

# CONSULTANTS

## CIVIL ENGINEERS & LAND SURVEYORS



METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063

## ARCHITECT:

### KFP ARCHITECTS, INC

PH. 781.740.8750 FAX 781.740.8752  
www.thekfpcompanies.com

## LANDSCAPE ARCHITECT:

### COSMOS ASSOCIATES

LANDSCAPE ARCHITECTS  
PH. 508.628.3595 FAX 508.405.4479  
www.Cosmosassociates.com

## AMSDEN BUILDING APARTMENTS CONCORD AND KENDALL STREETS



### SHEET INDEX

SHEET 1	COVER SHEET
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SHEET 7	PROPOSED LIGHTING PLAN
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SHEET 1 OF 1	PROPOSED LANDSCAPE PLAN

### ZONING TABLE

	EXISTING	PROPOSED
AREA	N/A	32,074 <sup>±</sup> S.F.
SETBACK	124.83 FEET	124.83 FEET
FRONT YARD	-0.3 FEET	3.4 FEET 2
SIDE YARD	0.0 FEET	85.4 FEET 2
REAR YARD	10 FEET	N/A
BUILDING HEIGHT	80 FEET/7.6 STORIES	40.7 FEET/3 STORIES
OPEN SPACE	5% MINIMUM	9.7%
LOT COVERAGE	60% MAXIMUM	40.2%
FLOOR AREA RATIO	2.0 MAXIMUM	1.33
**PARKING	101 SPACES	36 SPACES
**HANDICAP PARKING	5 SPACES	2 SPACES

<sup>1</sup>THE DIMENSIONAL REQUIREMENTS LISTED ARE FOR PRINCIPAL USE OTHER THAN RESIDENTIAL OR MIXED USE WITHIN THE CENTRAL BUSINESS DISTRICT.

<sup>2</sup>THESE DIMENSIONS ARE TO THE PROPOSED ADDITION.

### \*\*PARKING REQUIREMENTS:

FIRST FLOOR RETAIL USE 8,214 S.F. EXISTING  
1 PER 200 S.F. = 42 REQUIRED SPACES  
1 PER EMPLOYEE (2 PER UNIT ESTIMATED) = 6 REQUIRED SPACES  
TOTAL = 48 SPACES

FIRST FLOOR BEAUTY PARLOR USE 5 STATIONS EXISTING  
3 PER STATION = 15 REQUIRED SPACES  
FIRST FLOOR RESTAURANT USE 99 SEATS EXISTING  
1 PER 3 OCCUPANTS = 33 REQUIRED SPACES  
1 PER 2 EMPLOYEES (3 ESTIMATED) = 3 REQUIRED SPACES  
TOTAL = 36 SPACES

FIRST FLOOR NON-RETAIL USE 2,287 S.F. EXISTING  
1 PER 1,200 S.F. = 2 REQUIRED SPACES  
TOTAL = 36 SPACES

SECOND AND THIRD FLOOR RESIDENTIAL USE PROPOSED  
2 PER DWELLING UNIT = 24 DWELLING UNITS = 48 SPACES

TOTAL SPACES REQUIRED = 101  
TOTAL SPACES PROVIDED = 36  
HANDICAP ACCESSIBLE SPACES REQUIRED:  
TOTAL SPACES REQUIRED = 5 (PARKING LOTS HAVING 101-150 SPACES)  
TOTAL SPACES PROVIDED = 2

<sup>1</sup>CLERK OF THE TOWN OF FRAMINGHAM, RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER, SAID TWENTY (20) DAY APPEAL PERIOD ENDED ON \_\_\_\_\_.

FRAMINGHAM PLANNING BOARD  
SITE PLAN REVIEW UNDER SECTION IV.1.2a

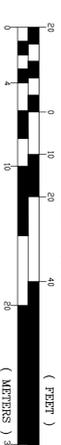
DATE: \_\_\_\_\_

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.L.S. # 37046  
F.R.A.M.I.N.G.H.A.M., P.E. # 31967 (CIVIL)

### GRAPHIC SCALE

1 inch = 20 ft.



NO.	DATE	REVISION/ADDITION, STAR, MARKS	BY
1	04/22/13	REVISE ADDITION, STAR, MARKS	PHA

COVER SHEET  
IN  
FRAMINGHAM, MASS  
(MIDDLESEX COUNTY)

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMINGHAM, MA 01702

PROPERTY OF:  
V.T.T. FRAMINGHAM RENAISSANCE  
100 CONCORD STREET  
FRAMINGHAM, MA 01702

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508)626-0063

SHEET 1 OF 8 DATE: FEBRUARY 20, 2013

CALC'D BY: PHA/BAG PLEAD BK: 563 567 CAD FILE: AMSDEN\_PROP\_SITR\_PLANS\_R1.dwg  
DRAWN BY: JTC/PHA PROJECT: FRM\_FRBD DWG FILE:

- NOTES:**
- SUBJECT PARCEL IS SHOWN AS ASSESSORS SHEET 4, BLOCK 8, LOT 28, RECORD TITLE FROM BOOK 56299, PAGE 286.
  - THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD OBSERVATIONS, AVAILABLE RECORDS AND INFORMATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT LOCATION, CHARACTER NOR ELEVATIONS OF ALL UNDERGROUND UTILITIES NOR THE LOCATION NOR CHARACTER OF ANY UTILITIES WHICH ARE NOT SHOWN OR OF WHICH WAS OBSERVED AT THE TIME OF THE SURVEY.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES.
  - THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OR THE PROPERTYS LOCAL FLOOD HAZARD ZONING MAP. THE FLOOD HAZARD IDENTIFIED AS MAP NUMBER 55017005198, BEAKING AN EFFECTIVE DATE OF JUNE 4, 2010.
  - VERTICAL DATUM IS NAVD88 - CONVERTED FROM NGVD29 TOWN BENCHES USING NGS VERTICON HEIGHT CONVERSION.
  - THE TOTAL NUMBER OF EXISTING PARKING SPACES STRIPED ON ASSESSORS SHEET 4, BLOCK 8, LOT 28 = 20.

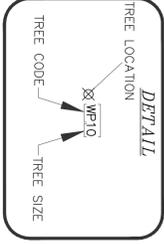


**LEGEND**

- A.C. AIR CONDITIONER UNIT
- B.F.E. BASEMENT FLOOR ELEVATION
- BIT. CONC. BITUMINOUS CONCRETE PAVEMENT
- B.W. BRICK WALK
- B.H. BULKHEAD
- C.M.P. CORRUGATED METAL PIPE
- C.O. CLEAN OUT
- C.P. CONCRETE PAD
- C.S. CONCRETE STEPS
- D.B. DRAIN CATCH BASIN
- D.R. DRAIN LINE
- D.M.H. DRAIN MANHOLE
- D.H. DRILL HOLE
- D.I. DUCTILE IRON PIPE
- E.H.H. ELECTRIC HAND HOLE
- E.T. ELECTRIC TRANSFORMER
- F.F.E. FIRST FLOOR ELEVATION
- F.P. FLAG POLE
- F.M. FLOOR MAIN
- G.M. GAS METER
- G.M. GAS GATE
- G.M. GUARD POST
- H.A.P. HANDICAP PARKING SPACE
- H.P. HYDRANT
- I.P. IRON PIPE
- I.R. IRON ROD
- L.P. LIGHTPOST
- L.B. LOADING BAY
- M.B. MAILBOX
- N.L. NAIL
- N.O. NUMBER OF PARKING SPACES
- O.S. OBSERVATION WELL
- O.W. OVERHEAD WIRES
- P.M. PARKING METER
- P.E. PAVEMENT EDGE
- P.I. PAST INDICATOR VALVE
- (S) SEWER LINE
- S.M.H. SEWER MANHOLE
- S.W.C. SAMESIDE CONNECTION (FIRE)
- S.L. SIGN
- S.B. STONE BOUND
- T.B.D. TO BE DETERMINED
- T.E. TELEPHONE MANHOLE
- U.P. UTILITY MANHOLE
- U.P. UTILITY POLE
- W.L. WATER LINE
- W.G. WINDOW WELL
- W.V. VERTICAL GRANITE CURB
- V.B.C. VERTICAL BITUMINOUS CURB
- V.C. VERTICAL CONCRETE CURB

**TREE LEGEND**

- AE# AMERICAN ELM
- ASH# ASH
- BC# BLACK CHERRY
- BE# BOX ELDER
- CAT# CATALPA
- CRAB# CRAB APPLE
- HIL# HONEY LOCUST
- H.M. HOLLAND MAPLE
- N.M. NORWAY MAPLE
- NS# NORWAY SPRUCE
- SE# SIBERIAN ELM
- SM# SILVER MARLE
- SW# SUGAR MAPLE
- W.L. WILLOW



