

# Site Plans

Issued for Local Approvals  
 Date Issued August 5, 2015  
 Latest Issue June 8, 2016

## 19 Flutie Pass Development

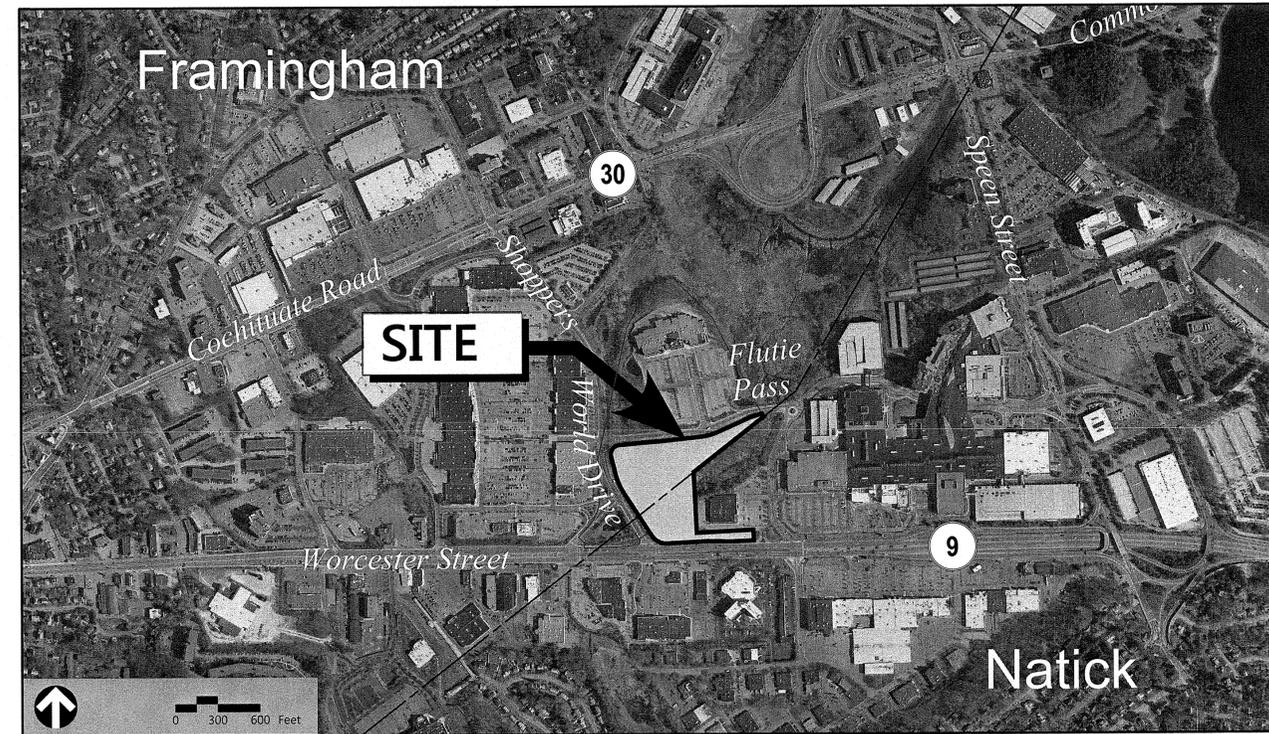
19 Flutie Pass  
 Framingham, MA  
 1391 Worcester Street  
 Natick, MA

### Owner/Applicant

BRE DDR Shoppers World LLC  
 3300 Enterprise Parkway  
 Beachwood, OH 44122

**Framingham:**  
 Assessor's Map: 94  
 Block: 54  
 Lot: 9604 & 6987

**Natick:**  
 Assessor's Map: 24  
 Lot: 94



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APPROVED BY:  
 FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



101 Walnut Street  
 PO Box 9151  
 Watertown, MA 02471  
 617.924.1770

### Framingham Zoning Summary Chart

Zoning District(S):	Business (B), Light Manufacturing (M1)	
Overlay District(S):	Regional Center (RC)	
Zoning Regulation Requirements	Required (Framingham)	Provided (Framingham)
MINIMUM LOT AREA	6,000 SF	8.38 AC
FRONTAGE	50 Feet	1,261 Feet
FRONT YARD SETBACK	25 Feet	265 Feet
SIDE YARD SETBACK	10 Feet	23 Feet
REAR YARD SETBACK	N/A	N/A
FLOOR AREA RATIO	0.32	0.27
MAXIMUM BUILDING HEIGHT	6 STORIES (80 Feet)	7 STORIES (85 Feet)
MAXIMUM IMPERVIOUS <sup>2</sup>	LOT AREA LESS OPEN SPACE REQUIREMENT <sup>2</sup>	6.28 AC
MINIMUM USEABLE OPEN SPACE <sup>2</sup>	28,000 SF <sup>2</sup>	32,920 SF <sup>3</sup>
MAXIMUM LOT COVERAGE	35%	10.27%

<sup>1</sup> UNLESS OTHERWISE NOTED, REQUIREMENTS LISTED ARE FOR BUSINESS (B) DISTRICT WITH THE MORE STRINGENT REQUIREMENT BETWEEN RESIDENTIAL VS. NON-RESIDENTIAL USE  
<sup>2</sup> MAXIMUM IMPERVIOUS AND MINIMUM OPEN SPACE REQUIREMENTS PER MIXED USE SPECIAL REGULATIONS (SECTION V.G.c OF FRAMINGHAM ZONING BYLAW). 200 SF OF OPEN SPACE PER UNIT PROPOSED. 140 UNITS PROPOSED X 200 SF/UNIT = 28,000 SF  
<sup>3</sup> OUTDOOR COURTYARDS ON 3RD FLOOR OF MIXED USE BUILDING INCLUDED IN THIS CALCULATION. (SECTION V.G.c OF FRAMINGHAM ZONING BYLAW)

### Parking Summary Chart

Description	Size		Spaces		
	Required	Provided	Existing	Required	Provided
STANDARD SPACES*	9 x 18	9 x 18	488	472	358
ACCESSIBLE SPACES**	8 x 18	11 x 18	---	9	9 (SURFACE) 5 (GARAGE)
TANDEM SPACES	9 x 18	---	---	---	18
TOTAL SURFACE SPACES	---	---	---	---	385
GARAGE SPACES	---	---	---	---	100
TOTAL SPACES	---	---	488	481	490
LOADING BAYS	12 x 25	12 x 25	0	2	2

\* END STALLS SHALL BE 10 FT MINIMUM  
 \*\* STANDARD AND VAN ACCESSIBLE PARKING SPACES ARE 11'x5'

#### Framingham Parking Requirements:

Category	Occupants/Units	Space Req	Emp/Units	Space Req	Total
RESTAURANT/ENTERTAINMENT (KINGS)	400 OCCUPANTS	x 1 SPACE	/ 3 OCC	=	134 SPACES
	26 EMPLOYEES	x 1 SPACE	/ 2 EMP	=	13 SPACES
RESTAURANT	275 OCCUPANTS	x 1 SPACE	/ 3 OCC	=	92 SPACES
	15 EMPLOYEES	x 1 SPACE	/ 2 EMP	=	8 SPACES
RETAIL	3,750 SF	x 1 SPACE	/ 200 SF	=	19 SPACES
RESIDENTIAL*	140 UNITS	x 1.25 SPACES	/ UNITS	=	175 SPACES
<b>TOTAL PARKING REQUIRED</b>					<b>= 441 SPACES</b>

#### Natick Parking Requirements:

ENTERTAINMENT (FLY)	200 GUESTS	x 1 SPACE	/ 5 GUESTS	=	40 SPACES
<b>TOTAL PARKING REQUIRED</b>					<b>= 40 SPACES</b>





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**Legend**

Exist.	Prop.	Exist.	Prop.	
				PROPERTY LINE
				PROJECT LIMIT LINE
				RIGHT-OF-WAY/PROPERTY LINE
				EASEMENT
				BUILDING SETBACK
				PARKING SETBACK
				BASELINE
				CONSTRUCTION LAYOUT
				ZONING LINE
				TOWN LINE
				LIMIT OF DISTURBANCE
				WETLAND LINE WITH FLAG
				FLOODPLAIN
				BORDERING LAND SUBJECT TO FLOODING
				WETLAND BUFFER ZONE
				NO DISTURB ZONE
				200' RIVERFRONT AREA
				GRAVEL ROAD
				EDGE OF PAVEMENT
				BITUMINOUS BERM
				BITUMINOUS CURB
				CONCRETE CURB
				CURB AND GUTTER
				EXTRUDED CONCRETE CURB
				MONOLITHIC CONCRETE CURB
				PRECAST CONC. CURB
				SLOPED GRAN. EDGING
				VERT. GRAN. CURB
				LIMIT OF CURB TYPE
				SAWCUT
				BUILDING
				BUILDING ENTRANCE
				LOADING DOCK
				BOLLARD
				DUMPSTER PAD
				SIGN
				DOUBLE SIGN
				STEEL GUARDRAIL
				WOOD GUARDRAIL
				PATH
				TREE LINE
				WIRE FENCE
				FENCE
				STOCKADE FENCE
				STONE WALL
				RETAINING WALL
				STREAM / POND / WATER COURSE
				DETENTION BASIN
				HAY BALES
				SILT FENCE
				SILT SOCK / STRAW WATTIE
				MINOR CONTOUR
				MAJOR CONTOUR
				PARKING COUNT
				COMPACT PARKING STALLS
				DOUBLE YELLOW LINE
				STOP LINE
				CROSSWALK
				ACCESSIBLE CURB RAMP
				ACCESSIBLE PARKING
				VAN-ACCESSIBLE PARKING

**Abbreviations**

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
SYCHL	SINGLE YELLOW CHANNELIZED LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
OMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

**Notes:**

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
  - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
  - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
  - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
  - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
  - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
  - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
  - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
  - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
  - THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES. NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
  - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
  - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
    - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
    - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
    - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
  - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
  - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
  - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
    - A. WATER PIPES SHALL BE CEMENT LINED DUCTILE IRON (DI) PIPE CLASS 52 24" AND TYPE K COPPER TUBING 4"
    - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE SDR 35
    - C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP)
    - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
  - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
  - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
  - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

**Layout and Materials**

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADI ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PRECAST CONCRETE CURBING (PCG) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

**Demolition**

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

**Erosion Control**

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENECIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

**Existing Conditions Information**

- BASE PLAN: THE PROPERTY LINES SHOWN ARE BASED ON ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE 2014 AND FROM DEEDS AND PLANS OF RECORD. THE PROPERTY LINES REFLECT THE NEW LINES AS SHOWN ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN FRAMINGHAM AND NATICK MASSACHUSETTS PREPARED FOR: DDR CORP." PREPARED BY VHB, DATED JUNE 26, 2014 AND PENDING FILING AT THE MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE 2014 AS SHOWN ON "EXISTING CONDITIONS PLAN OF LAND"
  - A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VANASSE HANGEN BRUSTLIN, INC. IN JULY 2014
  - B. FLAGS MARKING THE WETLANDS WERE LOCATED USING GPS BY VANASSE HANGEN BRUSTLIN, INC.
- TOPOGRAPHY: ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

**Document Use**

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

**19 Flutie Pass Development**

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appvd.
1	Town of Framingham/Natick Comments	12/8/2015	CPN

Designed by JRM Checked by CPN  
Local Approvals June 8, 2016

Not Approved for Construction  
**Legend and General Notes**

Sheet 1 of 14  
Project Number 12642.00  
C-1  
6/8/16



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APPROVED BY:  
FRAMINGHAM PLANNING BOARD

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### 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appvd.

Designed by **JRM** Checked by **CPN**  
Issued for **Local Approvals** Date **June 8, 2016**

Not Approved for Construction  
Drawing Title **Abutters Plan**  
Drawing Number \_\_\_\_\_

- #### Notes
- PROPERTY BOUNDARIES IMPORTED FROM MASS GIS DATALAYERS.
  - PROPERTY INFORMATION FROM TOWN OF FRAMINGHAM AND TOWN OF NATICK ASSESSOR'S ONLINE DATABASE.
  - ZONING BOUNDARIES APPROXIMATED USING TOWN OF FRAMINGHAM ZONING MAP REVISED FEBRUARY 1, 2007.



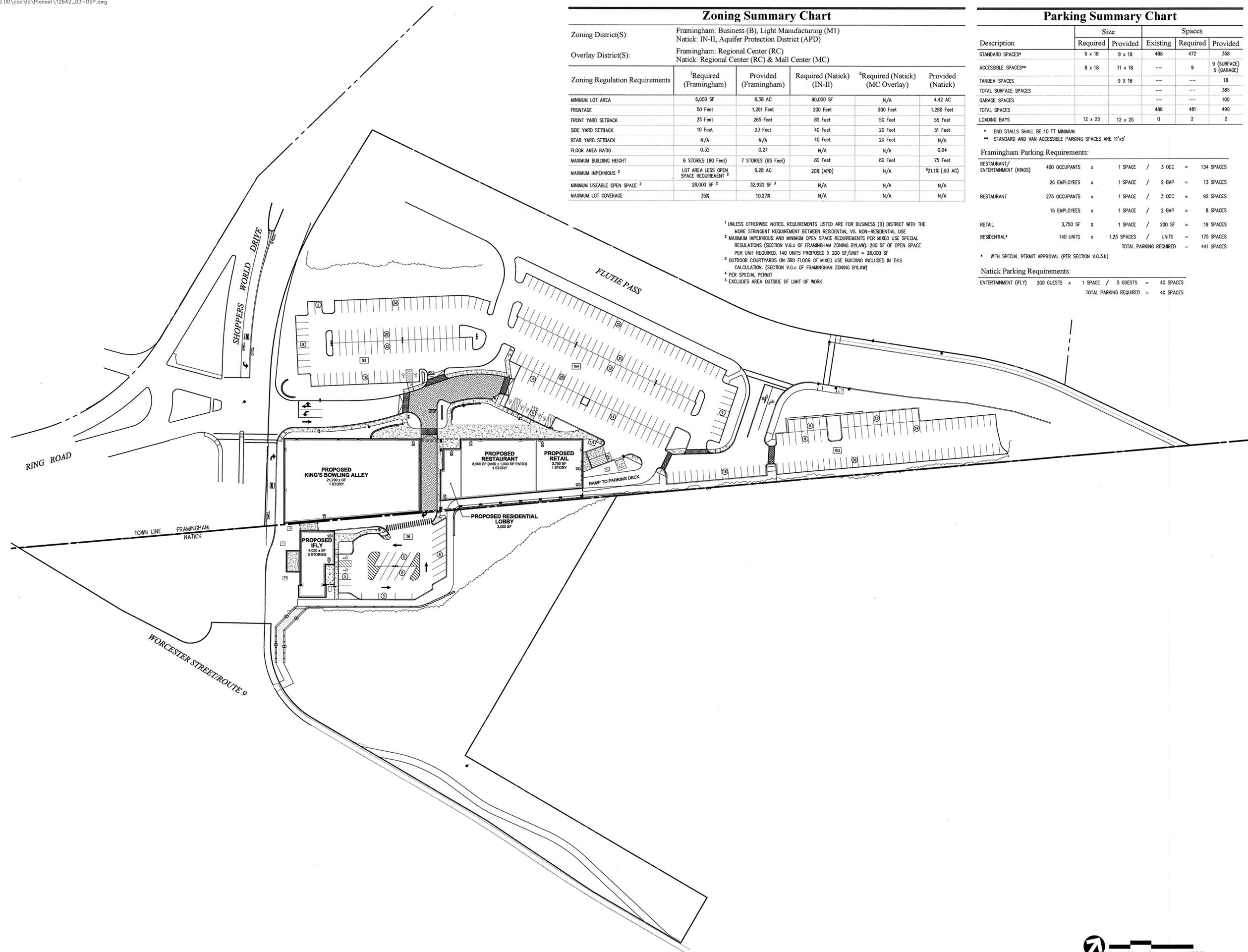
**C-2**  
Sheet **2** of **14**  
Project Number **12642.00**



