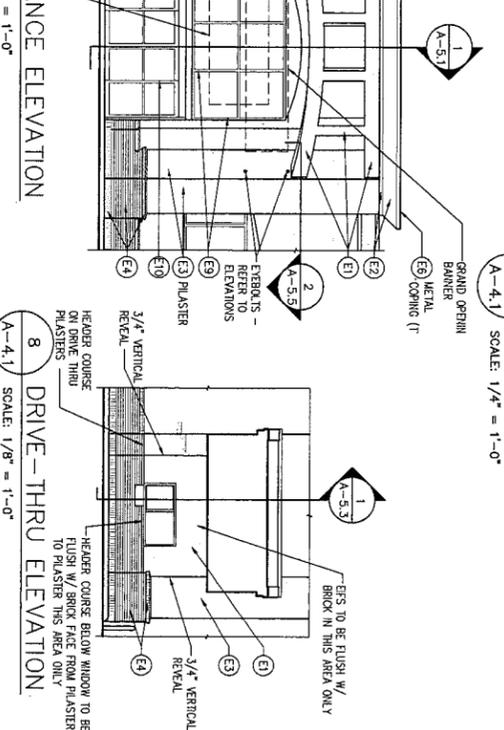
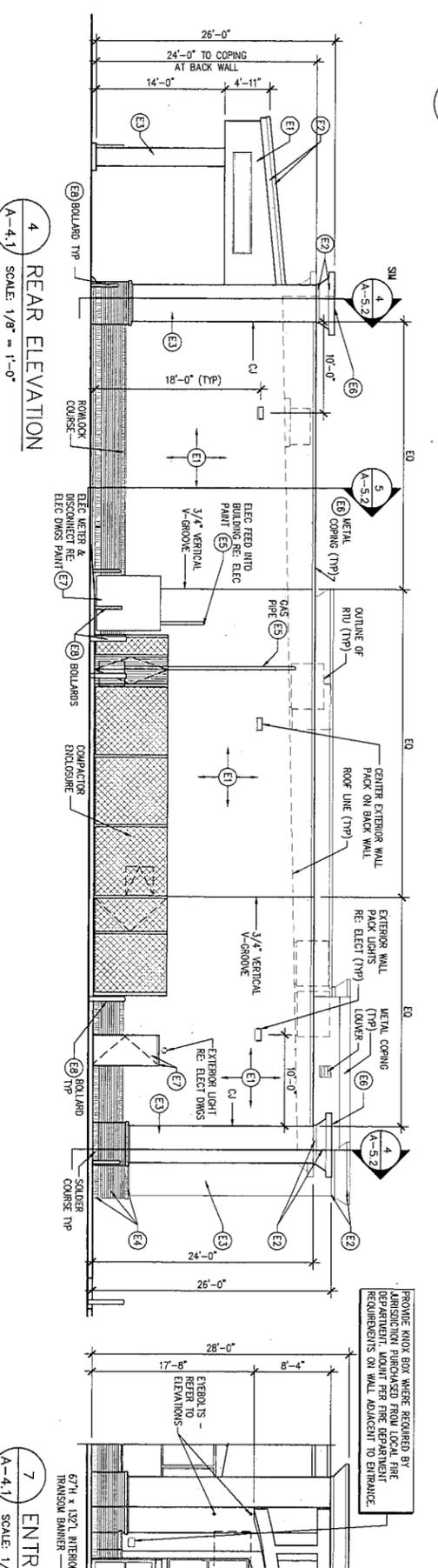
142 Crescent Street
 Brockton, MA 02302

tel: 508.583.5603
 fax: 508.584.2914
 e-mail: bka@bkaarch.com



DEVELOPER:
 488 CONCORD ST REALTY, LLC
 ELIE YOUSSEF
 506 CONCORD ST
 FRAMINGHAM, MA 01702

SEAL:



8 DRIVE-THRU ELEVATION.

REVISIONS:

NO.	DATE	DESCRIPTION
1		

DRAWING BY: KJP
 DATE: 7/31/13
 JOB NUMBER: 213093

TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A-4.1

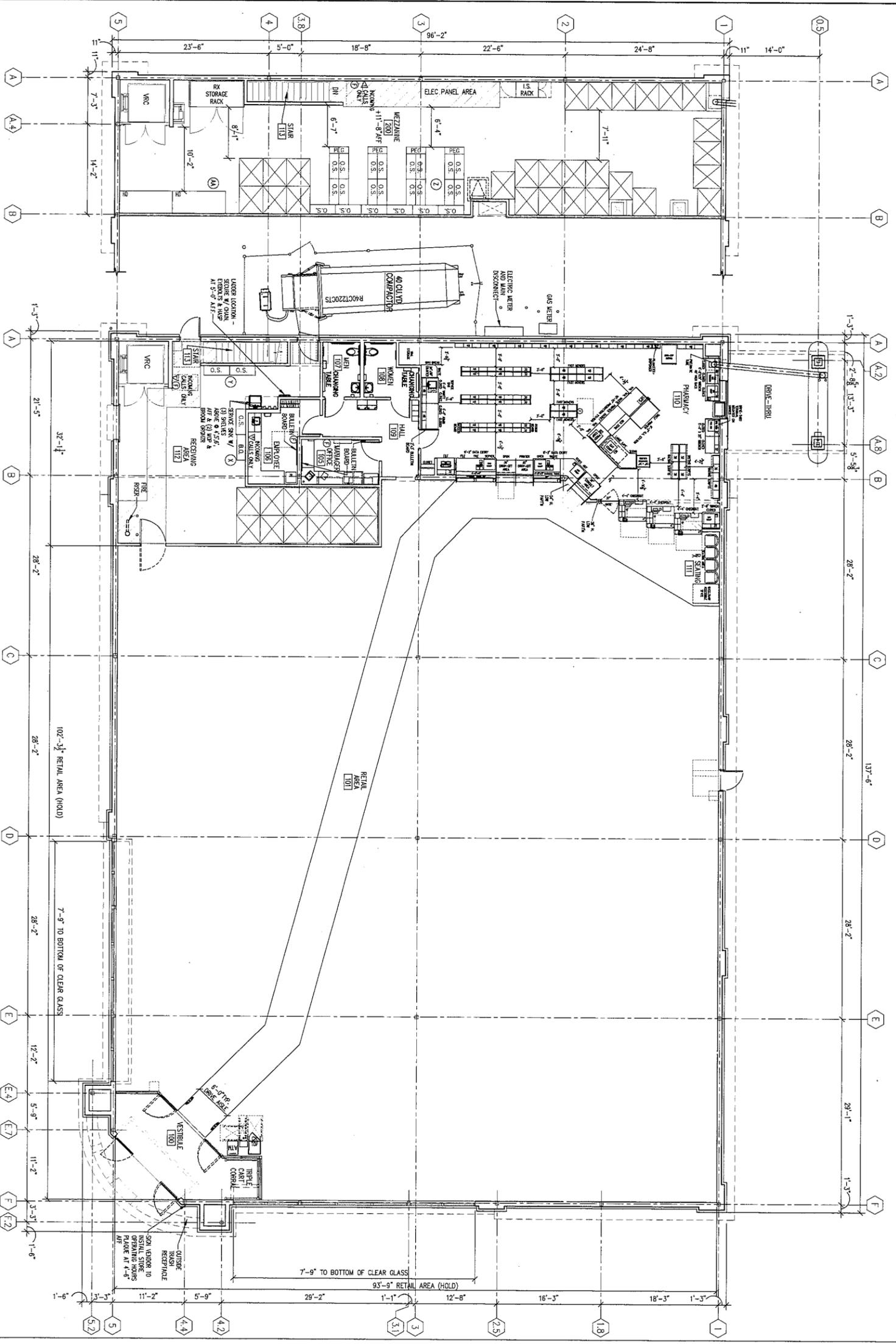
COMMENTS:
 RELEASED FOR APPROVAL

MERCHANDISE FEATURE LEGEND

	FIXTURE SUPPLIED BY OTHERS		B.O. - BACKROOM ORGANIZER
	FIXTURE TO RECEIVE OUTLET IN KICKPLATE		PALETT POSITION 3'-8" x 4'-4" RACKS
	8'-0" x 6'-0" HEAVY DUTY PALLET RACKS		L.S. RACK
	L.S. RACK		RX STORAGE RACK
	EMPLOYEE LOCKERS		LOOSE PICK OVERSTOCK
	COAT RACK		AGE MARKER
	MAP ORGANIZER		FIXTURE TAG
	SHOPPING BASKET HOLDER		COMMUNICATION JACK w/ LETTER
	FIRE EXTINGUISHER		INDICATING TYPE: T-TELEPHONE, P-P.O.S, D-DATA, H-HIGHWAY P-HIGHWAY FAILURE

STORE AREA CALCULATIONS

SCALE: 1/8" = 1'-0"			
TOTAL STORE AREA: 13,010 S.F.	SERVICE AREA: 821 S.F.	RETAIL AREA (RETAIL AREA INCLUDED): 10,905 S.F.	MEZZANINE: 1,809 S.F.
RECEIVING AREA: 815 S.F.	PHARMACY AREA: 1,160 S.F.		



2 MEZZANINE PLAN
 0-1 SCALE: 1/8" = 1'-0"

1 FLOOR PLAN
 0-1 SCALE: 1/8" = 1'-0"



RELO
 STORE NUMBER: 1034
 480-498 CONCORD ST
 FRAMINGHAM, MA
 PROJECT TYPE: RELO
 DEAL TYPE: TURNKEY
 CS PROJECT NUMBER: 51773

BKA Architects, Inc.
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 142 Crescent Street
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 e-mail: bka@bkaarch.com

DEVELOPER:
 488 CONCORD ST REALTY, LLC.
 ELIE YOUSSEF
 506 CONCORD ST
 FRAMINGHAM, MA 01702

SEAL:
 REVISIONS: DATE
 DRAWING BY: KLP
 DATE: 7/31/13
 JOB NUMBER: 213093
 TITLE: OUTLINE PLAN
 SHEET NUMBER: 0-1
 COMMENTS:
 RELEASED FOR APPROVAL