**NOTES:**

1. SUBJECT PARCEL IS SHOWN AS ASSESSORS SHEET 4, BLOCK 8, LOT 28, RECORD TITLE FROM BOOK 56299, PAGE 286.
2. THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD OBSERVATIONS. AVAILABLE RECORDS AND INFORMATION, METROWEST ENGINEERING, INC. DOES NOT WARRANT LOCATION, CHARACTER NOR ELEVATIONS OF ALL UNDERGROUND UTILITIES NOR THE LOCATION NOR CHARACTER OF ALL UTILITIES WHICH WERE OBSERVED AT THE TIME OF THE SURVEY.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES.
4. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON THE PROPERTYS FEDERAL FLOOD INSURANCE RATE MAP. THE PROPERTY IS IDENTIFIED AS MAP NUMBER 5017005198R, BENCHING RATE EFFECTIVE DATE OF JUNE 4, 2010.
5. VERTICAL DATUM IS NAVD88 - CONVERTED FROM NAD83 TOWN BENCHES USING NGVS VERTICAL HEIGHT CONVERSION.
6. THE TOTAL NUMBER OF EXISTING PARKING SPACES STRIPED ON ASSESSORS SHEET 4, BLOCK 8, LOT 28 = 20.

**ZONING TABLE**

CENTRAL BUSINESS DISTRICT

REQUIRED <sup>1</sup>	EXISTING
AREA	32,074 S.F.
FRONTAGE	N/A
SETBACK	124.85 FEET
SEB FROM YARD	10 FEET
SIDE YARD	-0.3' FEET
REAR YARD	10 FEET
BUILDING HEIGHT	80 FEET/6 STORES
OPEN SPACE	40.7 FEET/3 STORES
LOT COVERAGE	5% MINIMUM
FLOOR AREA RATIO	60% MAXIMUM
**HANDICAP PARKING	2.0 MAXIMUM
**PARKING	101
	NONE

**ELEVATION BENCHMARKS**

NAVD88 DATUM

NAME	DESCRIPTION	ELEVATION
TBM 1	NAIL 1" UP IN UTILITY POLE #54 KENDALL STREET.	164.04'
TBM 2	SOUTH BONNET BOLT ON HYDRANT AT THE INTERSECTION OF KENDALL STREET AND CONCORD STREET.	167.56'
TBM 3	NAIL 1" UP IN UTILITY POLE #120/1-8-1 IN THE ARCADE PARKING LOT.	166.07'
TBM 4	NAIL 1" UP IN UTILITY POLE #10A IN THE ARCADE PARKING LOT.	167.09'

**EXISTING CONDITIONS PLAN**

(AMSDEN BUILDING)  
IN  
FRAMMINGHAM, MASS  
(MIDDLESEX COUNTY)

FOR METROWEST ENGINEERING, INC.  
ROBERT A. GEMMA, P.L.S. # 37046  
DATE: 01/11/11  
F.E. # 31967 (CI/VI)

GRAPHIC SCALE  
1 inch = 80 ft.  
( FEET ) 80  
( METERS ) 30

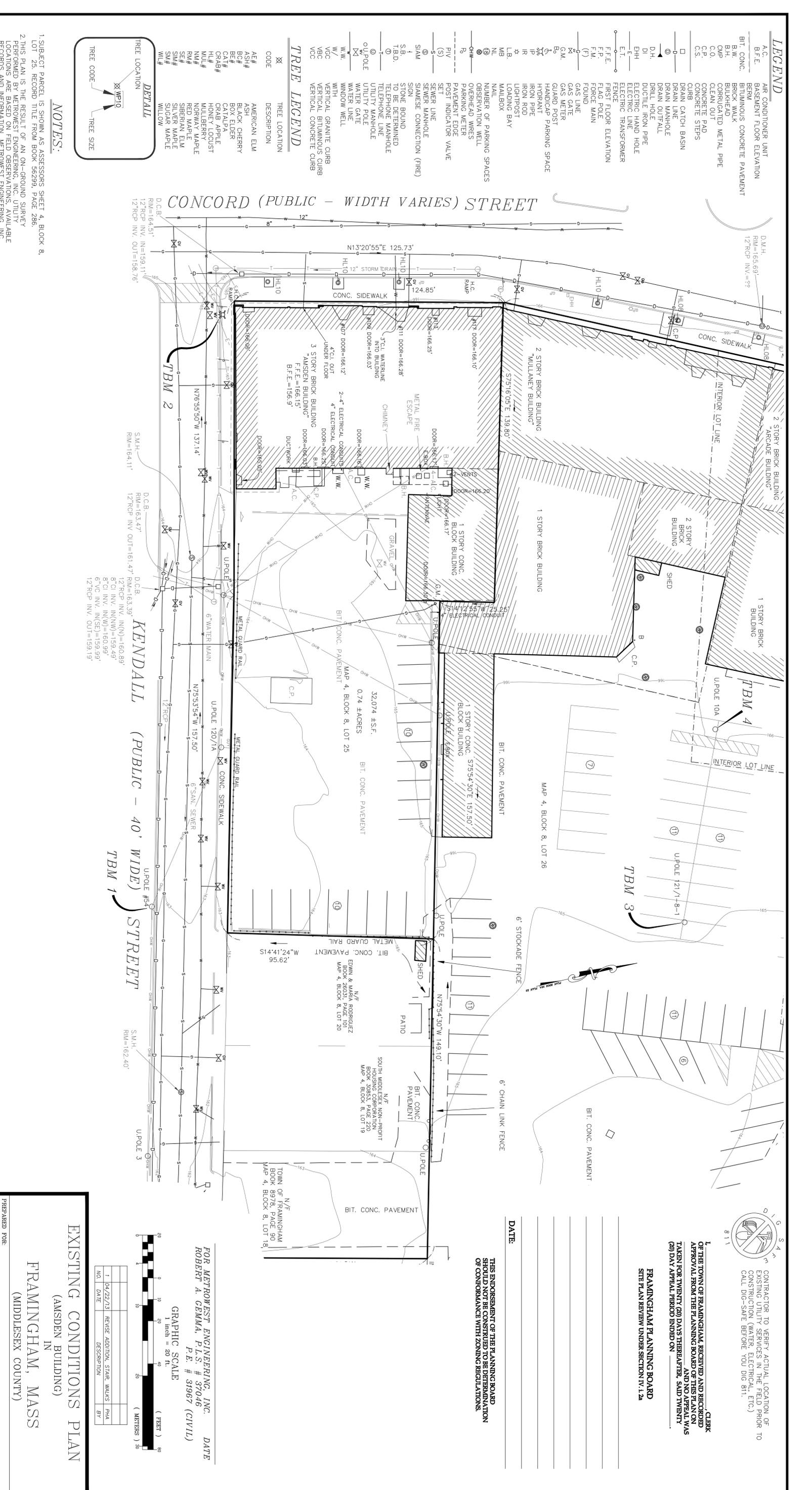
NO.	DATE	REVISION/DESCRIPTION	BY
1	04/22/13	REVISE ADDITION, STAIR, WALKS	PH/A

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMMINGHAM, MA 01702

PROPERTY OF:  
V.T.T. FRAMMINGHAM RENAISSANCE  
100 CONCORD STREET  
FRAMMINGHAM, MA 01702

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMMINGHAM, MA 01702  
TEL: (508) 656-0063

SHEET 3 OF 8  
DATE: FEBRUARY 20, 2013  
CALCD. BY: PHA/RAG FIELD BK: 563 567 CAD FILE: AMSRNK\_PROP\_SITR\_PLANS\_RI.dwg  
DRAWN: JTC/PHA PROJECT: FRM\_FRBD DWG FILE:



CLERK  
OF THE TOWN OF FRAMMINGHAM RECEIVED AND RECORDED  
APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON  
AND NO APPEAL WAS  
TAKEN FOR TWENTY (20) DAYS THEREAFTER. SAID TWENTY  
(20) DAY APPEAL PERIOD ENDED ON \_\_\_\_\_