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DATE: \_\_\_\_\_



<sup>1</sup> UNLESS OTHERWISE NOTED, REQUIREMENTS LISTED ARE FOR BUSINESS (B) DISTRICT WITH THE MORE STRINGENT REQUIREMENT BETWEEN RESIDENTIAL VS. NON-RESIDENTIAL USE  
<sup>2</sup> MAXIMUM IMPERVIOUS AND MINIMUM OPEN SPACE REQUIREMENTS PER MIXED USE SPECIAL REGULATIONS (SECTION V.G.c OF FRAMINGHAM ZONING BYLAW). 200 SF OF OPEN SPACE PER UNIT REQUIRED. 140 UNITS PROPOSED X 200 SF/UNIT = 28,000 SF  
<sup>3</sup> OUTDOOR COURTYARDS ON 3RD FLOOR OF MIXED USE BUILDING INCLUDED IN THIS CALCULATION (SECTION V.G.c OF FRAMINGHAM ZONING BYLAW)  
<sup>4</sup> PER SPECIAL PERMIT  
<sup>5</sup> EXCLUDES AREA OUTSIDE OF LIMIT OF WORK

### Zoning Summary Chart

Zoning District(S):	Framingham: Business (B), Light Manufacturing (M1) Natick: IN-II, Aquifer Protection District (APD)				
Overlay District(S):	Framingham: Regional Center (RC) Natick: Regional Center (RC) & Mall Center (MC)				
Zoning Regulation Requirements	Required (Framingham)	Provided (Framingham)	Required (Natick) (IN-II)	Required (Natick) (MC Overlay)	Provided (Natick)
MINIMUM LOT AREA	6,000 SF	8.38 AC	80,000 SF	N/A	4.42 AC
FRONTAGE	50 Feet	1,261 Feet	200 Feet	200 Feet	1,280 Feet
FRONT YARD SETBACK	25 Feet	265 Feet	85 Feet	50 Feet	55 Feet
SIDE YARD SETBACK	10 Feet	23 Feet	40 Feet	20 Feet	51 Feet
REAR YARD SETBACK	N/A	N/A	40 Feet	20 Feet	N/A
FLOOR AREA RATIO	0.32	0.27	N/A	N/A	0.04
MAXIMUM BUILDING HEIGHT	6 STORIES (80 Feet)	7 STORIES (85 Feet)	80 Feet	80 Feet	75 Feet
MAXIMUM IMPERVIOUS <sup>2</sup>	LOT AREA LESS OPEN SPACE REQUIREMENT <sup>2</sup>	6.28 AC	20% (APD)	N/A	521.1% (.93 AC)
MINIMUM USEABLE OPEN SPACE <sup>2</sup>	28,000 SF <sup>2</sup>	32,920 SF <sup>3</sup>	N/A	N/A	N/A
MAXIMUM LOT COVERAGE	35%	10.27%	N/A	N/A	N/A

### Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Existing	Required
STANDARD SPACES*	9 x 18	9 x 18	488	472
ACCESSIBLE SPACES**	8 x 18	11 x 18	---	9 (SURFACE) 5 (GARAGE)
TANDEM SPACES		9 X 18	---	18
TOTAL SURFACE SPACES			---	385
GARAGE SPACES			---	100
TOTAL SPACES			488	481
LOADING BAYS	12 x 25	12 x 25	0	2

\* END STALLS SHALL BE 10 FT MINIMUM  
 \*\* STANDARD AND VAN ACCESSIBLE PARKING SPACES ARE 11'x5'

#### Framingham Parking Requirements:

RESTAURANT / ENTERTAINMENT (KINGS)	400 OCCUPANTS	x	1 SPACE	/	3 OCC	=	134 SPACES
	26 EMPLOYEES	x	1 SPACE	/	2 EMP	=	13 SPACES
RESTAURANT	275 OCCUPANTS	x	1 SPACE	/	3 OCC	=	92 SPACES
	15 EMPLOYEES	x	1 SPACE	/	2 EMP	=	8 SPACES
RETAIL	3,750 SF	x	1 SPACE	/	200 SF	=	19 SPACES
RESIDENTIAL*	140 UNITS	x	1.25 SPACES	/	UNITS	=	175 SPACES
					TOTAL PARKING REQUIRED	=	441 SPACES

#### Natick Parking Requirements:

ENTERTAINMENT (FLY)	200 GUESTS	x	1 SPACE	/	5 GUESTS	=	40 SPACES
					TOTAL PARKING REQUIRED	=	40 SPACES

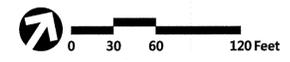
## 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr'd
1	Town of Framingham/Natick Comments	12/8/2015	CPN
2	Town of Natick Comments	1/12/2016	CPN
3	Town of Natick Comments	1/26/2016	CPN
4	Layout Revisions	5/13/2016	CPN

Designed by: **JRM** Checked by: **CPN**  
 Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Local Approvals** June 8, 2016

Not Approved for Construction  
 Drawing Title: **Overall Site Plan**  
 Drawing Number: \_\_\_\_\_



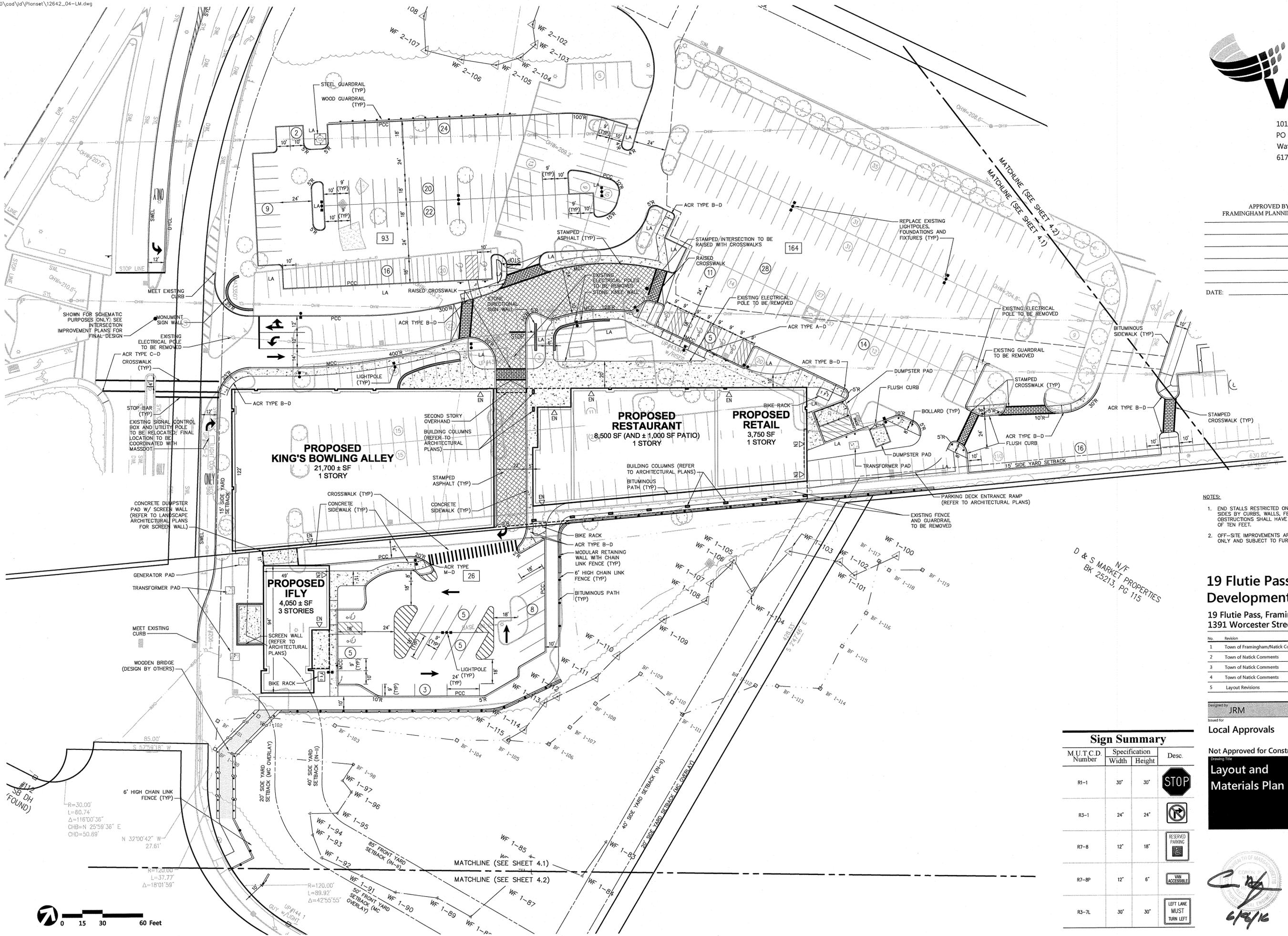
**C-3**

Sheet 3 of 14

Project Number: 12642.00

APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



- NOTES:
1. END STALLS RESTRICTED ON ONE OR BOTH SIDES BY CURBS, WALLS, FENCES, OR OTHER OBSTRUCTIONS SHALL HAVE A MINIMUM WIDTH OF TEN FEET.
  2. OFF-SITE IMPROVEMENTS ARE CONCEPTUAL ONLY AND SUBJECT TO FURTHER REVISION.

### 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Apprv.
1	Town of Framingham/Natick Comments	12/8/2015	CPN
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3	Town of Natick Comments	1/15/2016	CPN
4	Town of Natick Comments	1/26/2016	CPN
5	Layout Revisions	5/13/2016	CPN

Designed by: JRM  
Checked by: CPN

Local Approvals June 8, 2016

#### Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R3-1	24"	24"	RESERVED PARKING
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE
R3-7L	30"	30"	LEFT LANE MUST TURN LEFT

Not Approved for Construction

## Layout and Materials Plan

Drawing Number: C-4.1

Sheet 4 of 14

Project Number: 12642.00

6/8/16

Saved Wednesday, June 08, 2016 8:45:59 AM JBLACK Plotted Wednesday, June 08, 2016 10:58:26 AM Black, Jeff

APPROVED BY:  
FRAMINGHAM PLANNING BOARD

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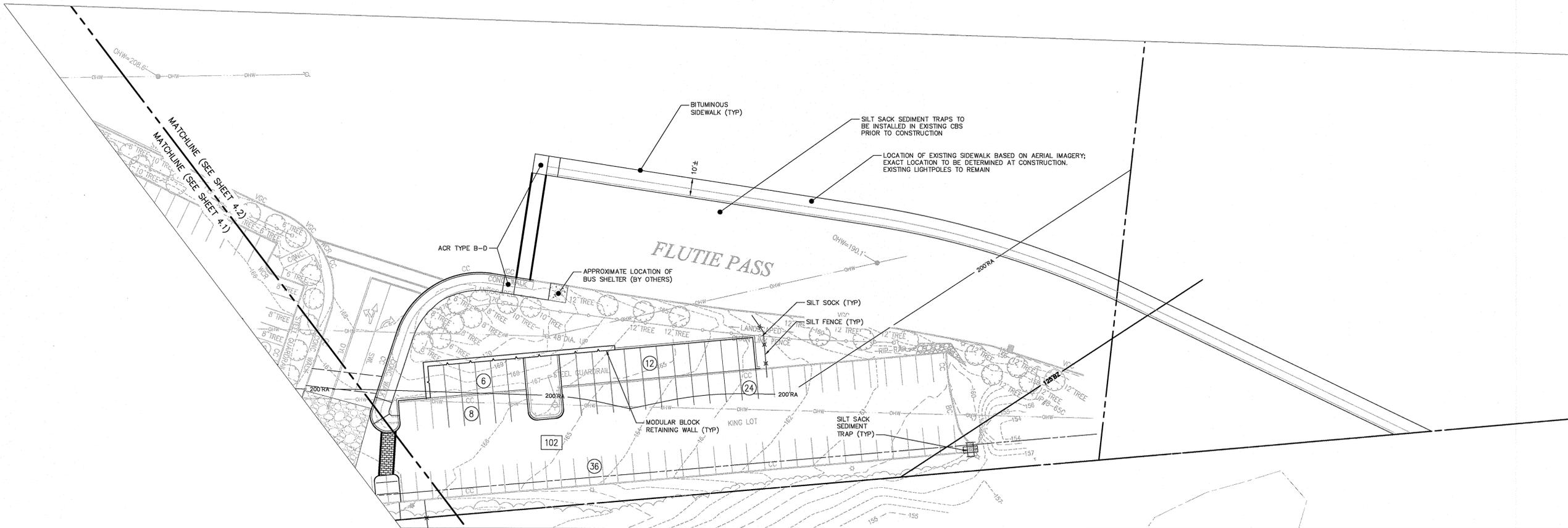


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DATE: \_\_\_\_\_



- NOTES:
1. END STALLS RESTRICTED ON ONE OR BOTH SIDES BY CURBS, WALLS, FENCES, OR OTHER OBSTRUCTIONS SHALL HAVE A MINIMUM WIDTH OF TEN FEET.
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### 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr.
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2	Town of Natick Comments	1/26/2016	CPN
3	Layout Revisions	5/13/2016	CPN

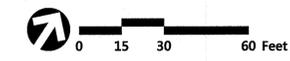
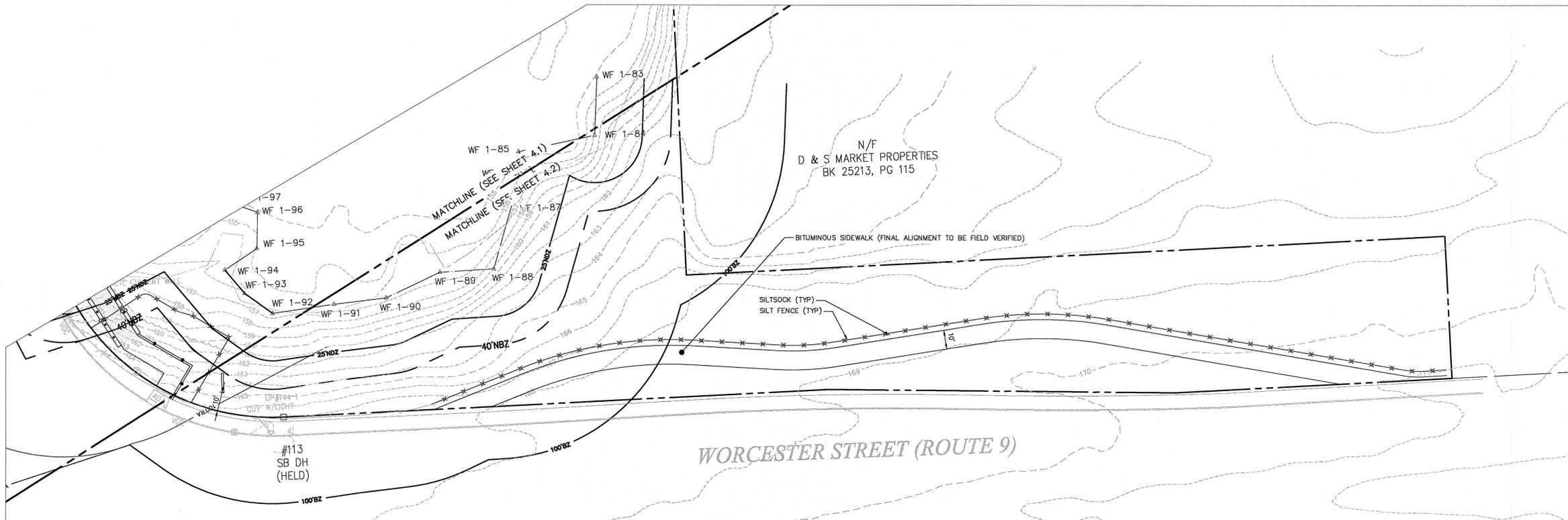
Designed by: JRM  
Checked by: CPN  
Issued for: \_\_\_\_\_  
Date: June 8, 2016

Local Approvals

Not Approved for Construction

Drawing Title  
**Layout and Materials Plan**

Drawing Number



**C-4.2**

Sheet 5 of 14

6/8/16

Project Number: 12642.00

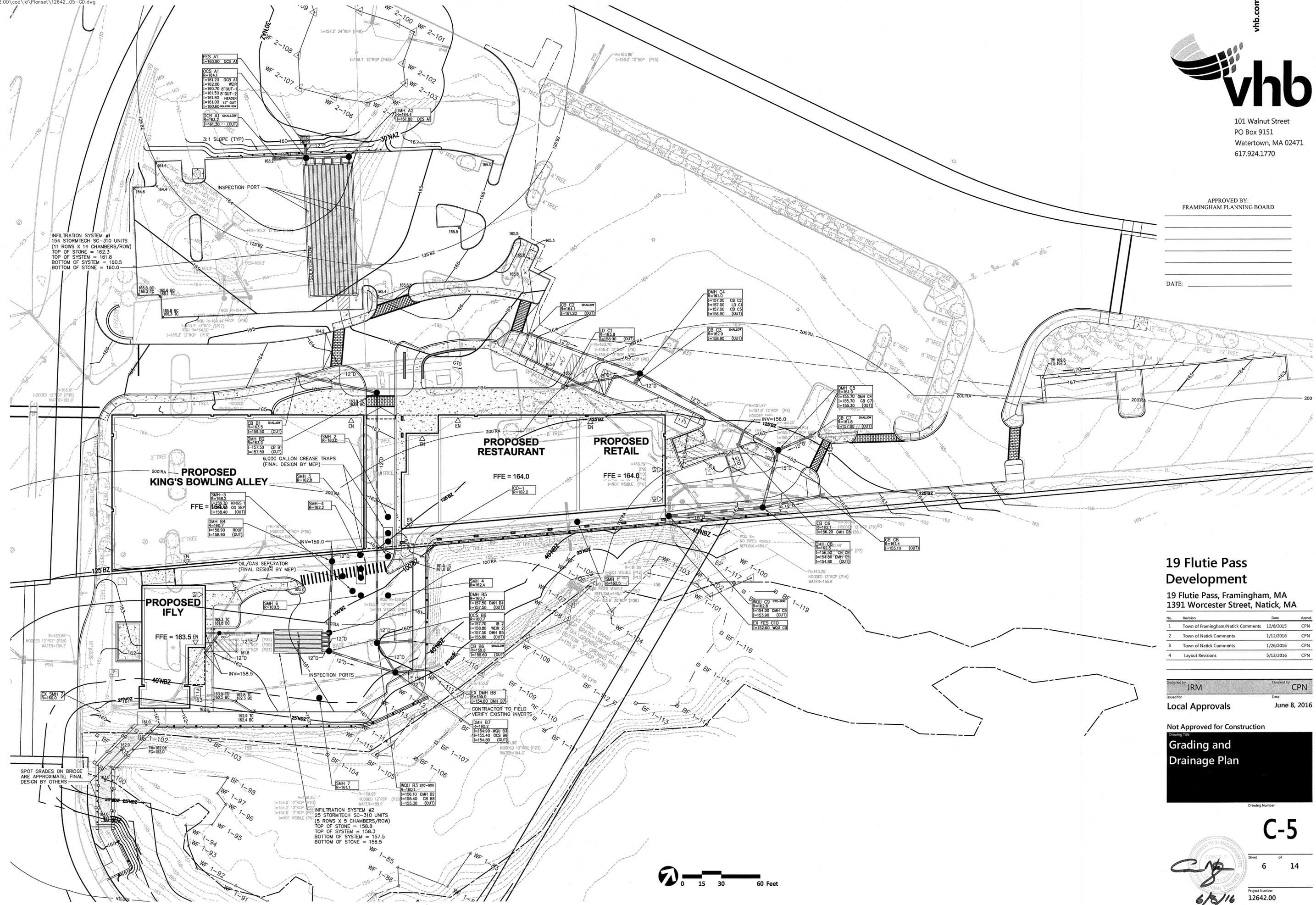
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617.924.1770

APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE:



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### 19 Flutie Pass Development

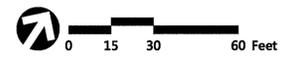
19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr.
1	Town of Framingham/Natick Comments	12/8/2015	CPN
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4	Layout Revisions	5/13/2016	CPN

Designed by **JRM** Checked by **CPN**  
Issued for **Local Approvals** Date **June 8, 2016**

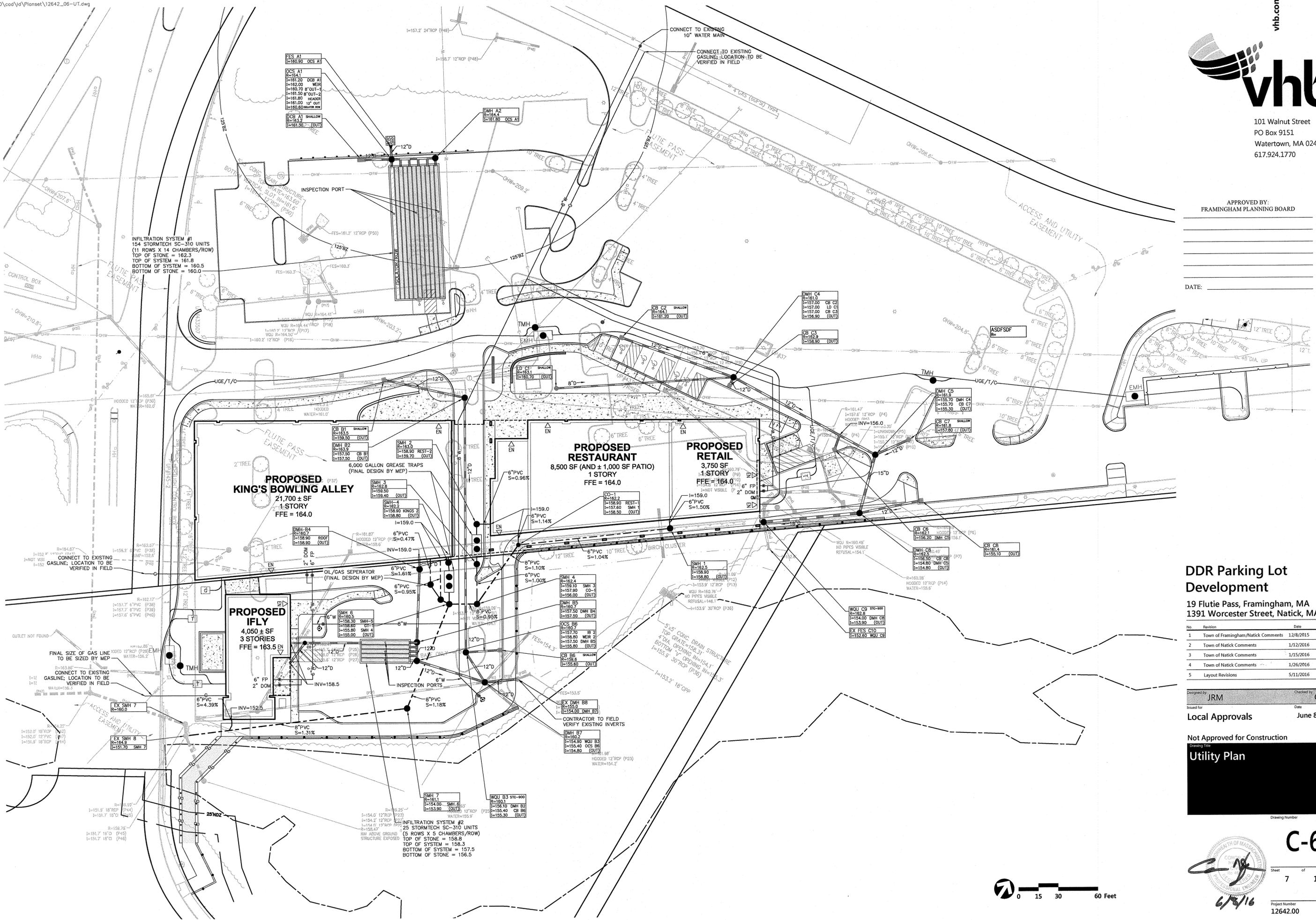
Not Approved for Construction  
Drawing Title **Grading and Drainage Plan**  
Drawing Number **C-5**

Sheet **6** of **14**  
Project Number **12642.00**  
Date **6/8/16**



APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE:



### DDR Parking Lot Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Apprv.
1	Town of Framingham/Natick Comments	12/8/2015	CPN
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3	Town of Natick Comments	1/15/2016	CPN
4	Town of Natick Comments	1/26/2016	CPN
5	Layout Revisions	5/11/2016	CPN

Designed by **JRM** Checked by **CPN**  
Issued for \_\_\_\_\_ Date \_\_\_\_\_

Local Approvals June 8, 2016

Not Approved for Construction

Drawing Title  
**Utility Plan**

Drawing Number  
**C-6**

Sheet **7** of **14**

Project Number  
**12642.00**

6/8/16

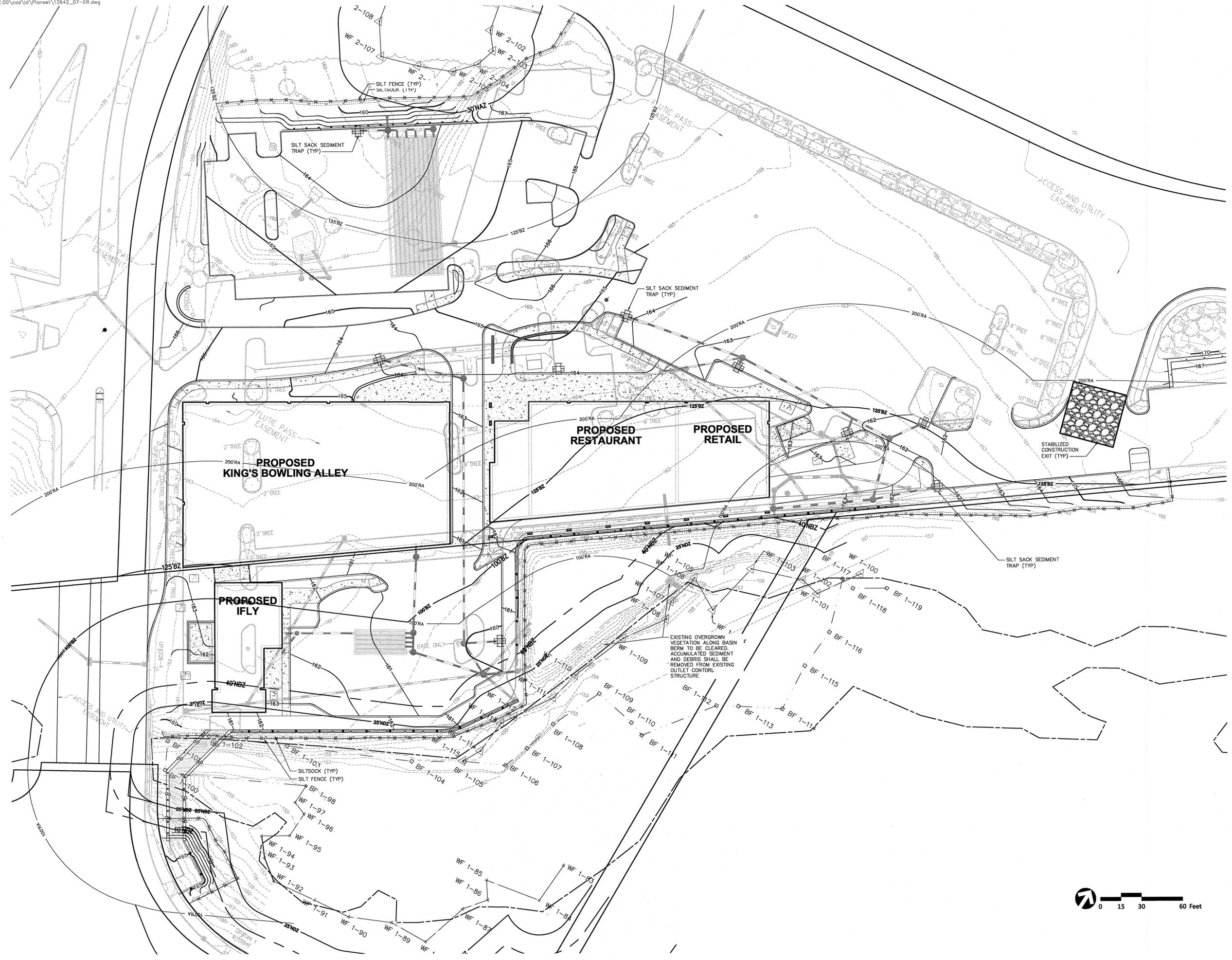




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FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



### 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr'd.
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2	Town of Natick Comments	1/12/2016	CPN
3	Town of Natick Comments	1/26/2016	CPN
4	Layout Revisions	5/11/2016	CPN

Designed by: **JRM** Checked by: **CPN**  
 Issued for: **Local Approvals** Date: **June 8, 2016**

Not Approved for Construction  
**Erosion and Sediment Control Plan**  
 Drawing Number



# C-7

Sheet 8 of 14

Project Number 12642.00

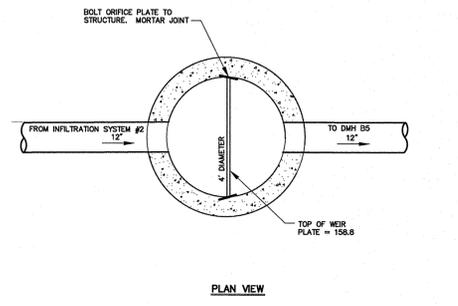
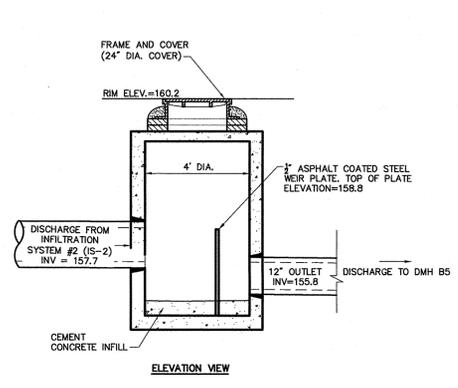




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FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_

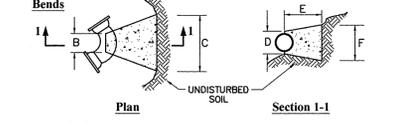


1. DIAGRAM PROVIDED FOR CLARIFICATION OF OUTLET CONTROL COMPONENTS. REFER TO DRAIN MANHOLE (DMH) DETAIL FOR FURTHER DETAIL.

**Outlet Control Structure B2 (OCS B2)** 7/06  
N.T.S. Source: VHB LD\_10\_

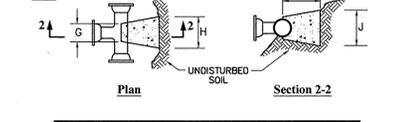
**Table of Dimensions**

BENDS	B	C	D	E	F	B	C	D	E	F
6" 11 1/4"	6"	15"	12"	24"	12"	6"	30"	12"	24"	14"
6" 22 1/2"	19"	-	13"	6"	90"	-	30"	-	27"	-
8" 11 1/4"	20"	-	12"	6"	45"	-	30"	-	24"	-
8" 22 1/2"	22"	-	17"	6"	90"	-	38"	-	36"	-
12" 11 1/4"	30"	-	15"	12"	45"	-	40"	-	40"	-
12" 22 1/2"	35"	-	25"	12"	90"	-	60"	-	52"	-



**Table of Dimensions**

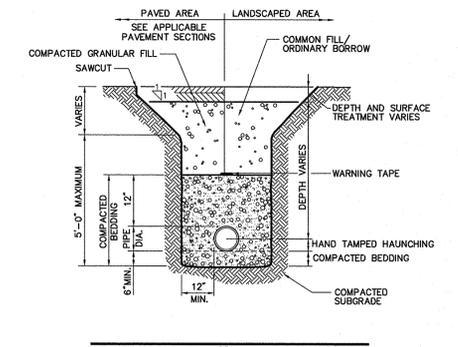
TEES	G	H	I	J	TEES	G	H	I	J
6" x 6" x 6"	12"	24"	18"	-	12" x 12" x 8"	12"	24"	18"	24"
8" x 8" x 8"	-	-	-	-	12" x 12" x 8"	-	-	-	-
8" x 8" x 8"	-	-	-	-	12" x 12" x 12"	-	-	-	-



**Notes:**

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
- CONCRETE SHALL BE 3000 PSI-TYPE I.