FRAMMINGHAM PLANNING BOARD  
SIT PLAN REVIEW UNDER SECTION IV.A.2A

**THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.**

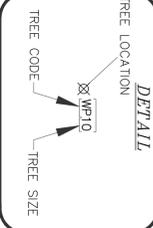


**LEGEND**

- A.C. AIR CONDITIONER UNIT
- B.F.E. BASEMENT FLOOR ELEVATION
- BIT. CONC. BITUMINOUS CONCRETE PAVEMENT
- B.W. BRICK WALK
- B.H. BULKHEAD
- C.M.P. CORRUGATED METAL PIPE
- C.O. CLEAN OUT
- C.P. CONCRETE PAD
- C.S. CONCRETE STEPS
- DRAIN CATCH BASIN
- DRAIN LINE
- DRAIN MANHOLE
- DRAIN OUTFALL
- D.H. DRILL HOLE
- DI. DUCTILE IRON PIPE
- E.H. ELECTRIC HAND HOLE
- E.H.H. ELECTRIC LINE
- E. ELECTRIC TRANSFORMER
- E.T. FENCE
- F.F.E. FIRST FLOOR ELEVATION
- F.P. FLAG POLE
- F. FOUND MAIN
- (F) GAS LINE
- G. GAS METER
- G.M. GUARD POST
- HANDICAP PARKING SPACE
- H.P. HYDRANT
- I.P. IRON PIPE
- I.R. IRON ROD
- L.A. LANDSCAPED AREA
- L.P. LIGHTPOST
- L.B. LOADING BAY
- M.B. MAILBOX
- N.L. NAIL
- PARKING SPACES-EXISTING
- O.S. OBSERVATION WELL
- P.A. PAVEMENT
- P.H. POST INDICATOR VALVE
- P.I.V. SET
- S. SEMWER LINE
- S.E.M. SEMWER MANHOLE
- S.I.M. SIMAMESE CONNECTION (FIRE)
- S.I.W. SIGN
- S.B. STONE BOUND
- T.B.D. TO BE DETERMINED
- T.M. TELEPHONE MANHOLE
- U. UTILITY MANHOLE
- U.P. UTILITY POLE
- W.C. WATER CISTERN
- W.I. WINDOW WELL
- W. WITHIN
- V.C. VERTICAL GRANITE CURB
- V.B.C. VERTICAL BITUMINOUS CURB
- V.C.C. VERTICAL CONCRETE CURB
- PARKING SPACES-PROPOSED

**TREE LEGEND**

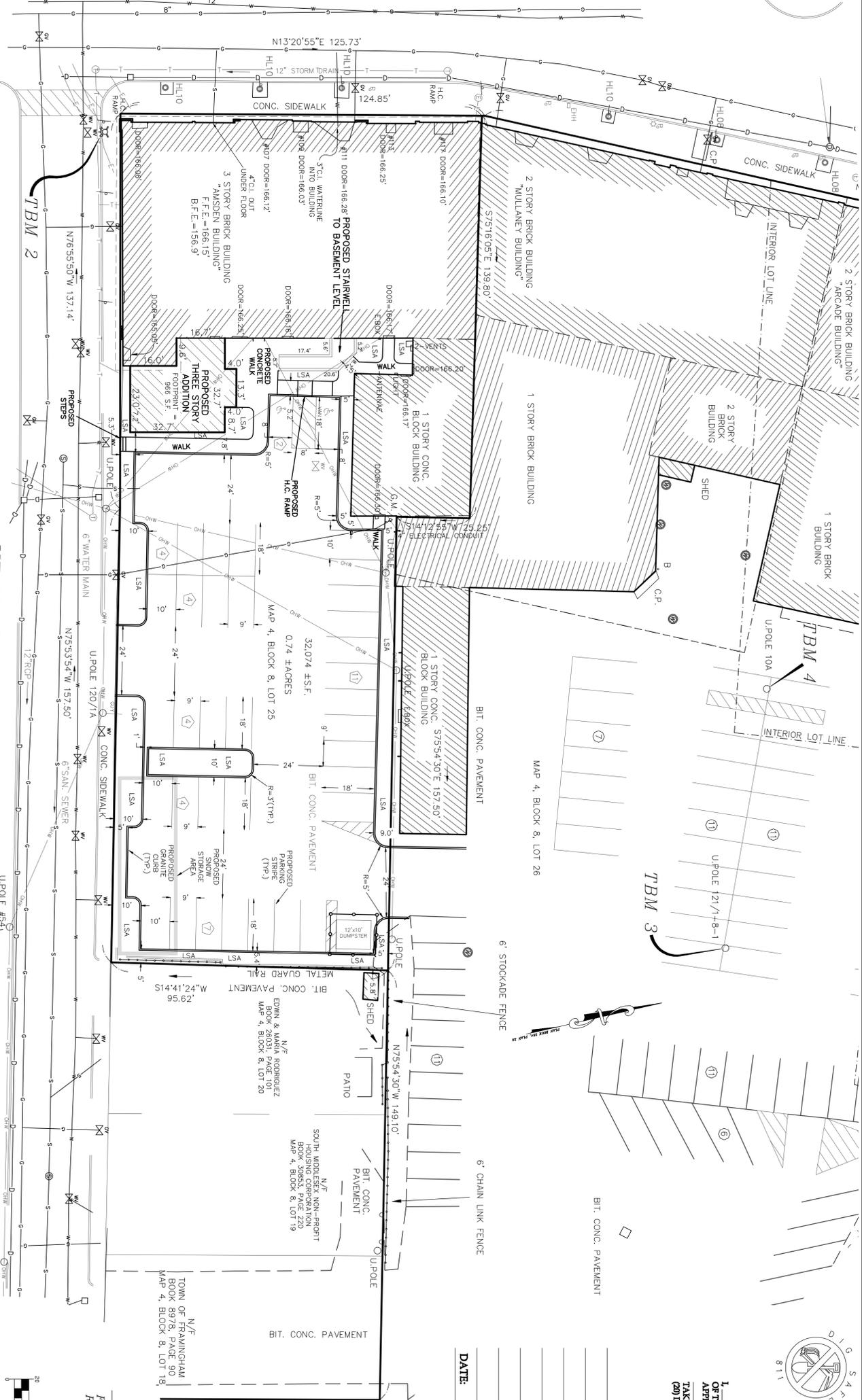
- AE# AMERICAN ELM
- ASH# ASH
- BC# BLACK CHERRY
- BE# BOX ELDER
- CA# CATALPA
- CAH# HONEYLOCUST
- MU# MILLBERRY
- NW# NORWAY MAPLE
- RM# RED MAPLE
- SE# SIBERIAN ELM
- SM# SILVER MAPLE
- WIL# WILLOW



**NOTES:**

1. SUBJECT PARCEL IS SHOWN AS ASSESSORS SHEET 4, BLOCK 8, LOT 25, RECORD TITLE FROM BOOK 56299, PAGE 286.
2. THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD ENGINEERING SURVEYS. UTILITY LOCATIONS ARE SHOWN WITH CHARACTER NO. AND CHARACTER OF ALL UNDERGROUND UTILITIES. THE LOCATION AND CHARACTER OF SURFACE IMPROVEMENTS THE OBSERVATION OF WHICH WAS OBSERVED AT THE TIME OF THE SURVEY.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES. THE IS NOT RESPONSIBLE TO LABEL FOR DELAYS OR DAMAGES ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OR EXISTING UTILITIES.
4. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 250700398E, BEARING AN EFFECTIVE DATE OF JUNE 4, 2010.
5. VERTICAL DATUM IS NAVD88 - CONVERTED FROM NAD029 TOWN BENCHES USING VERTICAL DATUM HEIGHT CONVERSION.
6. THE TOTAL NUMBER OF EXISTING PARKING SPACES STRIPPED ON ASSESSORS SHEET 4, BLOCK 8, LOT 25 = 20.
7. SEE ARCHITECTURAL DRAWINGS FOR BUILDING ADDITION DIMENSIONS AND ELEVATIONS.