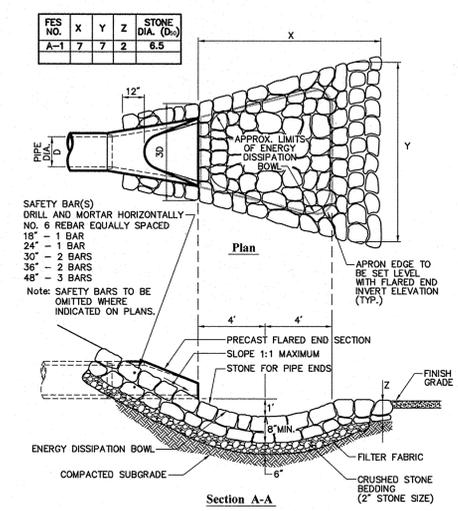
**Concrete Thrust Block** 10/10  
N.T.S. Source: VHB LD\_260



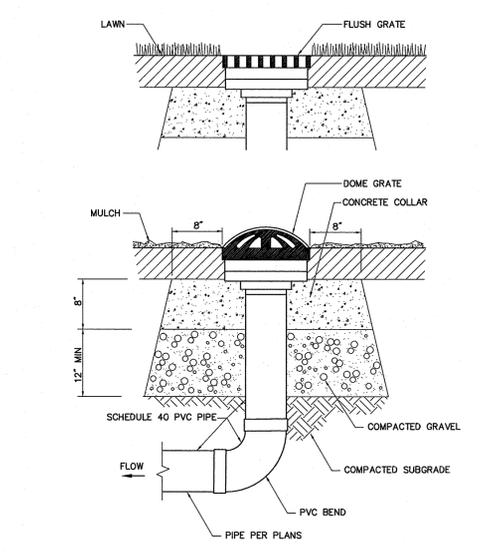
**Notes:**

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

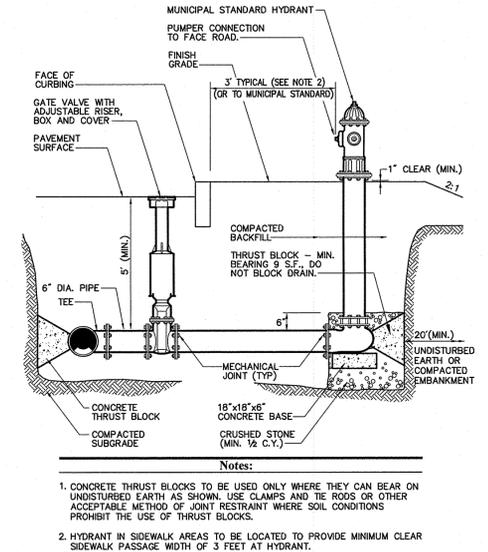
**Utility Trench** 8/11  
N.T.S. Source: VHB LD\_300



**Flared End Section (FES) with Stone Protection** 5/12  
N.T.S. Source: VHB LD\_134



**Landscape Drain (LD)** 6/08  
N.T.S. Source: VHB LD\_193

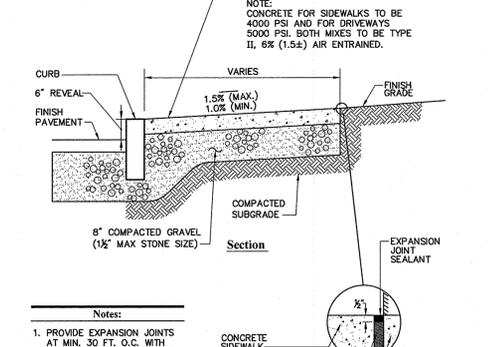


**Hydrant Construction** 6/08  
N.T.S. Source: VHB LD\_250

**Notes:**

- CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
- HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.

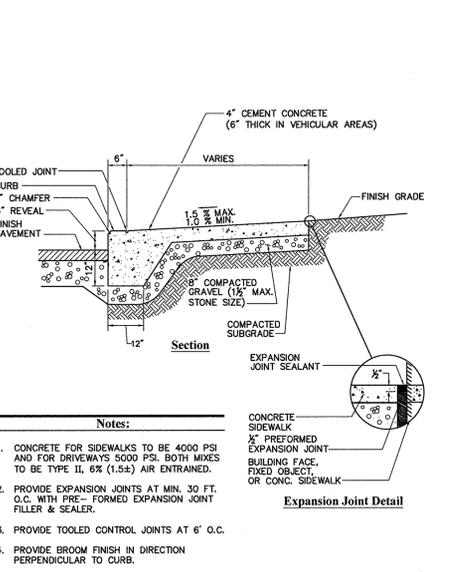
**Expansion Joint Detail**



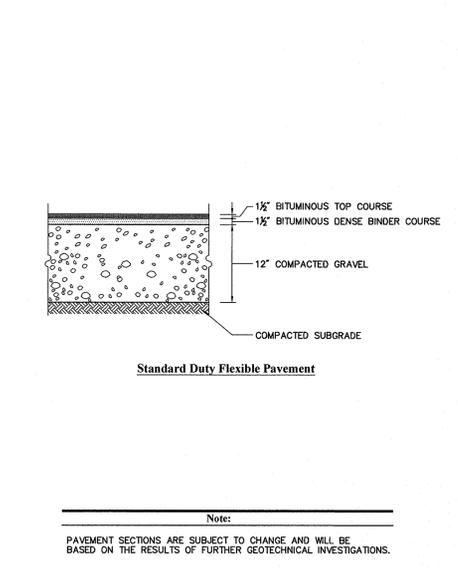
**Notes:**

- PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER.
- PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
- PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

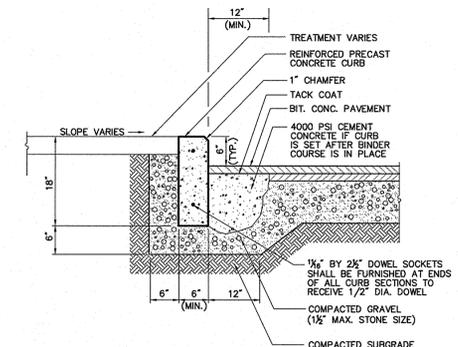
**Concrete Sidewalk** 4/11  
N.T.S. Source: VHB LD\_420



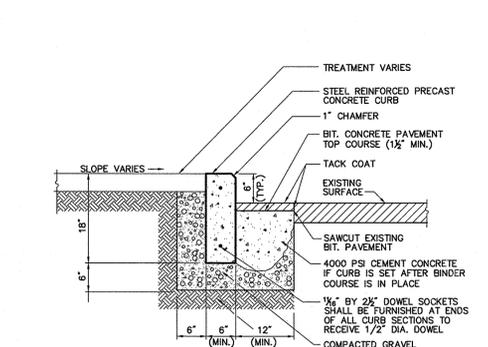
**Monolithic Concrete Curb (MCC) & Sidewalk** 12/11  
N.T.S. Source: VHB LD\_421



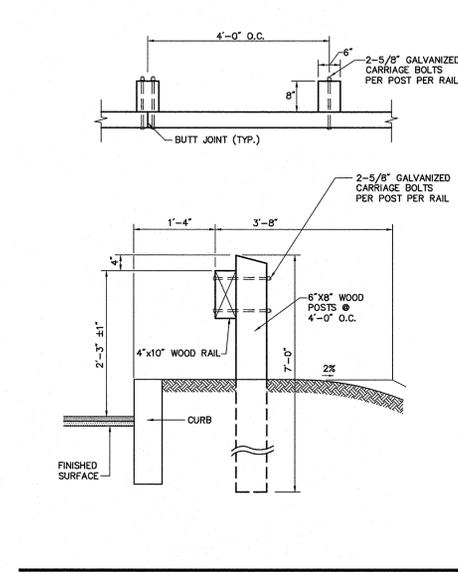
**Bituminous Concrete Pavement Sections** 12/11  
N.T.S. Source: VHB LD\_430



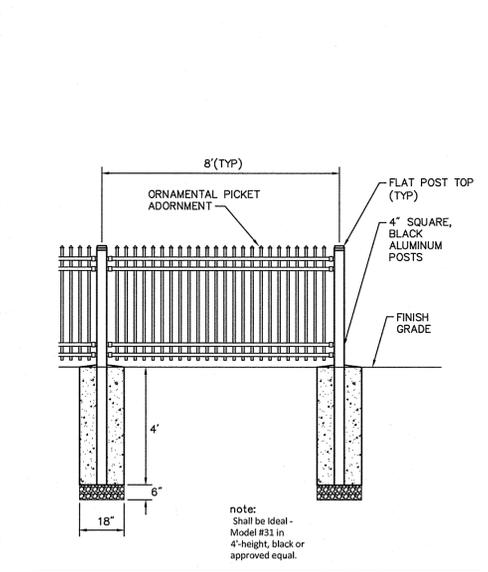
**Precast Concrete Curb (PCC)** 12/11  
N.T.S. Source: VHB LD\_404



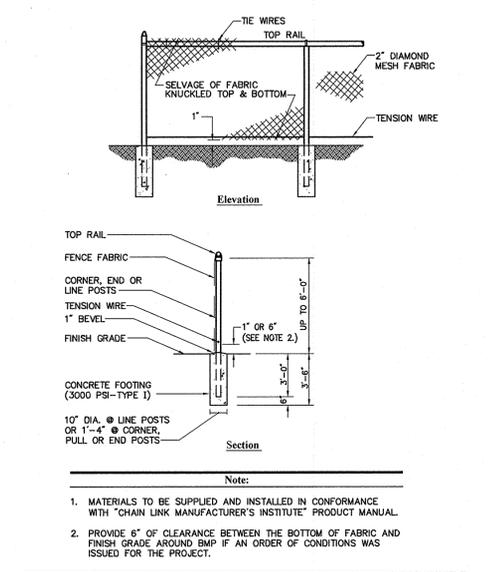
**Precast Concrete Curb (PCC) Set In Existing Pavement** 12/11  
N.T.S. Source: VHB LD\_405



**Wood Guardrail** 6/08  
N.T.S. Source: VHB LD\_450



**Ornamental Fence Detail** 11/09  
N.T.S. Source: VHB LD\_481



**Chain Link Fence up to 6'** 5/12  
N.T.S. Source: VHB LD\_481\_MA

**19 Flutie Pass Development**

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

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Designed by **JRM** Checked by **CPN**  
Issued for \_\_\_\_\_ Date \_\_\_\_\_

Local Approvals June 8, 2016

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Site Details 2

Drawing Number

**C-9**

Sheet 10 of 14  
Project Number 12642.00

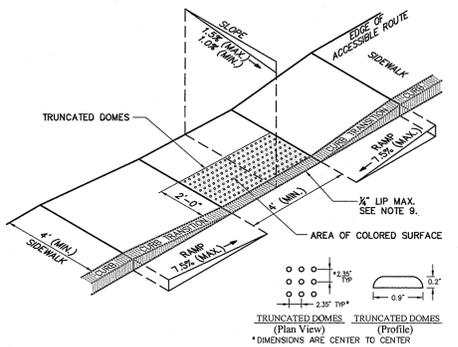
6/23/16



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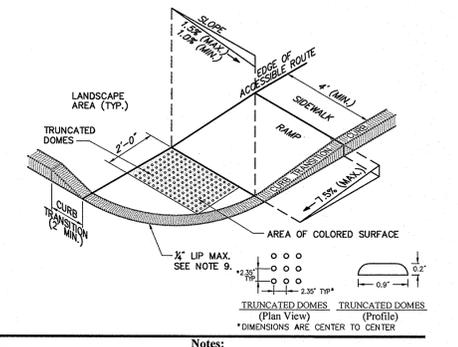
APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



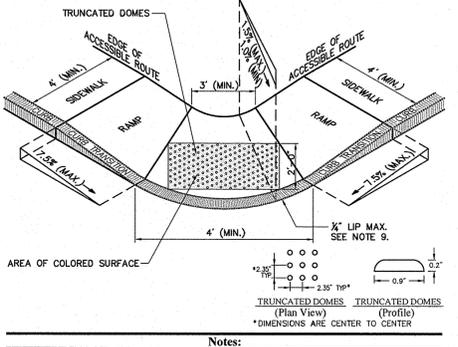
- Notes:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'A-D' 11/10
Source: VHB LD\_500



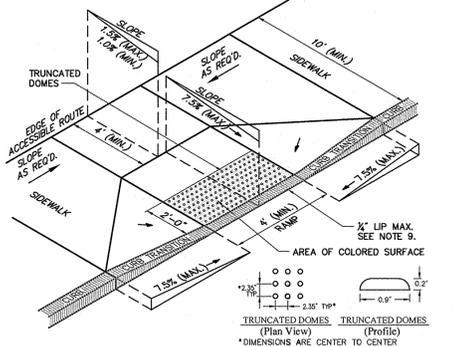
- Notes:
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9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) - Type 'B-D' 9/13
Source: VHB LD\_501



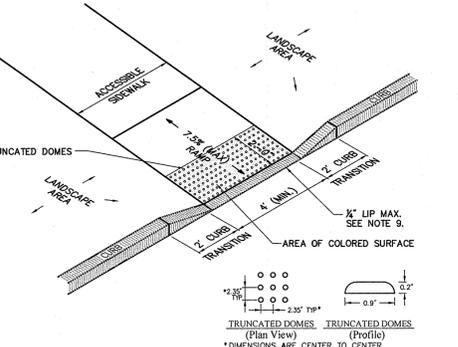
- Notes:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'C-D' 11/10
Source: VHB LD\_502



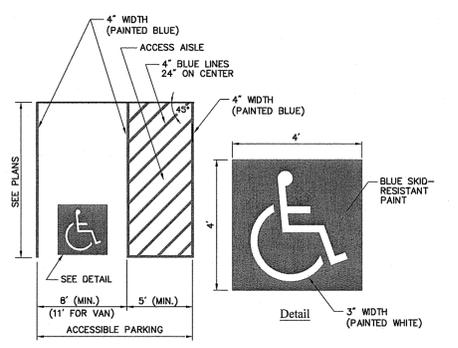
- Notes:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'D-D' 11/10
Source: VHB LD\_503



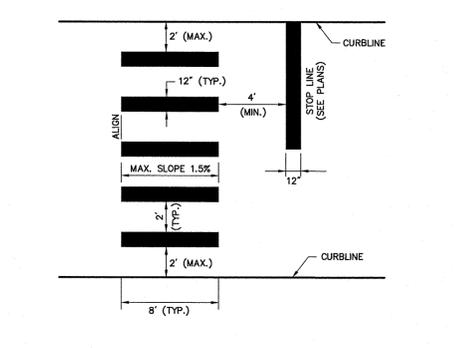
- Notes:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'M-D' 11/10
Source: VHB LD\_512



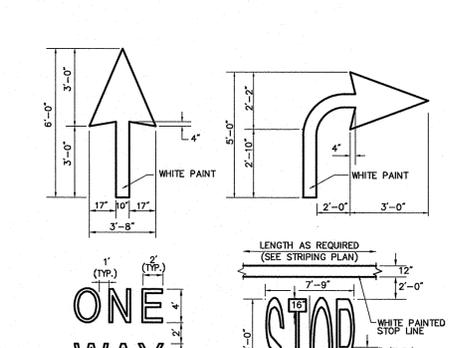
- Notes:
1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. 8" STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space 11/10
Source: VHB LD\_552