**CONCORD (PUBLIC - WIDTH VARIES) STREET**



**KENDALL (PUBLIC - 40' WIDE) STREET**

**ZONING TABLE**

CENTRAL BUSINESS DISTRICT	
AREA	REQUIRED <sup>1</sup>
FRONTAGE	EXISTING
FRONT YARD	PROPOSED
REAR YARD	EXISTING
REAR YARD	PROPOSED
BUILDING HEIGHT	EXISTING
BUILDING HEIGHT	PROPOSED
OPEN SPACE	EXISTING
LOT COVERAGE	PROPOSED
STAIR AREA RATIO	EXISTING
HANDICAP PARKING	PROPOSED

**\*\*PARKING REQUIREMENTS:**

- FIRST FLOOR RETAIL USE 8,214 S.F. EXISTING
- 1 PER 200 S.F. = 42 REQUIRED SPACES
- TOTAL = 48 SPACES
- FIRST FLOOR BEAUTY PARLOR USE 5 STATIONS EXISTING
- 3 PER STATION = 15 REQUIRED SPACES
- FIRST FLOOR RESTAURANT USE 99 SEATS EXISTING
- 1 PER 3 OCCUPANTS = 33 REQUIRED SPACES
- 1 PER 2 EMPLOYEES (5 ESTIMATED) = 3 REQUIRED SPACES
- TOTAL = 36 SPACES
- FIRST FLOOR NON-RETAIL USE 2,287 S.F. EXISTING
- 1 PER 1,200 S.F. = 2 REQUIRED SPACES
- SECOND AND THIRD FLOOR RESIDENTIAL USE PROPOSED
- 2 PER DWELLING UNIT - 24 DWELLING UNITS = 48 SPACES
- TOTAL SPACES REQUIRED = 101
- TOTAL SPACES PROVIDED = 36
- HANDICAP ACCESSIBLE SPACES REQUIRED:
- TOTAL SPACES REQUIRED = 5 (PARKING LOTS HAVING 101-150 SPACES)
- TOTAL SPACES PROVIDED = 2

**IMPERVIOUS AREAS:**

- EXISTING IMPERVIOUS AREA: 31,283 S.F.
- PROPOSED IMPERVIOUS AREA: 28,959 S.F.
- REDUCTION IN IMPERVIOUS AREA: 2,324 S.F.

**PROPOSED LOT COVERAGES:**

- BUILDINGS: 12,887 S.F. (40.2%)
- WALKS AND PAVEMENT: 16,072 S.F. (50.1%)
- LANDSCAPED OPEN SPACE: 3,115 S.F. (9.7%)
- TOTAL: 32,074 S.F. (100%)



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

1. CLERK OF THE TOWN OF FRAMINGHAM, RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER. SAID TWENTY (20) DAY APPEAL PERIOD ENDED ON \_\_\_\_\_.

FRAMINGHAM PLANNING BOARD  
SITE PLAN REVIEW UNDER SECTION IV.1.2a

DATE: \_\_\_\_\_

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE GUARANTEE OR CORROBORATION WITH ZONING REGULATIONS.

FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GEMMA, P.E. # 37046  
P.E. # 31967 (CIVIL)

GRAPHIC SCALE  
1 inch = 20 ft.

NO.	DATE	REVISION/DESCRIPTION	BY
1	04/22/13	REVISE ADDITIONAL STAIR, WALKS	PHIA

PROPOSED LAYOUT PLAN  
(AMSDEN BUILDING)  
IN  
FRAMINGHAM, MASS  
(MIDDLESEX COUNTY)

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMINGHAM, MA 01702

PROPERTY OF:  
V.T.T. FRAMINGHAM RENAISSANCE  
100 CONCORD STREET  
FRAMINGHAM, MA 01702

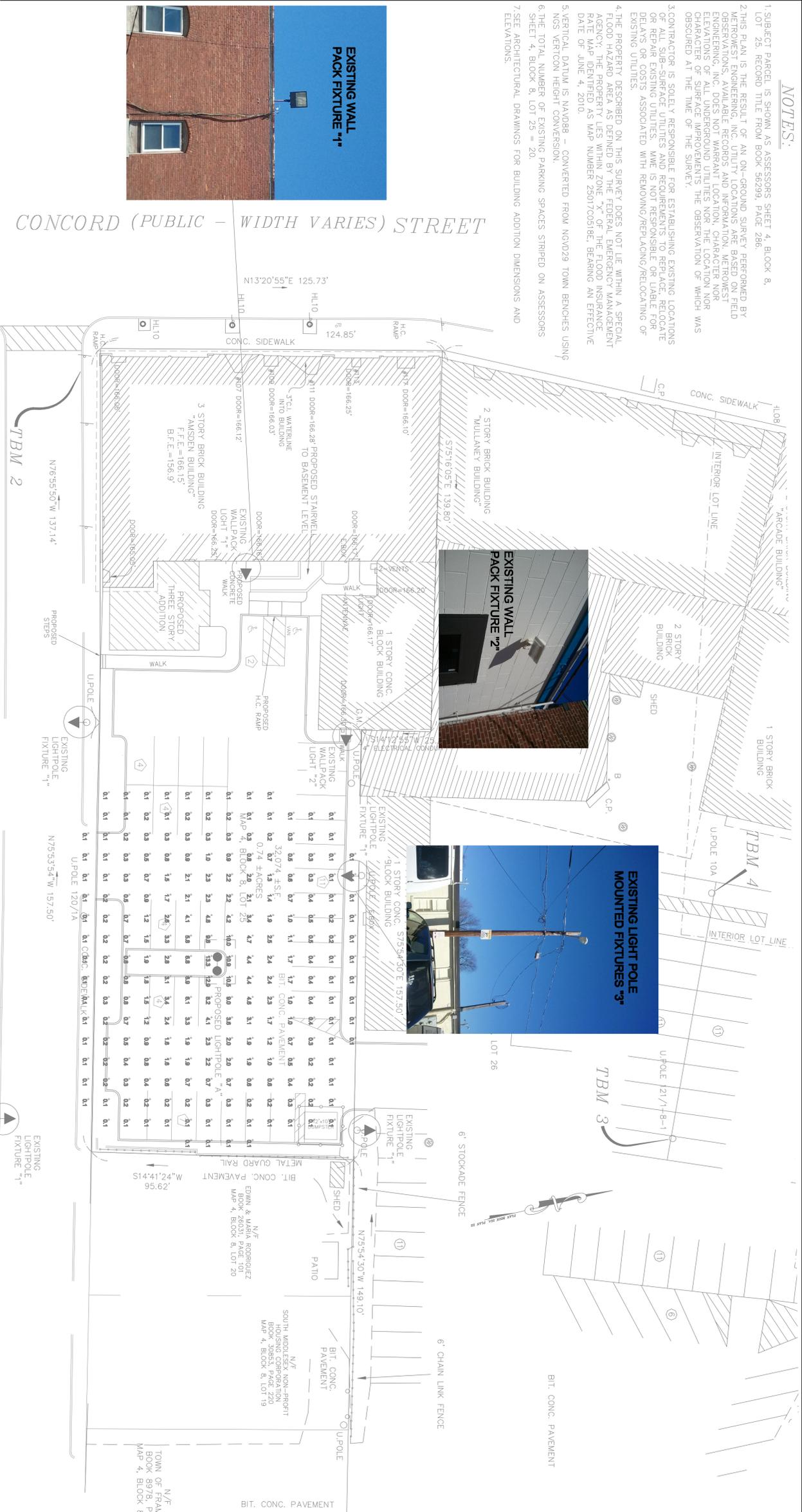
ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508) 656-0063

SHEET 5 OF 8 DATE: FEBRUARY 20, 2013  
CALCD. BY: PHA/BAG FIELD BK: 563 567 CAD FILE: AMSDEN\_PROP\_SITR\_PLANS\_R1.dwg  
DRAWN BY: JTC/PHIA PROJECT: FRM\_FRBD DWG FILE:



**NOTES:**

1. SUBJECT PARCEL IS SHOWN AS ASSESSORS SHEET 4, BLOCK 8, LOT 26. RECORD TITLE FROM BOOK 56299, PAGE 286.
2. THIS PLAN IS THE RESULT OF AN ON-GROUND SURVEY PERFORMED BY METROWEST ENGINEERING, INC. UTILITY LOCATIONS ARE BASED ON FIELD OBSERVATIONS. AVAILABLE RECORDS AND INFORMATION, METROWEST ENGINEERING, INC. DOES NOT WARRANT LOCATION, CHARACTER NOR ELEVATIONS OF ALL UNDERGROUND UTILITIES NOR THE LOCATION NOR CHARACTER OF SURFACE IMPROVEMENTS THE OBSERVATION OF WHICH WAS OBSERVED AT THE TIME OF THE SURVEY.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES.
4. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARDOUS AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 2501700518E, BEARING AN EFFECTIVE DATE OF JUNE 4, 2010.
5. VERTICAL DATUM IS NAVD88 - CONVERTED FROM NSVD29 TOWN BENCHES USING NGS VERTCON HEIGHT CONVERSION.
6. THE TOTAL NUMBER OF EXISTING PARKING SPACES STRIPED ON ASSESSORS SHEET 4, BLOCK 8, LOT 25 = 20.
7. SEE ARCHITECTURAL DRAWINGS FOR BUILDING ADDITION DIMENSIONS AND ELEVATIONS.