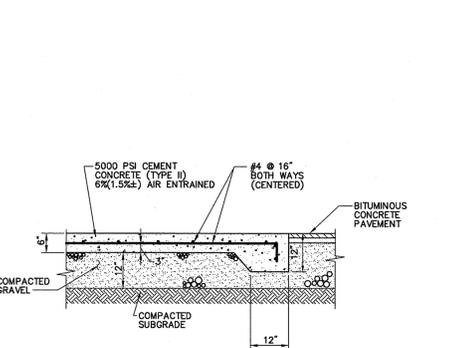
- Notes:
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk 6/08
Source: VHB LD\_553



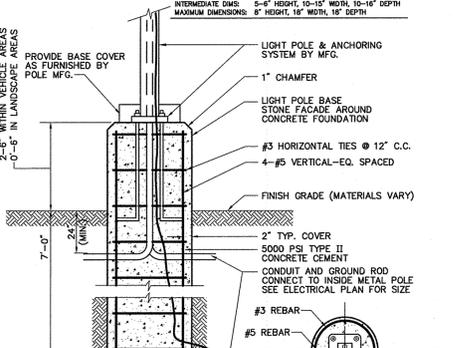
- Notes:
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site 6/08
Source: VHB LD\_554



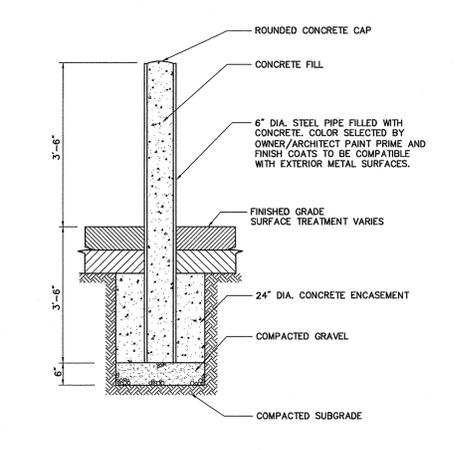
- Notes:
1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

Dumpster Pad 4/11
Source: VHB LD\_710

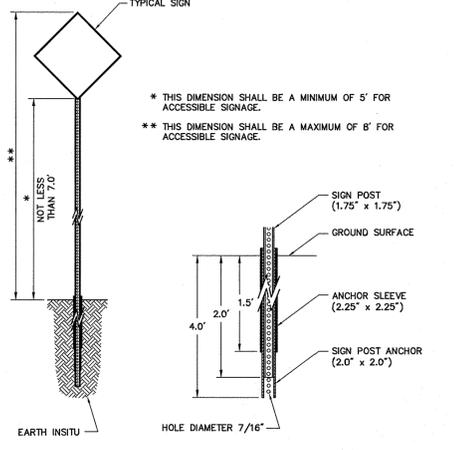


- Notes:
LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

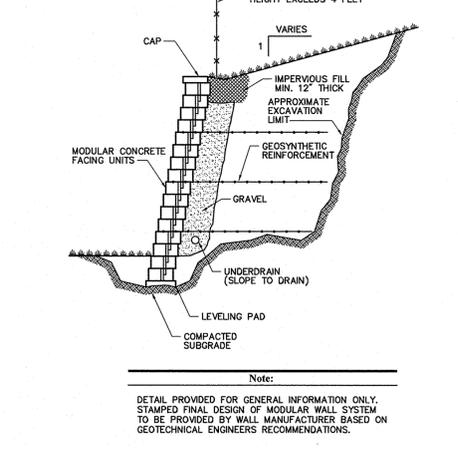
Light Pole Foundation Detail (Up to 40' Pole) 2/11
Source: VHB REV LD\_310



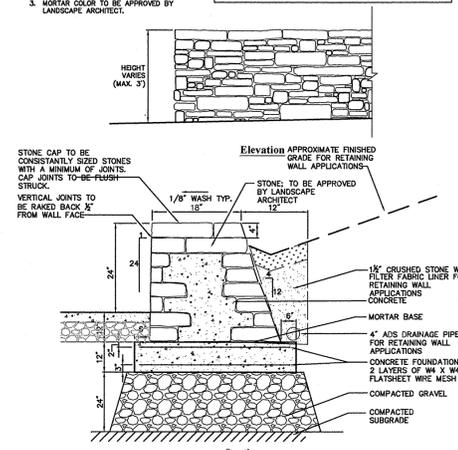
Bollard 6/08



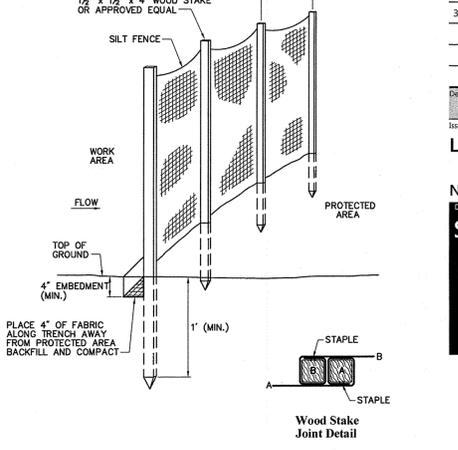
Sign Post - Type 'B' 12/12
Source: VHB LD\_702



Modular Retaining Wall 6/08
Source: VHB LD\_750



Landscape Wall Detail 11/11
Source: VHB



Silt Fence Barrier 6/10
Source: VHB LD\_68

19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

Table with 3 columns: No., Revision, Date, Appr.
1. Town of Framingham/Natick Comments 12/8/2015 CPN
2. Town Natick Comments 1/26/2016 CPN
3. Layout Revisions 5/13/2015 CPN

Designed by: JRM Checked by: CPN

Issued for: Not Approvals Date: June 8, 2016

Not Approved for Construction  
Site Details 3

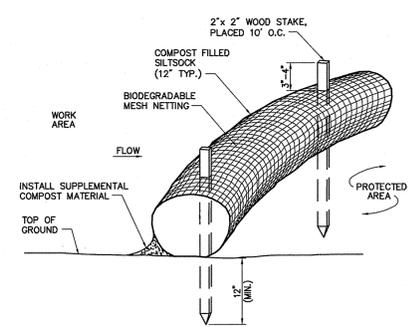
Professional seal for JRM, State of Massachusetts, License No. 12642.00. Includes drawing number C-10 and sheet 11 of 14.



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

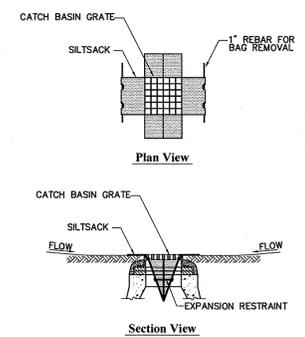
APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



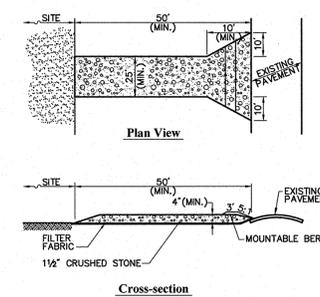
- Notes:**
- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
  - SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
  - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

**Siltsock - Erosion Control Barrier** 8/12  
N.T.S. Source: VHB LD\_658



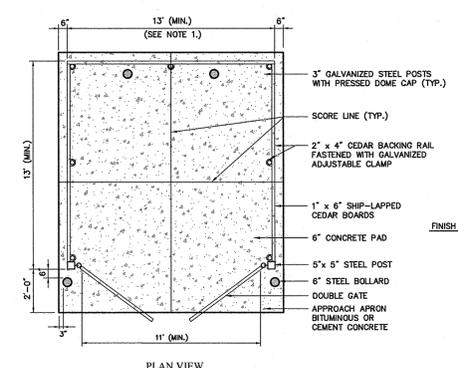
- Notes:**
- INSTALL SILT SACKS IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILT SACK.
  - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**Siltsock Sediment Trap** 6/08  
N.T.S. Source: VHB LD\_674



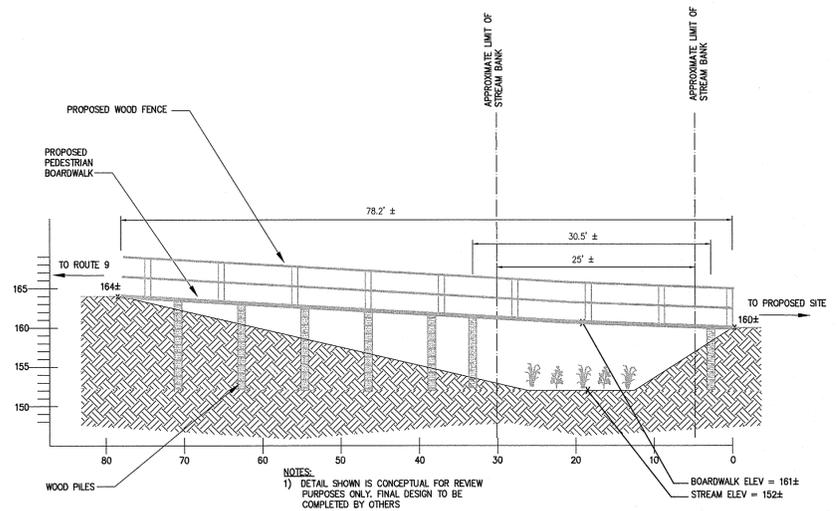
- Notes:**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit** 6/08  
N.T.S. Source: VHB LD\_682



- Notes:**
- DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSION.

**Dumpster Pad w/ Enclosure** 10/14  
N.T.S. Source: VHB LD\_713



- NOTES:**
- DETAIL SHOWN IS CONCEPTUAL FOR REVIEW PURPOSES ONLY. FINAL DESIGN TO BE COMPLETED BY OTHERS

**Stream Crossing** 1/15  
1" = 10' Source: VHB

**19 Flutie Pass Development**  
19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appvd.
1	Town of Framingham/Natick Comments	12/8/2015	CPN
2	Town of Natick Comments	1/12/2016	CPN
3	Layout Revisions	5/13/2015	CPN

Designed by: JRM Checked by: CPN  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

Local Approvals June 8, 2016

Not Approved for Construction  
Site Details 4



C-11

Sheet 12 of 14

Project Number 12642.00



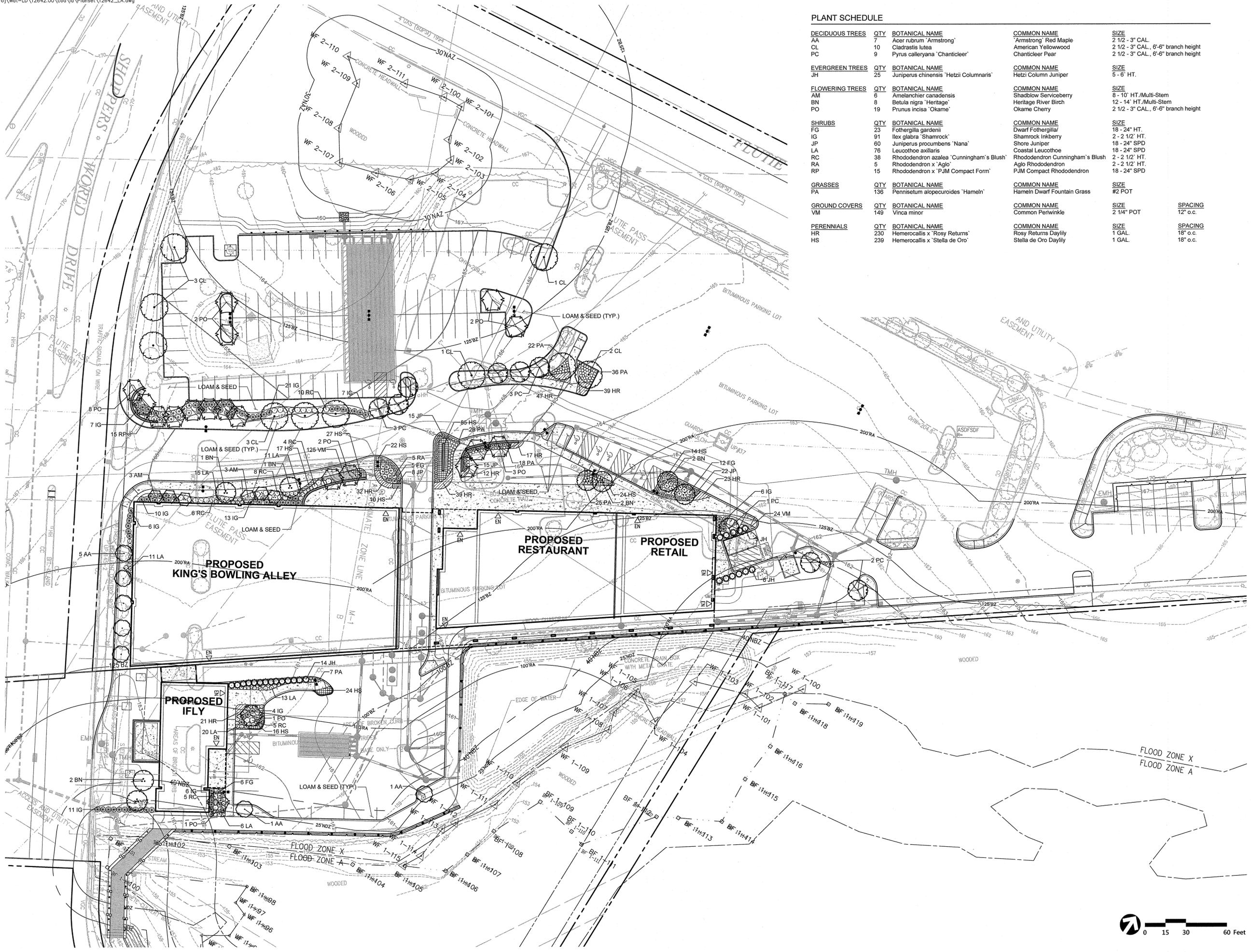
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA	7	Acer rubrum 'Armstrong'	'Armstrong' Red Maple	2 1/2 - 3" CAL.
CL	10	Cladrastis lutea	American Yellowwood	2 1/2 - 3" CAL., 6'-6" branch height
PC	9	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2 - 3" CAL., 6'-6" branch height
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JH	25	Juniperus chinensis 'Hetzii Columnaris'	Hetzii Column Juniper	5 - 6' HT.
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AM	6	Amelanchier canadensis	Shadblow Serviceberry	8 - 10' HT./Multi-Stem
BN	8	Betula nigra 'Heritage'	Heritage River Birch	12 - 14' HT./Multi-Stem
PO	19	Prunus incisa 'Okame'	Okame Cherry	2 1/2 - 3" CAL., 6'-6" branch height
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
FG	23	Fothergilla gardenii	Dwarf Fothergilla/	18 - 24" HT.
IG	91	Ilex glabra 'Shamrock'	Shamrock Inkberry	2 - 2 1/2' HT.
JP	60	Juniperus procumbens 'Nana'	Shore Juniper	18 - 24" SPD
LA	76	Leucothoe axillaris	Coastal Leucothoe	18 - 24" SPD
RC	38	Rhododendron azalea 'Cunningham's Blush'	Rhododendron Cunningham's Blush	2 - 2 1/2' HT.
RA	5	Rhododendron x 'Aglo'	Aglo Rhododendron	2 - 2 1/2' HT.
RP	15	Rhododendron x 'PJM Compact Form'	PJM Compact Rhododendron	18 - 24" SPD
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PA	136	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2 POT
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
VM	149	Vinca minor	Common Periwinkle	2 1/4" POT
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HR	230	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	1 GAL.
HS	239	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 GAL.

APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE: \_\_\_\_\_



**DDR Parking Lot Development**

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr.
1	Town of Framingham/Natick Comments	12/8/2015	CPN
2	Town of Natick Comments	1/12/2016	CPN

Designed by: **JRM** Checked by: **CPN**  
Issued for: **Local Approvals** Date: **June 8, 2016**

Not Approved for Construction  
Planting Plan



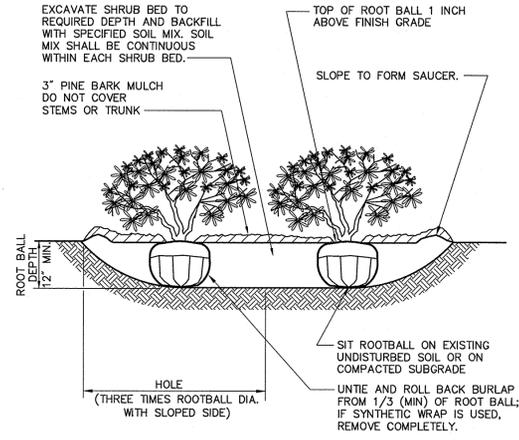
**L-1**

13 of 14

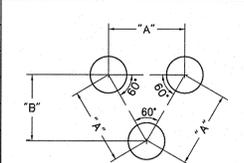
Project Number: 12642.00

APPROVED BY:  
FRAMINGHAM PLANNING BOARD

DATE:



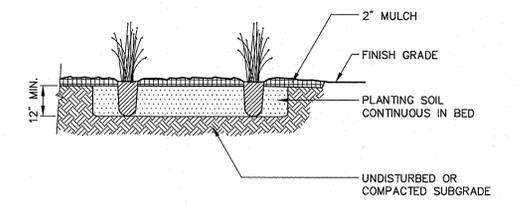
PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.



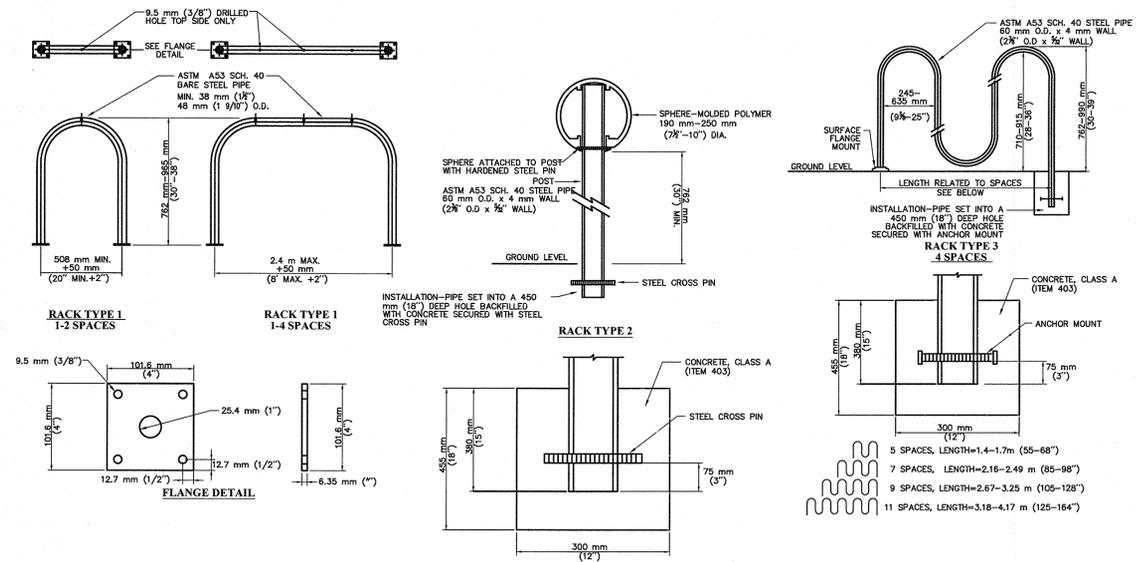
**Notes:**

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

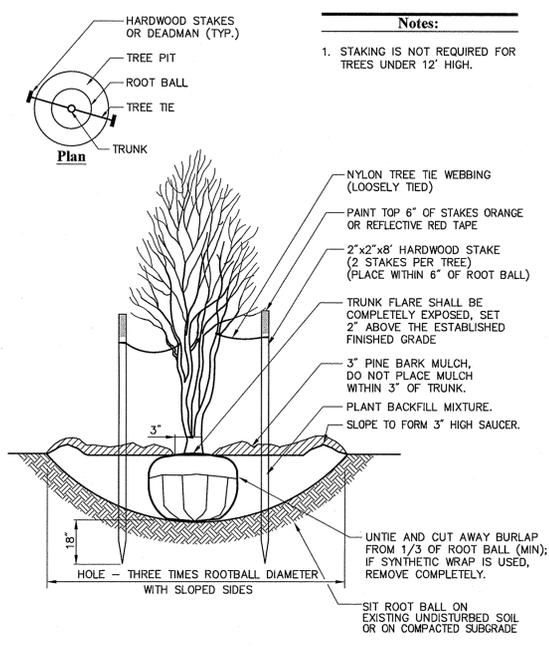
**Shrub Bed Planting** 6/08  
N.T.S. Source: VHB LD\_601



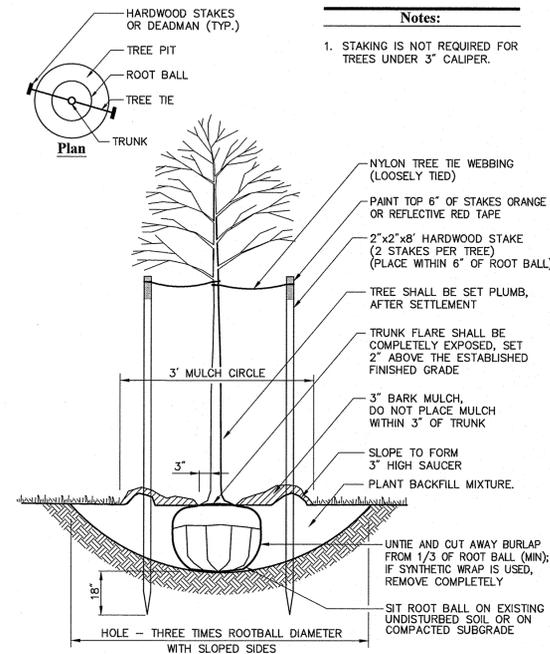
**Perennial Plug Planting** 11/09  
N.T.S. Source: VHB LD\_618



**Class III Style Bicycle Parking** 7/08  
N.T.S. Source: LD\_



**Multistem Tree Planting** 6/15  
N.T.S. Source: VHB LD\_606



**Tree Planting (For Trees Under 4" Caliper)** 6/15  
N.T.S. Source: VHB LD\_602

**Planting Notes**

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

**Tree Protection**

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

**Irrigation Notes**

1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
5. BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
6. IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
7. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

**DDR Parking Lot Development**

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Apprv.
1	Town of Framingham/Natick Comments	12/8/2015	CPN

Designed by JRM Checked by CPN  
Issued for Date  
**Local Approvals** June 8, 2016

Not Approved for Construction

**Planting Details and Notes**

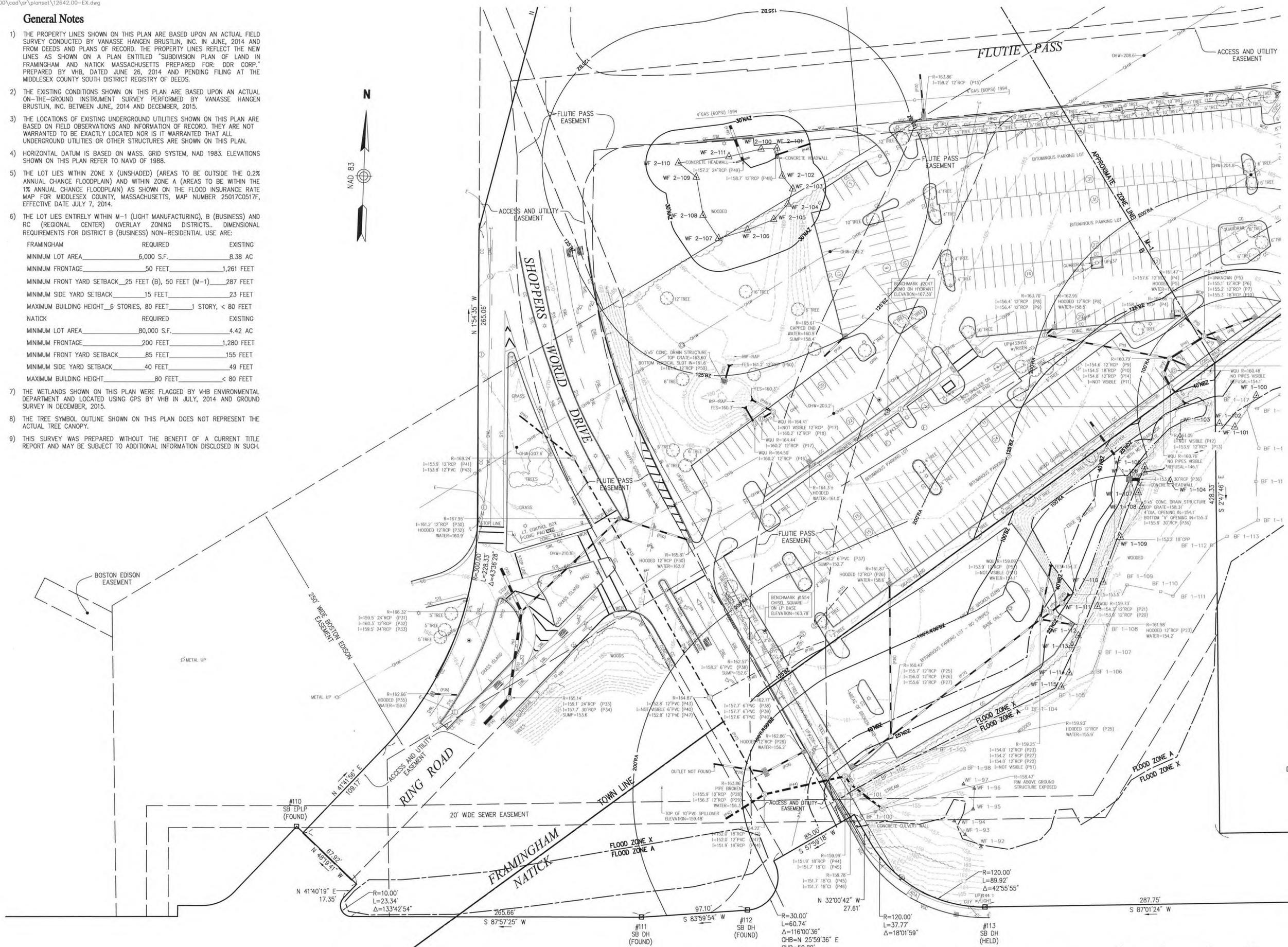
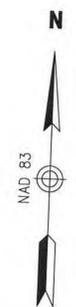
**General Notes**

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE, 2014 AND FROM DEEDS AND PLANS OF RECORD. THE PROPERTY LINES REFLECT THE NEW LINES AS SHOWN ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN FRAMINGHAM AND NATICK MASSACHUSETTS PREPARED FOR: DOR CORP." PREPARED BY VHB, DATED JUNE 26, 2014 AND PENDING FILING AT THE MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN JUNE, 2014 AND DECEMBER, 2015.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHIN ZONE A (AREAS TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0517F, EFFECTIVE DATE JULY 7, 2014.
- 6) THE LOT LIES ENTIRELY WITHIN M-1 (LIGHT MANUFACTURING), B (BUSINESS) AND RC (REGIONAL CENTER) OVERLAY ZONING DISTRICTS. DIMENSIONAL REQUIREMENTS FOR DISTRICT B (BUSINESS) NON-RESIDENTIAL USE ARE:  

FRAMINGHAM	REQUIRED	EXISTING
MINIMUM LOT AREA	6,000 S.F.	8.38 AC
MINIMUM FRONTAGE	50 FEET	1,261 FEET
MINIMUM FRONT YARD SETBACK	25 FEET (B), 50 FEET (M-1)	287 FEET
MINIMUM SIDE YARD SETBACK	15 FEET	23 FEET
MAXIMUM BUILDING HEIGHT	6 STORIES, 80 FEET	1 STORY, < 80 FEET

NATICK	REQUIRED	EXISTING
MINIMUM LOT AREA	80,000 S.F.	4.42 AC
MINIMUM FRONTAGE	200 FEET	1,280 FEET
MINIMUM FRONT YARD SETBACK	85 FEET	155 FEET
MINIMUM SIDE YARD SETBACK	40 FEET	49 FEET
MAXIMUM BUILDING HEIGHT	80 FEET	< 80 FEET
- 7) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND LOCATED USING GPS BY VHB IN JULY, 2014 AND GROUND SURVEY IN DECEMBER, 2015.
- 8) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 9) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.



**Legend**

- ⊕ DRAIN MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
- ⊕ HAND HOLE
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ GAS GATE
- ⊕ GAS METER
- ⊕ ELECTRICITY METER
- ⊕ AIR CONDITIONING UNIT
- ⊕ STREET SIGN
- ⊕ TRAFFIC SIGNAL
- ⊕ PEDESTRIAN SIGNAL
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ UTIL. POLE WITH LIGHT
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ FIRE ALARM PULLBOX
- ⊕ FLOOD LIGHT
- ⊕ MONITORING WELL
- ⊕ COULD NOT OPEN
- ⊕ NPV NO PIPES VISIBLE
- ⊕ FIRST FLOOR ELEVATION
- ⊕ EDGE OF PAVEMENT
- ⊕ CONCRETE CURB
- ⊕ VERTICAL GRANITE CURB
- ⊕ SLOPED GRANITE EDGE
- ⊕ BITUMINOUS BERM
- ⊕ BITUMINOUS CURB
- ⊕ GUARD RAIL
- ⊕ CHAIN LINK FENCE
- ⊕ DRAINAGE LINE
- ⊕ SEWER LINE
- ⊕ OVERHEAD WIRE
- ⊕ STONE WALL
- ⊕ TREE LINE
- ⊕ 100-FT BUFFER ZONE
- ⊕ 100-FT RIVER FRONT AREA
- ⊕ 200-FT RIVER FRONT AREA
- ⊕ LIMIT MEAN ANNUAL HIGH WATER
- ⊕ LIMIT OF BANK
- ⊕ VEGETATED WETLAND BOUNDARY
- ⊕ INTERIOR WETLAND AREA