**1521 OMEGA SERIES SPECIFICATIONS**

**GENERAL**  
1521 Omega R and F series are full-on-off, adjustable downlight fixtures having a spun aluminum half-holed shade that is available in two types of extension rings. Attached to the upper portion of the spun aluminum half-holed shade is a clear polycarbonate lens. The fixture is compatible with the fixture to an assortment of arms. All fixtures have sealed and reliable optics and are available with flat, sag, clear or frosted glass.

**BALLAST HOUSING**  
The upper section of the spun aluminum shade and is easily accessible by means of two tool-less entry doors. The ballast tray can be detached from the fixture after removal of one wing nut and unscrewing two sets of detatched quick disconnect connectors.

**ELECTRICAL**  
The fixture shall be UL or ETL listed. Field, HID, ballast shall be high power factor with lamp starting down to -30 degrees C. Medium and High pressure sodium lamps are XUV rated. The ballast tray assembly is connected to the lamp socket and line supply via quick disconnect connectors for ease of replacement. They shall have a 4-pin socket to accept standard ballast tubes. The fixture shall be compatible with the fixture to an assortment of arms. All fixtures have sealed and reliable optics and are available with flat, sag, clear or frosted glass.

**FIGURE ASSEMBLY**  
The 1521 fixtures shall be made of 1 1/2" spun aluminum and having an outside diameter of 15 1/2". The fixture shall be compatible with the fixture to an assortment of arms. All fixtures have sealed and reliable optics and are available with flat, sag, clear or frosted glass.

**OPTICAL OPTIONS**  
MICHAM'S "STAR-SHIELD" Road optics eliminates shall be achieved by multi-stage metal roof mounted reflector systems which distribute light and provide full-on-off. The reflective cavity shall be made of special anodized aluminum. Flat lens models provide full-on-off performance. Road Optics Type 2 (RO2HS), Type 3 (RO3HS), Type 3 (RO3HS) are available for medium base lamps.

**1521 OMEGA SERIES SPECIFICATIONS**

**GENERAL**  
1521 Omega R and F series are full-on-off, adjustable downlight fixtures having a spun aluminum half-holed shade that is available in two types of extension rings. Attached to the upper portion of the spun aluminum half-holed shade is a clear polycarbonate lens. The fixture is compatible with the fixture to an assortment of arms. All fixtures have sealed and reliable optics and are available with flat, sag, clear or frosted glass.

**BALLAST HOUSING**  
The upper section of the spun aluminum shade and is easily accessible by means of two tool-less entry doors. The ballast tray can be detached from the fixture after removal of one wing nut and unscrewing two sets of detatched quick disconnect connectors.

**ELECTRICAL**  
The fixture shall be UL or ETL listed. Field, HID, ballast shall be high power factor with lamp starting down to -30 degrees C. Medium and High pressure sodium lamps are XUV rated. The ballast tray assembly is connected to the lamp socket and line supply via quick disconnect connectors for ease of replacement. They shall have a 4-pin socket to accept standard ballast tubes. The fixture shall be compatible with the fixture to an assortment of arms. All fixtures have sealed and reliable optics and are available with flat, sag, clear or frosted glass.

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**PROPOSED LIGHTING PLAN**  
(AMSDEN BUILDING)  
IN  
FRAMINGHAM, MASS  
(MIDDLESEX COUNTY)

FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GBAMA, P.E. # 37046 P.E. # 31967 (CIVIL)

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMINGHAM, MA 01702

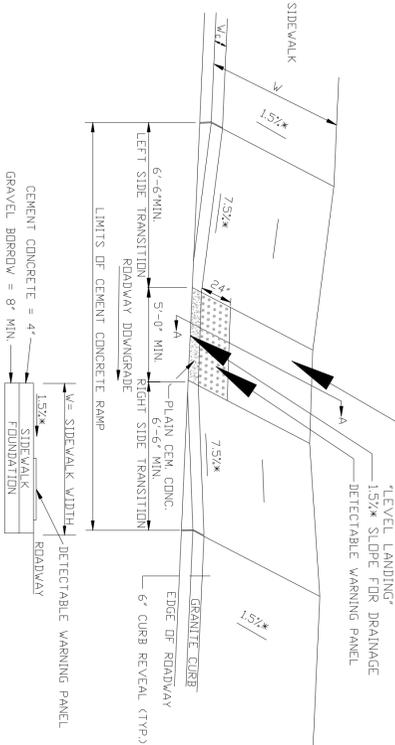
PROPERTY OF:  
V.T.T. FRAMINGHAM RENAISSANCE  
100 CONCORD STREET  
FRAMINGHAM, MA 01702

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TEL: (508) 686-0063

SHEET 7 OF 8 DATE: FEBRUARY 20, 2013  
CALCD. BY: PHA/BAG PLENZ BK: 563 567 CAD FILE: AMSDEN\_PROP\_SITR\_PLANS\_RI.DWG  
DRAWN BY: JTC/PHA PROJECT: FRM\_FRBD DWG FILE:

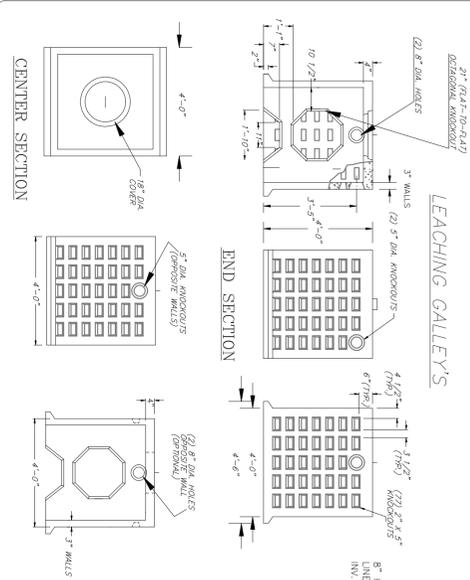
**WHEELCHAIR RAMP TYPE A  
NOT TO SCALE**

WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND THE CURRENT MASSHIGHWAY CONSTRUCTION STANDARDS.

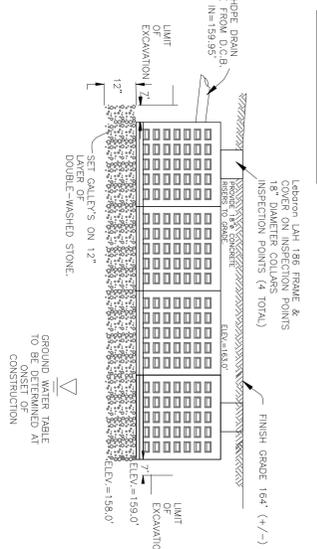


**LEGEND:**  
HCL = HIGH SIDE TRANSITION LENGTH  
V = SIDEWALK WIDTH  
V<sub>2</sub> = CURB WIDTH  
\* = TOLERANCE FOR CONSTRUCTION ±0.5%  
\* = USABLE SIDEWALK WIDTH PER AAB = V-V'  
\* = USABLE SIDEWALK WIDTH PER AAS IS NOT TO BE LESS THAN 5'-0\"/>

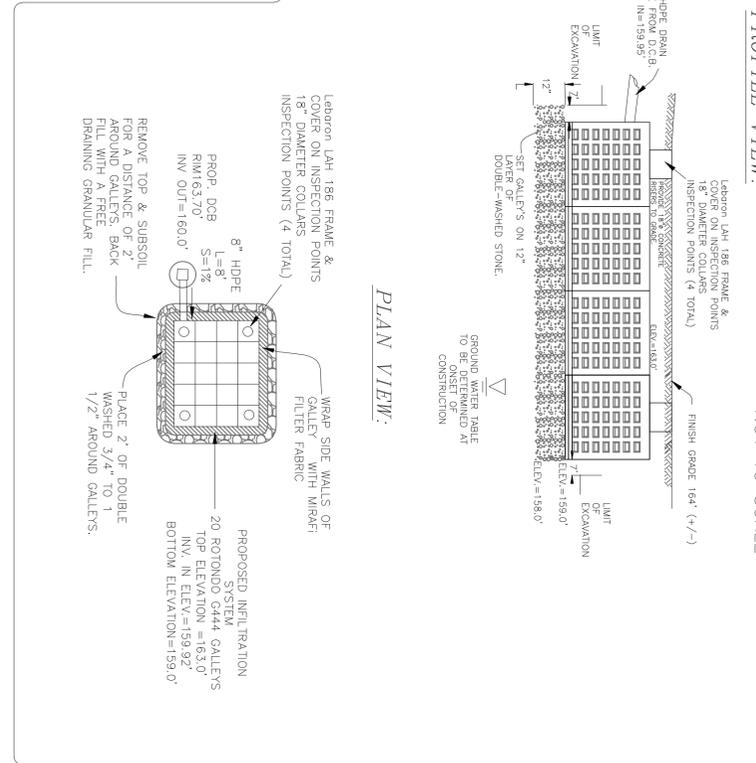
**DRAINAGE INFILTRATION GALLEYS (4'x4'x4')  
NOT TO SCALE**