**AMC South Parking Lot Redevelopment**

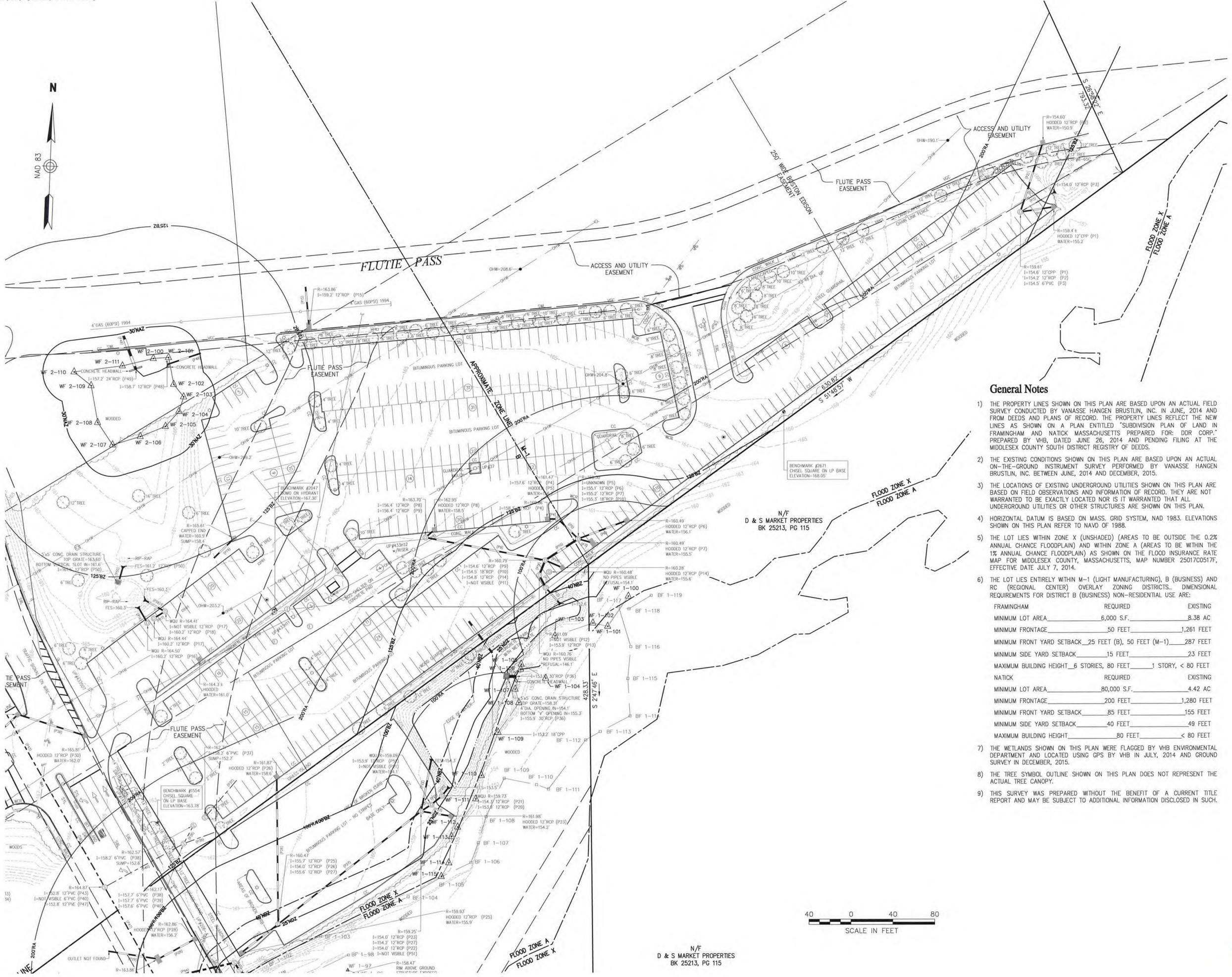
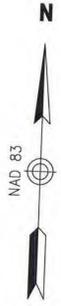
No.	Revision	Date	Apprv.
1	DRAIN PIPE NETWORK	8/6/2015	
2	CONTOUR LINES	8/6/2015	
3	ADDITIONAL TOPO/WETLANDS	12/8/2015	

Designed by	Checked by
Issued for	Date
	July 14, 2014

Drawing Title  
**Existing Conditions  
Plan of Land**

Drawing Number  
Sv-1

Project Number  
12642.00



- Legend**
- ⊙ DRAIN MANHOLE
  - ⊙ SEWER MANHOLE
  - ⊙ ELECTRIC MANHOLE
  - ⊙ TELEPHONE MANHOLE
  - ⊙ MANHOLE
  - HH □ HAND HOLE
  - ⊙ WATER GATE
  - ⊙ FIRE HYDRANT
  - ICV □ IRRIGATION CONTROL VALVE
  - ⊙ GAS GATE
  - ⊙ GAS METER
  - ⊙ ELECTRICITY METER
  - ⊙ AIR CONDITIONING UNIT
  - ⊙ STREET SIGN
  - ⊙ TRAFFIC SIGNAL
  - ⊙ PEDESTRIAN SIGNAL
  - ⊙ LIGHT POLE
  - ⊙ UTILITY POLE
  - ⊙ UTIL. POLE WITH LIGHT
  - ⊙ GUY POLE
  - ⊙ GUY WIRE
  - ⊙ FIRE ALARM PULLBOX
  - ⊙ FLOOD LIGHT
  - ⊙ MONITORING WELL
  - ⊙ CNO COULD NOT OPEN
  - NPV NO PIPES VISIBLE
  - FFE=123.45 FIRST FLOOR ELEVATION
  - CC CONCRETE CURB
  - VEG. VERTICAL GRANITE CURB
  - SGE SLOPED GRANITE EDGE
  - BB BITUMINOUS BERM
  - BC BITUMINOUS CURB
  - GR GUARD RAIL
  - CLF CHAIN LINK FENCE
  - DL DRAINAGE LINE
  - SWL SEWER LINE
  - OW OVERHEAD WIRE
  - STW STONE WALL
  - TL TREE LINE
  - 100BZ 100-FT BUFFER ZONE
  - 100RA 100-FT RIVER FRONT AREA
  - 200RA 200-FT RIVER FRONT AREA
  - AF=100 LIMIT MEAN ANNUAL HIGH WATER LIMIT OF BANK
  - BF=100 VEGETATED WETLAND BOUNDARY
  - WF=100 INTERIOR WETLAND AREA

**General Notes**

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE, 2014 AND FROM DEEDS AND PLANS OF RECORD. THE PROPERTY LINES REFLECT THE NEW LINES AS SHOWN ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN FRAMINGHAM AND NATICK MASSACHUSETTS PREPARED FOR: DDR CORP." PREPARED BY VHB, DATED JUNE 26, 2014 AND PENDING FILING AT THE MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN JUNE, 2014 AND DECEMBER, 2015.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHIN ZONE A (AREAS TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0517F, EFFECTIVE DATE JULY 7, 2014.
- 6) THE LOT LIES ENTIRELY WITHIN M-1 (LIGHT MANUFACTURING), B (BUSINESS) AND RC (REGIONAL CENTER) OVERLAY ZONING DISTRICTS. DIMENSIONAL REQUIREMENTS FOR DISTRICT B (BUSINESS) NON-RESIDENTIAL USE ARE:
 

	REQUIRED	EXISTING
MINIMUM LOT AREA	6,000 S.F.	8.38 AC
MINIMUM FRONTAGE	50 FEET	1,261 FEET
MINIMUM FRONT YARD SETBACK	25 FEET (B), 50 FEET (M-1)	287 FEET
MINIMUM SIDE YARD SETBACK	15 FEET	23 FEET
MAXIMUM BUILDING HEIGHT	6 STORIES, 80 FEET	1 STORY, < 80 FEET
NATICK	REQUIRED	EXISTING
MINIMUM LOT AREA	80,000 S.F.	4.42 AC
MINIMUM FRONTAGE	200 FEET	1,280 FEET
MINIMUM FRONT YARD SETBACK	85 FEET	155 FEET
MINIMUM SIDE YARD SETBACK	40 FEET	49 FEET
MAXIMUM BUILDING HEIGHT	80 FEET	< 80 FEET
- 7) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND LOCATED USING GPS BY VHB IN JULY, 2014 AND GROUND SURVEY IN DECEMBER, 2015.
- 8) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 9) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.

**AMC South Parking Lot Redevelopment**

Framingham, Massachusetts

No.	Revision	Date	Appr.
1	DRAIN PIPE NETWORK	8/6/2015	
2	CONTOUR LINES	8/6/2015	
3	ADDITIONAL TOPO/WETLANDS	12/8/2015	

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
 Issued for \_\_\_\_\_ Date \_\_\_\_\_  
 July 14, 2014

Existing Conditions  
Plan of Land

Drawing Number \_\_\_\_\_

**Sv-2**

Sheet 2 of 2

Project Number 12642.00

*Russell A. Bousquet*  
12/8/15



N/F  
D & S MARKET PROPERTIES  
BK 25213, PG 115

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW FRAMINGHAM PLANNING BOARD

*[Signatures]*

DATE: 12/04/14

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE ZONING BY-LAW RELATIVE TO IRREGULARLY-SHAPED LOTS, UPLAND AREA, LOT WIDTH, OPEN SPACE, LOT COVERAGE AND FLOOR AREA RATIO IN ACCORDANCE WITH SECTION IV.G.3.a., 3.c., 3.d., 4.b., 6.a-e. AND 7.c. OF THE ZONING BY-LAW FOR ALL LOTS EFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE LAND DISTURBANCE BY-LAW IN ACCORDANCE WITH SECTION IV.H.2. OF THE ZONING BY-LAW FOR ALL LOTS EFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS FOR ALL LOTS EFFECTED.

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE A DETERMINATION OF CONFORMANCE WITH THE FRAMINGHAM GENERAL BY-LAW IN ACCORDANCE WITH ARTICLE 5, SECTION 18, AND ITS IMPLEMENTING WETLANDS PROTECTION REGULATIONS AS WELL AS THE MASSACHUSETTS WETLANDS PROTECTION ACT, M.G.L. CH. 131, SECTION 40 AND ITS IMPLEMENTING REGULATIONS, 310 CMR 10.00. FOR ALL LOTS EFFECTED.

**Note**

SB = STONE BOUND  
FND = FOUND  
DH = DRILL HOLE  
EPLP = ESCUTCHEON PIN

**Current Owner**

BRE DDR SHOPPERS WORLD LLC  
BOOK 59414, PAGE 502  
ASSESSOR PARCEL NUMBERS  
345 109 22  
345 109 22G  
345 109 20

**Zoning Table**

PARCEL LIES WITHIN M-1 (LIGHT MANUFACTURING), B (BUSINESS) AND RC (REGIONAL CENTER) OVERLAY ZONING DISTRICTS.

ZONING REQUIREMENTS FOR DISTRICT B (BUSINESS) NON-RESIDENTIAL USE ARE:

MINIMUM LOT AREA	6,000 S.F.
MINIMUM FRONTAGE	50 FEET
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	15 FEET
MINIMUM OPEN SPACE RATIO	20%
MAXIMUM BUILDING HEIGHT	6 STORIES/80'
MAXIMUM BUILDING LOT COVERAGE	N.A.
MAXIMUM BUILDING FLOOR AREA RATIO	0.32

**General Notes**

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JUNE 2014 AND FROM PLANS AND DEEDS OF RECORD.
- NORTH ARROW AND BEARINGS BASED ON MASSACHUSETTS STATE PLANE COORDINATE SYSTEM.

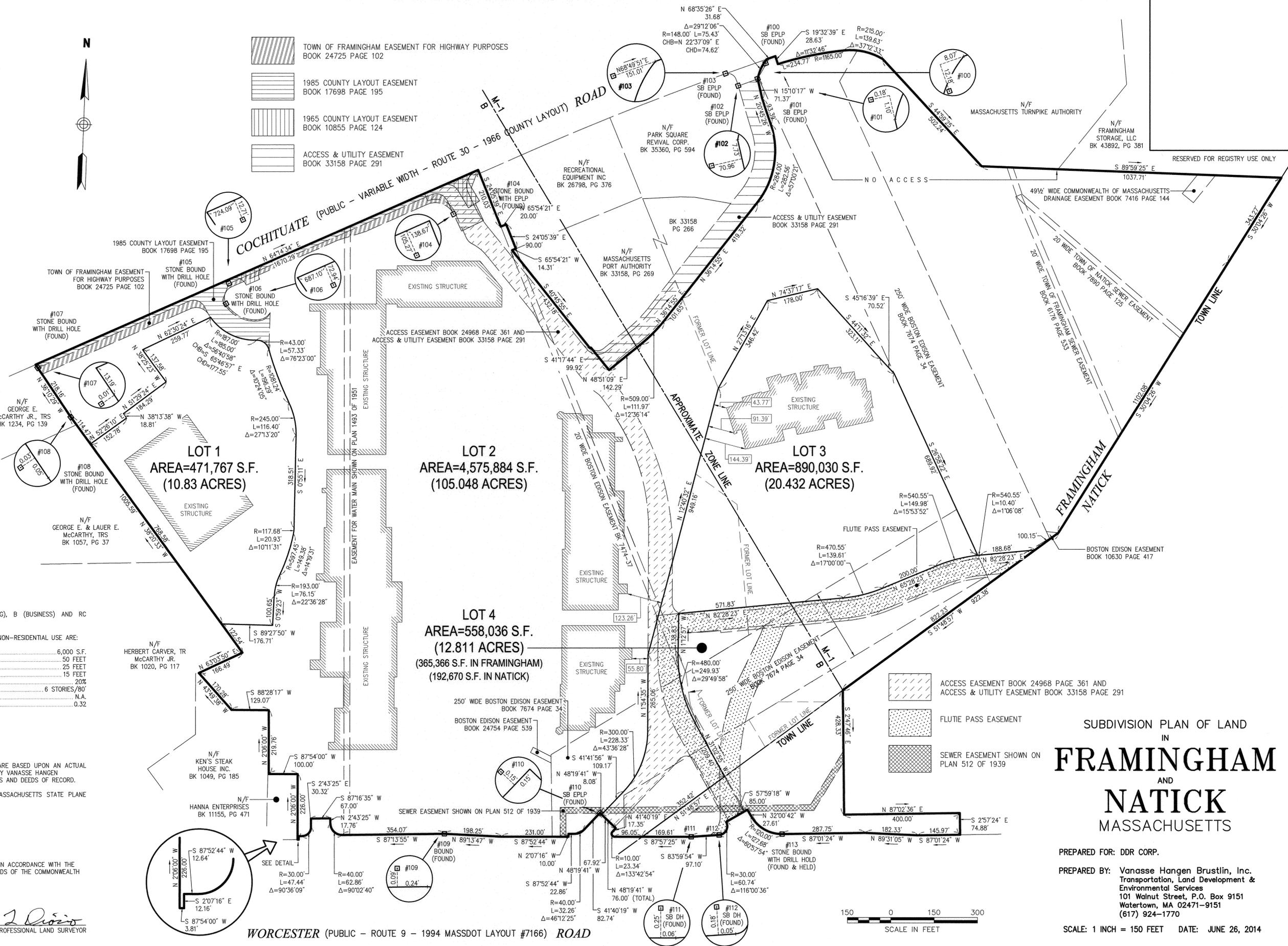
**Certification**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

10-28-14  
DATE  
*[Signature]*  
PROFESSIONAL LAND SURVEYOR



- TOWN OF FRAMINGHAM EASEMENT FOR HIGHWAY PURPOSES BOOK 24725 PAGE 102
- 1985 COUNTY LAYOUT EASEMENT BOOK 17698 PAGE 195
- 1965 COUNTY LAYOUT EASEMENT BOOK 10855 PAGE 124
- ACCESS & UTILITY EASEMENT BOOK 33158 PAGE 291



- ACCESS EASEMENT BOOK 24968 PAGE 361 AND ACCESS & UTILITY EASEMENT BOOK 33158 PAGE 291
- FLUTIE PASS EASEMENT
- SEWER EASEMENT SHOWN ON PLAN 512 OF 1939