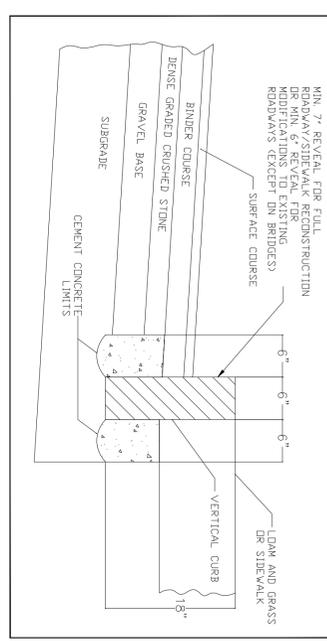
**PROFILE VIEW:**



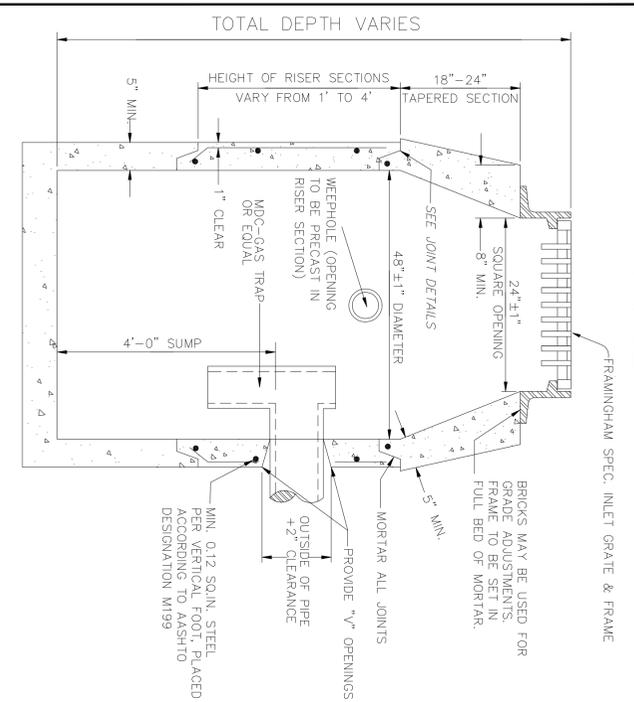
**PARKING LOT INFILTRATION SYSTEM  
NOT TO SCALE**



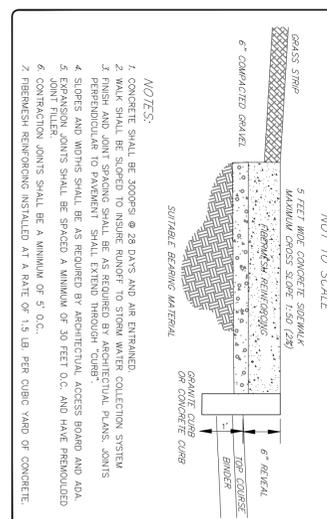
**GRANITE CURB INSTALL  
NOT TO SCALE**



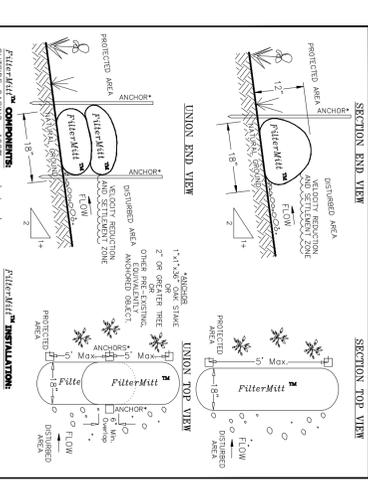
**DRAINAGE CATCH BASIN  
NOT TO SCALE**



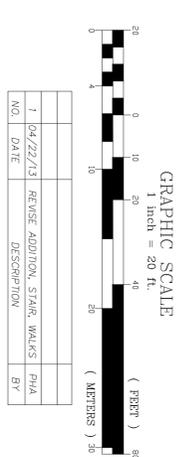
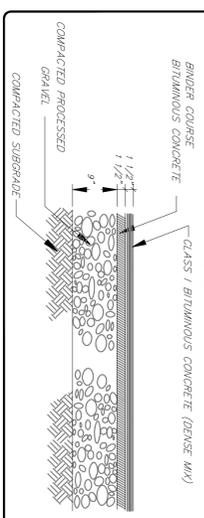
**CONCRETE SIDEWALK  
NOT TO SCALE**



**EROSION CONTROL BARRIER  
NOT TO SCALE**



**BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE**



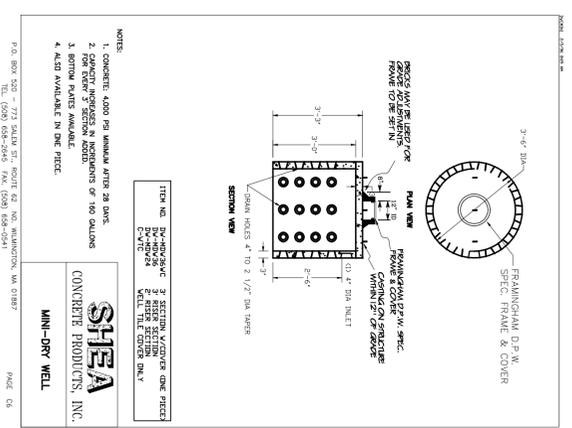
FOR METROWEST ENGINEERING, INC. DATE  
ROBERT A. GENMA, P.E. # 31967 (CIVIL)

**DETAIL SHEET  
IN  
FRAMINGHAM, MASS  
(MIDDLESEX COUNTY)**

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMINGHAM, MA 01702

PROPERTY OF:  
V.T.T. FRAMINGHAM RENAISSANCE  
100 CONCORD STREET  
FRAMINGHAM, MA 01702

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE: (508) 636-0063



**SHIEA**  
CONCRETE PRODUCTS, INC.  
MINI-DRY WELL

**DRAINAGE CATCH BASIN**  
NOT TO SCALE

**EROSION CONTROL BARRIER**  
NOT TO SCALE

**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811.

I, \_\_\_\_\_, CLERK OF THE TOWN OF FRAMINGHAM, RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN FOR TWENTY (20) DAYS THEREAFTER, SAID TWENTY (20) DAY APPEAL PERIOD ENDED ON \_\_\_\_\_.

FRAMINGHAM PLANNING BOARD  
SITE PLAN REVIEW UNDER SECTION IV. i.2a

DATE: \_\_\_\_\_

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

CONCORD (PUBLIC - WIDTH VARIES) STREET

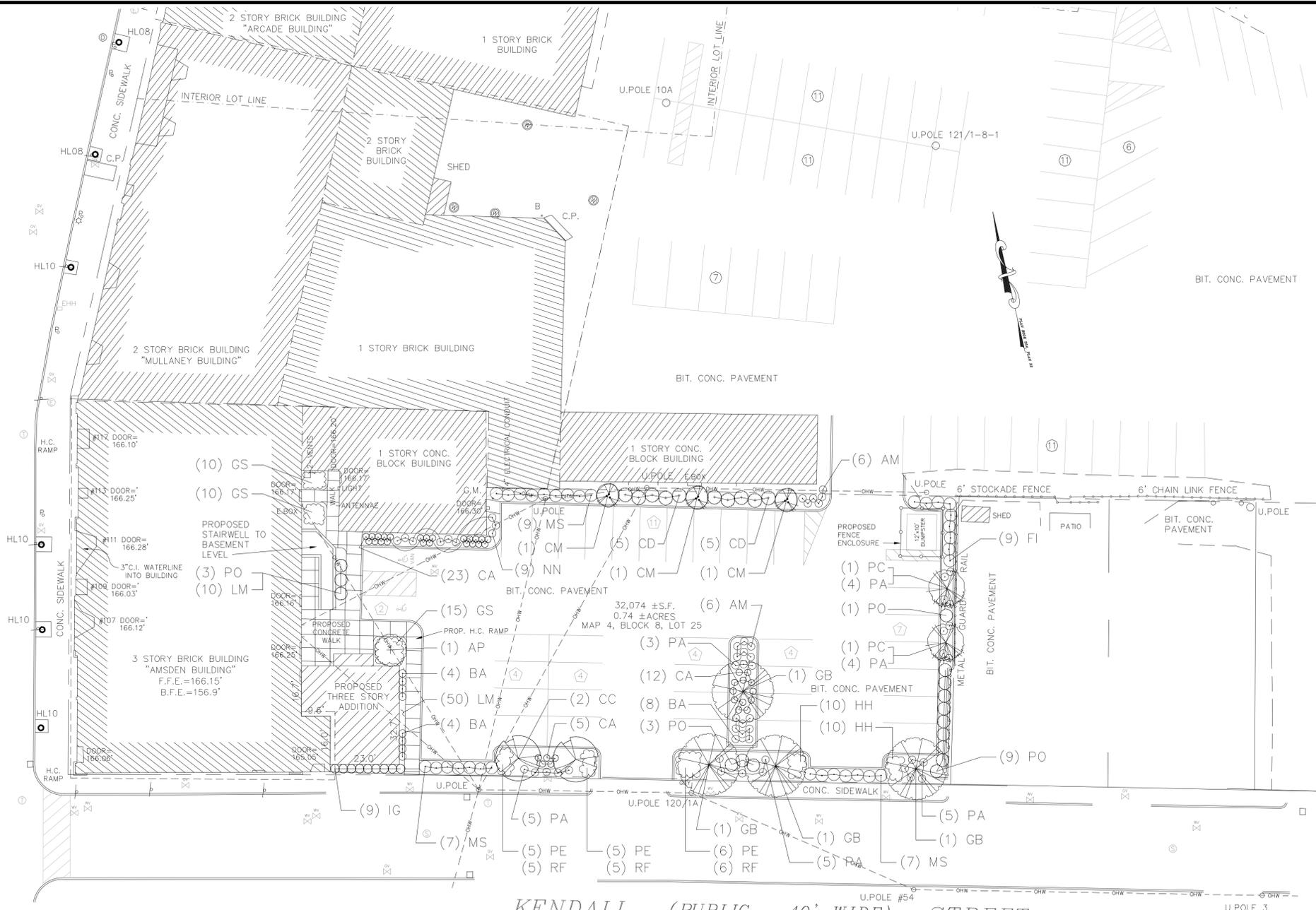
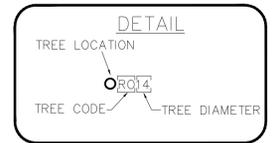
KENDALL (PUBLIC - 40' WIDE) STREET

**LEGEND**

- BIT. CONC. BITUMINOUS CONCRETE PAVEMENT
- C.P. CONCRETE PAD
- C.S. CONCRETE STEPS
- CURB
- DRAIN CATCH BASIN
- DRAIN LINE
- ⊕ DRAIN MANHOLE
- E.H.H. ELECTRIC HAND HOLE
- ELECTRIC LINE
- E.T. ELECTRIC TRANSFORMER
- FENCE
- F.F.E. FIRST FLOOR ELEVATION
- F.P. FLAG POLE
- F.M. FORCE MAIN
- (F) FOUND
- GAS LINE
- GAS GATE
- G.M. GAS METER
- GUARD POST
- HANDICAP PARKING SPACE
- HYDRANT
- LIGHTPOST
- L.B. LOADING BAY
- ⊕ PARKING SPACES—EXISTING
- OVERHEAD WIRES
- P.M. PARKING METER
- PAVEMENT EDGE
- SEWER LINE
- ⊕ SEWER MANHOLE
- SIGN
- S.B. STONE BOUND
- TELEPHONE MANHOLE
- TELEPHONE LINE
- UTILITY MANHOLE
- UTILITY POLE
- WATER GATE
- WATER LINE
- PARKING SPACES—PROPOSED

**TREE DESCRIPTION LEGEND**

- ⊗ TREE LOCATION
- CODE DESCRIPTION
- APL# APPLE
- RB# RIVER BIRCH
- CA# CRABAPPLE
- WC# WHITE CEDAR
- DF# DOUGLAS FIR
- HEM# HEMLOCK
- HKY# HICKORY
- NM# NORWAY MAPLE
- RM# RED MAPLE
- SM# SUGAR MAPLE
- BO# BLACK OAK
- RO# RED OAK
- WO# WHITE OAK
- PR# PEAR
- RP# RED PINE
- WP# WHITE PINE
- NS# NORWAY SPRUCE
- TT# TULIP TREE
- YEW# YEW
- SNAG# SNAG

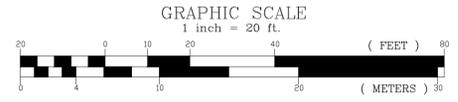


**PLANTING LIST:**

Quantity	Symbol	Latin Name	Common Name	Size
<b>TREES</b>				
1	AP	Acer palmatum 'Bloodgood'	'Bloodgood' Japanese Maple	5' height
2	CC	Carpinus caroliniana	American Hornbeam	2" caliper
3	CM	Cornus mas	Cornelian Cherry	6 - 7' height
4	GB	Ginkgo biloba 'Autumn Gold'	'Autumn Gold' Ginkgo	3 - 3.5" caliper
2	PC	Pyrus calleryana 'Redspire'	Redspire Pear	2.5 - 3" caliper
<b>SHRUBS</b>				
10	CD	Cornus alba 'Ivory Halo'	'Ivory Halo' Dogwood	2 - 2.5' ht.
9	FI	Forsythia x intermedia 'Lynwood'	'Lynwood Gold' Forsythia	2 - 2.5' sprd.
9	IG	Ilex glabra 'Shamrock'	'Shamrock' Inkberry	2 - 2.5' ht.
16	PO	Physocarpus opulifolius 'Diabolo'	'Diabolo' Ninebark	2 - 2.5' ht.
<b>PERENNIALS &amp; GRASSES</b>				
12	AM	Achillea millefolium 'Summerwine'	'Summerwine' Yarrow	1 gallon
16	BA	Baptisia australis	Blue False Indigo	1 gallon
40	CA	Calamagrostis x acutiflora 'Karl Foerster'	'Karl Foerster' Feather Reed Grass	1 gallon
35	GS	Geranium sanguineum	Bloody Cranesbill	1 gallon
20	HH	Hemerocallis x 'Hyperion'	'Hyperion' Daylily	1 gallon
60	LM	Liriope muscari 'Big Blue'	'Big Blue' Lilyturf	1 gallon
23	MS	Miscanthus sinensis 'Gracillimus'	'Gracillimus' Maiden Grass	1 gallon
9	NN	Nipponanthemum nipponicum	Montauk Daisy	1 gallon
26	PA	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf Fountain Grass	1 gallon
16	PE	Perovskia atriplicifolia 'Little Spire'	'Little Spire' Russian Sage	1 gallon
16	RF	Rudbeckia fulgida 'Goldsturm'	'Goldsturm' Black-eyed Susan	1 gallon

**PLANTING NOTES:**

- Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
- Plants to be balled and burlapped or container grown.
- Plants to conform to the requirements established in "American Stds. For Nursery Stock", current edition.
- All planting beds and tree saucers to receive 4-inches of shredded hemlock bark mulch.
- Planting beds shall be a maximum of 12-inches from edge of plant material.
- Trees and shrubs shall not be pruned for the first 2-years after installation.
- Plants shall be guaranteed for 2-years after installation.
- All plant beds to receive drip irrigation. Contractor to submit plans for approval.



NO.	DATE	DESCRIPTION	BY
1	4/30/13	REVISED PLAN PER NEW RAMP & WALKWAY LAYOUT	REC

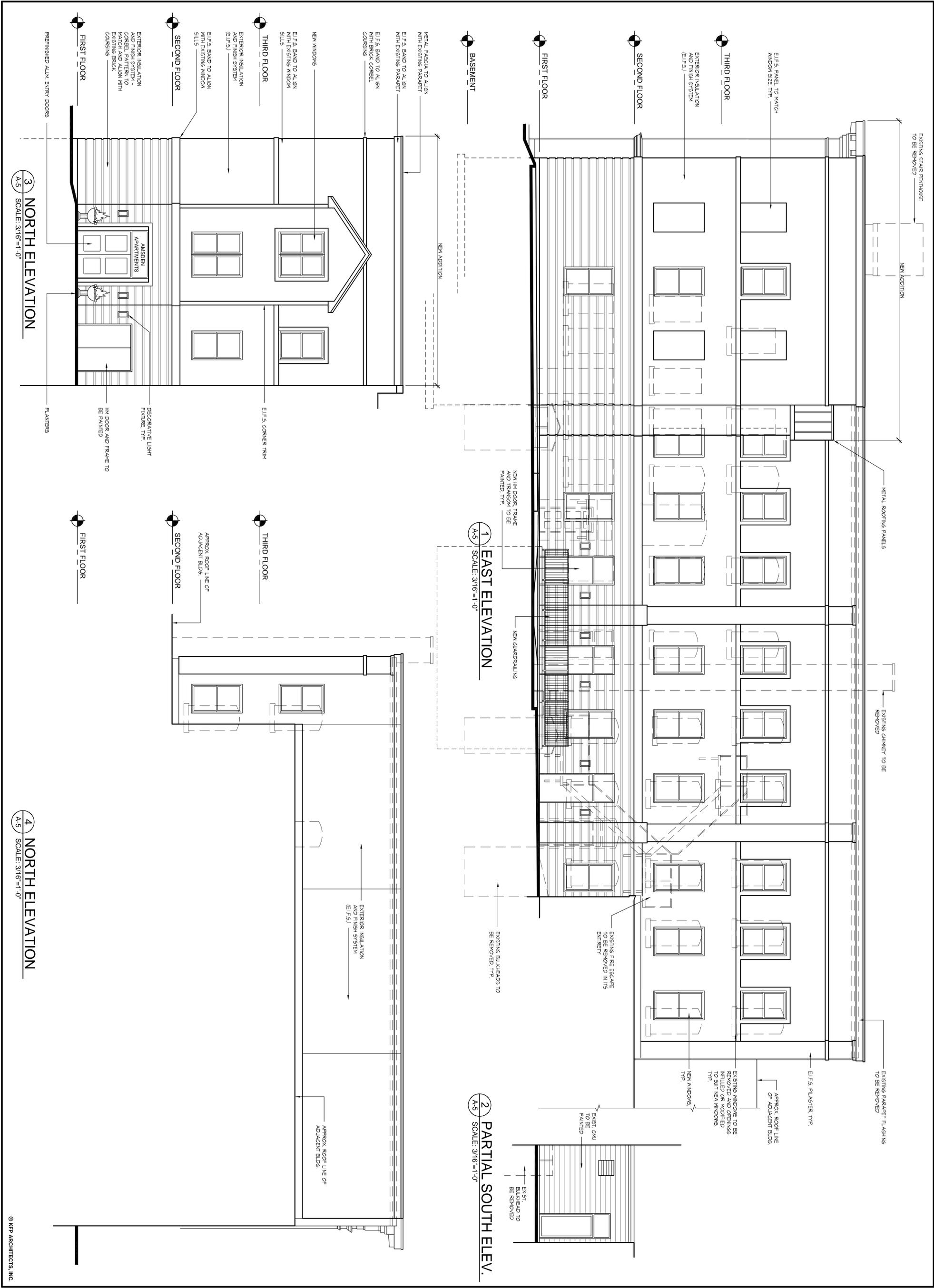
**PROPOSED LANDSCAPE PLAN**  
(AMSDEN BUILDING)  
IN  
FRAMINGHAM, MASS  
(MIDDLESEX COUNTY)

PREPARED FOR:  
V.T.T. MANAGEMENT, INC.  
100 CONCORD STREET, THIRD FLOOR  
FRAMINGHAM, MA 01702

LANDSCAPE ARCHITECT:  
**COSMOS ASSOCIATES**  
LANDSCAPE ARCHITECTS & SITE PLANNERS  
5 LONGVIEW STREET NATICK, MA 01760  
PHONE: 508.628.3595 FAX: 508.405.4479  
E-MAIL: COSMOSLA@RCN.COM COSMOSASSOCIATES.COM

ENGINEERS & SURVEYORS:  
**MWE** METROWEST ENGINEERING, INC.  
75 FRANKLIN STREET  
FRAMINGHAM, MA 01702  
TELE.: (508)626-0063

SHEET 1 OF 1  
DATE: MARCH 13, 2013  
REVIEWED BY: SC FIELD BK. CAD FILE: Amsden Lndscp\_2013-03-13.dwg  
DESIGNED BY: SC/RC PROJECT: FRM\_FRED DWG FILE: LANDSCAPE DRAWING



DATE:	MAY 13, 2013
SCALE:	3/16" = 1'-0"
DRAWN:	
CHECKED:	
REVISION:	
JOB NO.:	1203

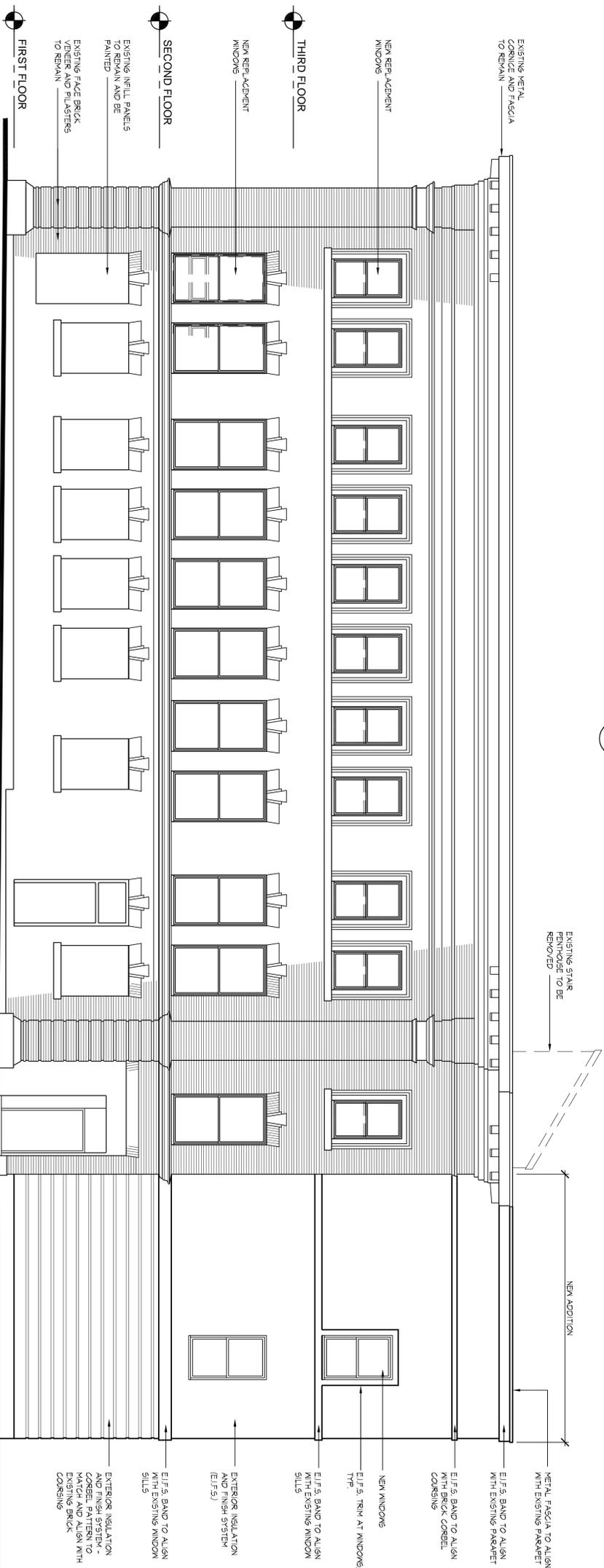
**ADDITION AND ALTERATIONS FOR PROPOSED**  
**AMSDEN BUILDING APARTMENTS**  
 101-117 CONCORD STREET      FRAMINGHAM, MA

**KFP ARCHITECTS, INC**  
 175 DERBY STREET, UNIT 21-22  
 HINGHAM, MA, 02043  
 PHONE: (781) 740-8750  
 FAX: (781) 740-8752  
 Email: info@theKFPcompanies.com  
 Website: www.theKFPcompanies.com





1 WEST ELEVATION  
A-4 SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION  
A-4 SCALE: 3/16"=1'-0"

© KFP ARCHITECTS, INC.

ADDITION AND ALTERATIONS FOR PROPOSED  
**AMSDEN BUILDING APARTMENTS**  
 101-117 CONCORD STREET  
 FRAMINGHAM, MA

**KFP ARCHITECTS, INC**  
 175 DERBY STREET, UNIT 21-22  
 HINGHAM, MA, 02043  
 PHONE: (781) 740-8750  
 FAX: (781) 740-8752  
 Email: info@theKFPcompanies.com  
 Website: www.theKFPcompanies.com



DATE: MAY 13, 2013  
 SCALE: 3/16" = 1'-0"  
 DRAWN:  
 CHECKED:  
 REVISION:

JOB NO.: 1203

EXTERIOR  
 ELEVATIONS

A-4