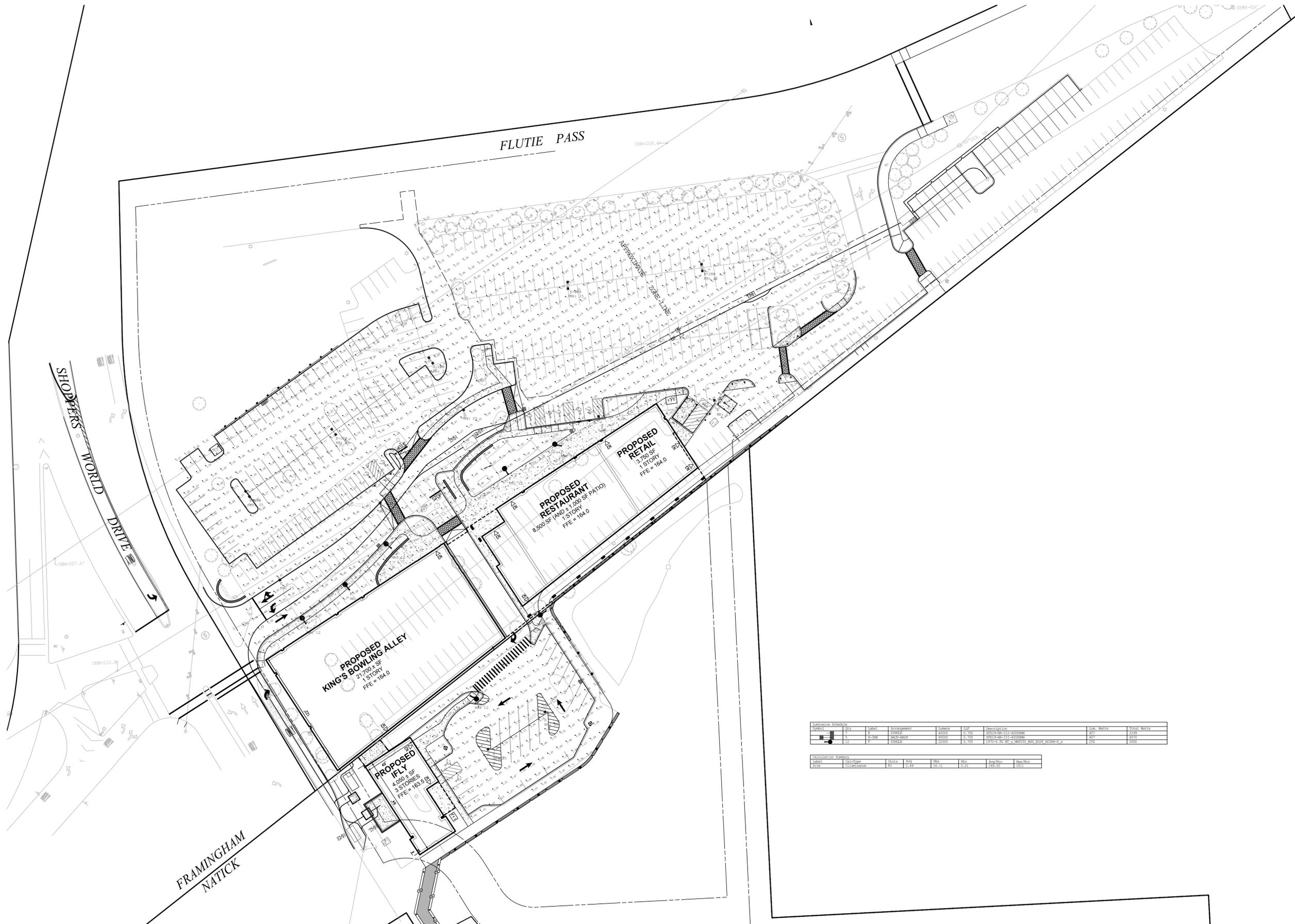


SUBDIVISION PLAN OF LAND IN FRAMINGHAM AND NATICK MASSACHUSETTS

PREPARED FOR: DDR CORP.  
PREPARED BY: Vanasse Hangen Brustlin, Inc. Transportation, Land Development & Environmental Services  
101 Walnut Street, P.O. Box 9151  
Watertown, MA 02471-9151  
(617) 924-1770  
SCALE: 1 INCH = 150 FEET DATE: JUNE 26, 2014



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



Symbol	Qty	Label	Arrangement	Volume	MF	Description	Unit	Volume	Total Volume
1	1	CONCRETE		4000	0.100	CONCRETE (11-1000000)	CU	400	2100
2	1	REBAR	SPAC-BACK	4000	0.100	REBAR (11-1000000)	LB	400	400
3	12	FORM	STRIP	2000	0.100	FORM STRIP (11-1000000)	YD	200	3000

Label	CalcType	Units	Min	Max	Min	Max	Min/Max	Max/Min
SIZE	1112121212	BT	1.40	12.11	0.21	0.88	0.88/0.21	12.11/0.21

### 19 Flutie Pass Development

19 Flutie Pass, Framingham, MA  
1391 Worcester Street, Natick, MA

No.	Revision	Date	Appr'd.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_

Issued for \_\_\_\_\_ Date \_\_\_\_\_

Local Approvals June 8, 2016

Not Approved for Construction  
Photometrics

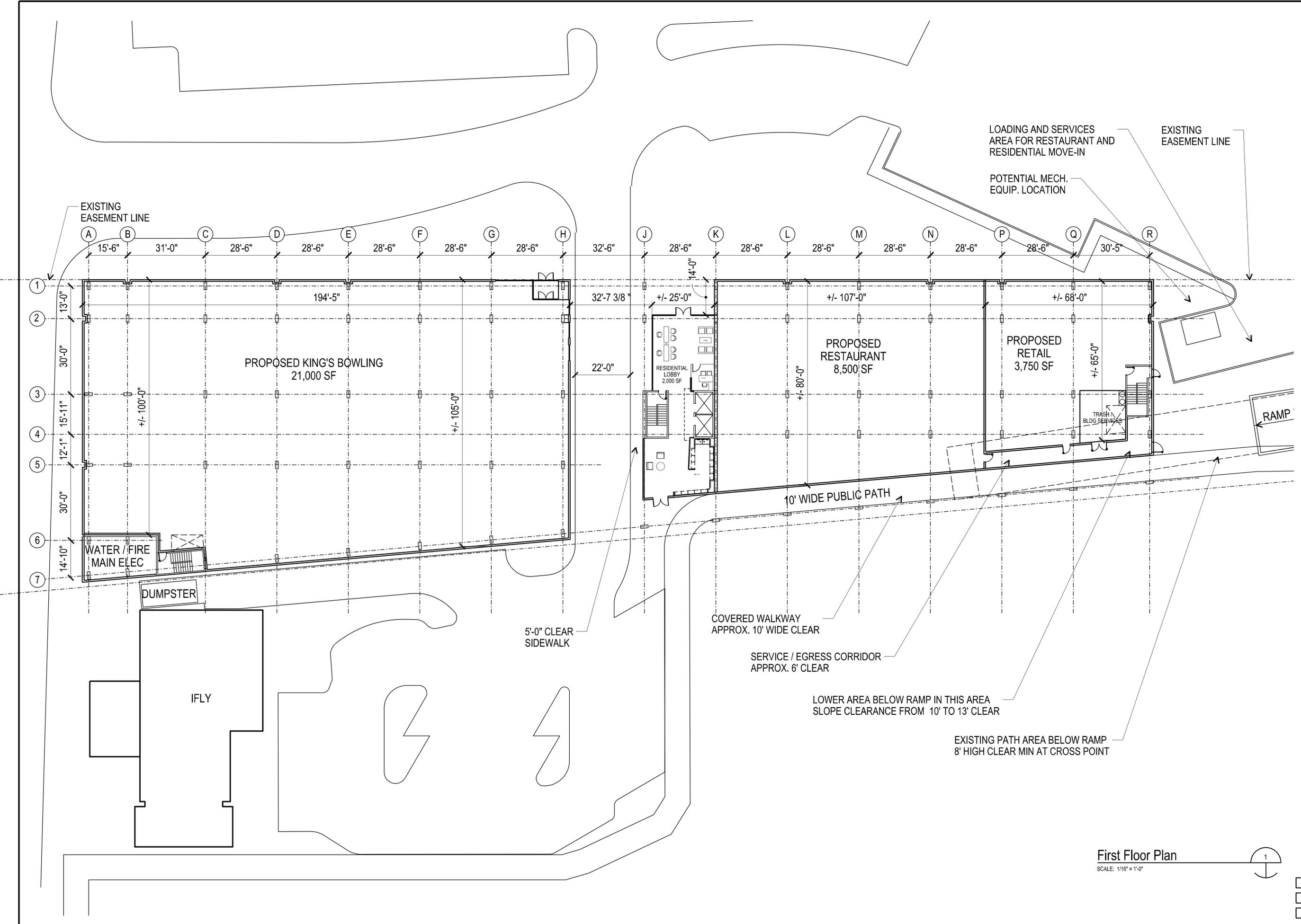
Drawing Number

**SL-1**

Sheet 1 of 1

Project Number  
12642.00





**Flutie Pass Development**  
19 Flutie Pass  
Framingham, MA

**DDR & Bozzuto**  
60 Mall Road  
Burlington, MA

Issued for Approval  
NOT FOR  
CONSTRUCTION

drawing by:	TC / DC
drawing checked by:	DC
drawing scale:	As Noted
drawing date:	8 June 2016

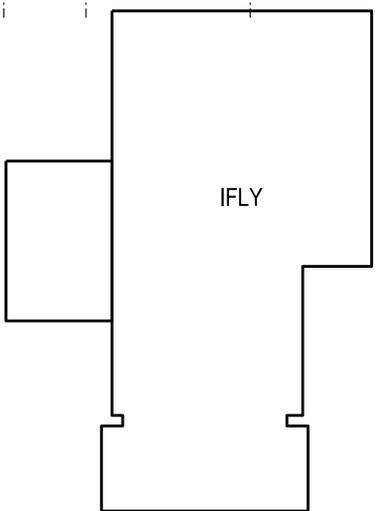
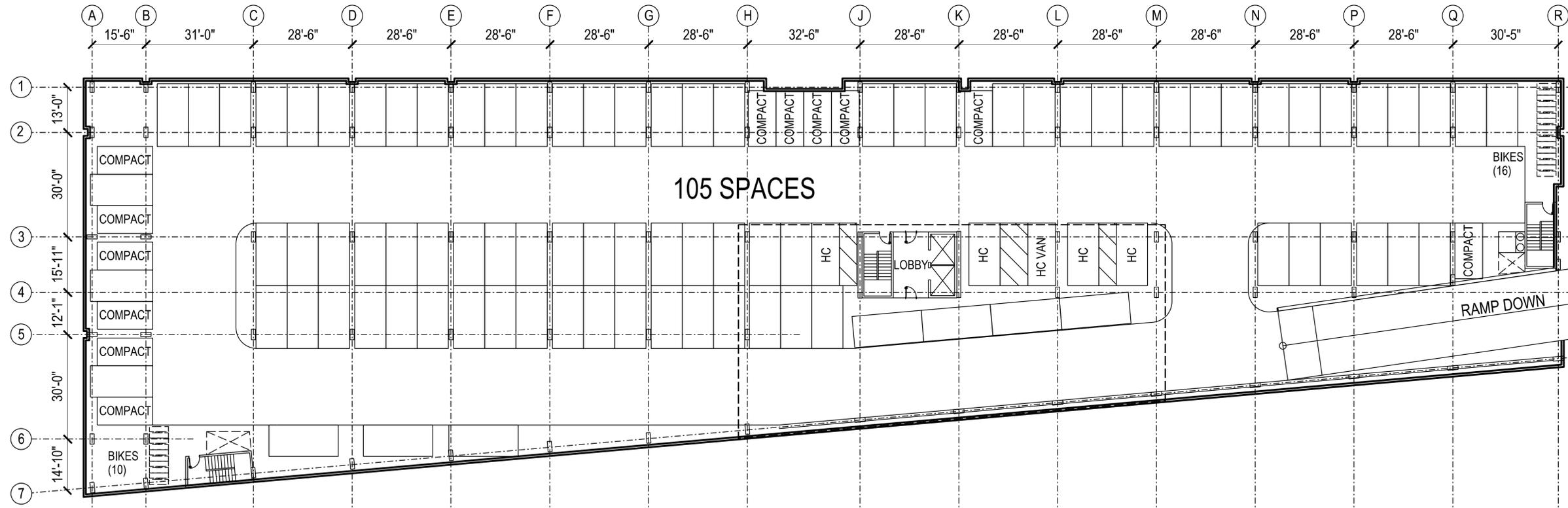
project number:	16010.00	
rev.	description	date



**First Floor Plan**

**First Floor Plan**  
SCALE: 1/16" = 1'-0"

**A-100**



Second Floor  
SCALE: 1/16" = 1'-0"



project information:  
**Flutie Pass Development**  
19 Flutie Pass  
Framingham, MA

client information:  
**DDR & Bozzuto**  
60 Mall Road  
Burlington, MA

consultant information:

Issued for Approval  
NOT FOR  
CONSTRUCTION

drawing information:  
drawing by: TC / DC  
drawing checked by: DC  
drawing scale: As Noted  
drawing date: 8 June 2016

drawing revision:  
project number: 16010.00

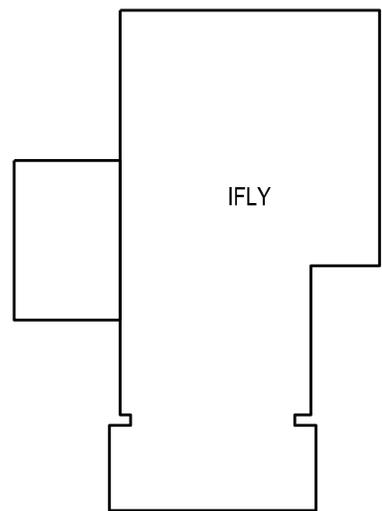
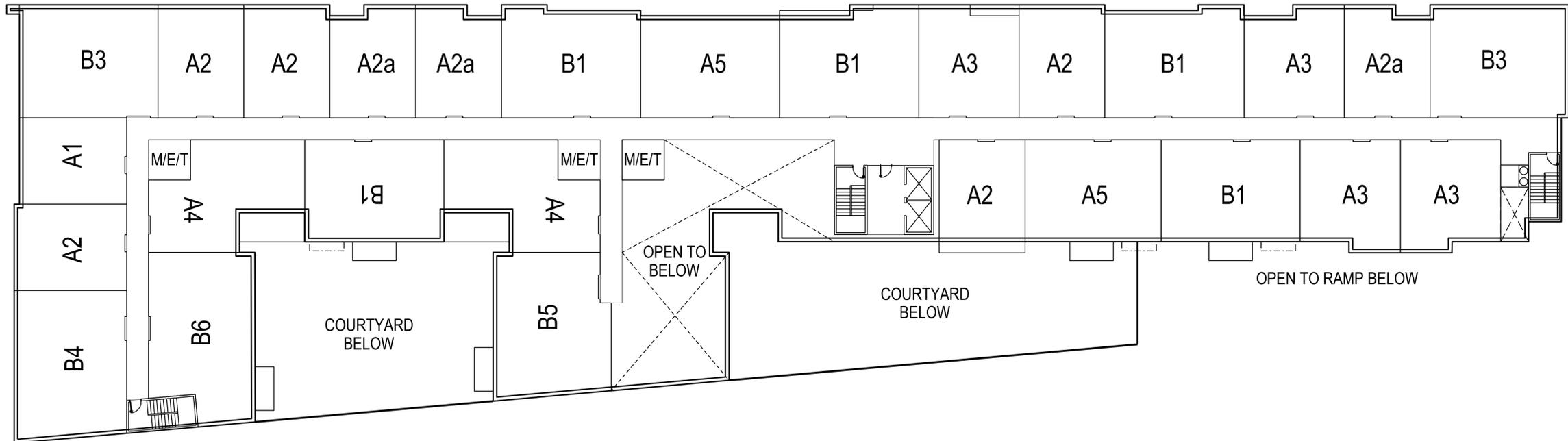
rev.	description	date



drawing name:  
**Second Floor Plan**

drawing number:  
**A-101**





Fourth Floor Plan  
SCALE: 1/16" = 1'-0"



project information:  
**Flutie Pass Development**  
19 Flutie Pass  
Framingham, MA

client information:  
**DDR & Bozzuto**  
60 Mall Road  
Burlington, MA

consultant information:

Issued for Approval  
NOT FOR  
CONSTRUCTION

drawing information:  
drawing by: TC / DC  
drawing checked by: DC  
drawing scale: As Noted  
drawing date: 8 June 2016

drawing revision:  
project number: 16010.00

rev.	description	date



drawing name:  
**Fourth Floor Plan**

drawing number:  
**A-103**













project information:  
**Flutie Pass Development**  
19 Flutie Pass  
Framingham, MA

client information:  
**DDR & Bozzuto**  
60 Mall Road  
Burlington, MA

consultant information:  
**Issued for Approval  
NOT FOR  
CONSTRUCTION**

drawing information:  
drawing by: TC / DC  
drawing checked by: DC  
drawing scale: As Noted  
drawing date: 8 June 2016

drawing revisions:  
project number: 16010.00

rev.	description	date



drawing name:  
**Proposed Rendering**

View From Shopper's World Drive  
NTS



drawing number:  
**A-251**



**Flutie Pass Development**

19 Flutie Pass  
Framingham, MA

**DDR & Bozzuto**

60 Mall Road  
Burlington, MA

Issued for Approval  
NOT FOR  
CONSTRUCTION

drawing by: TC / DC  
drawing checked by: DC  
drawing scale: As Noted  
drawing date: 8 June 2016

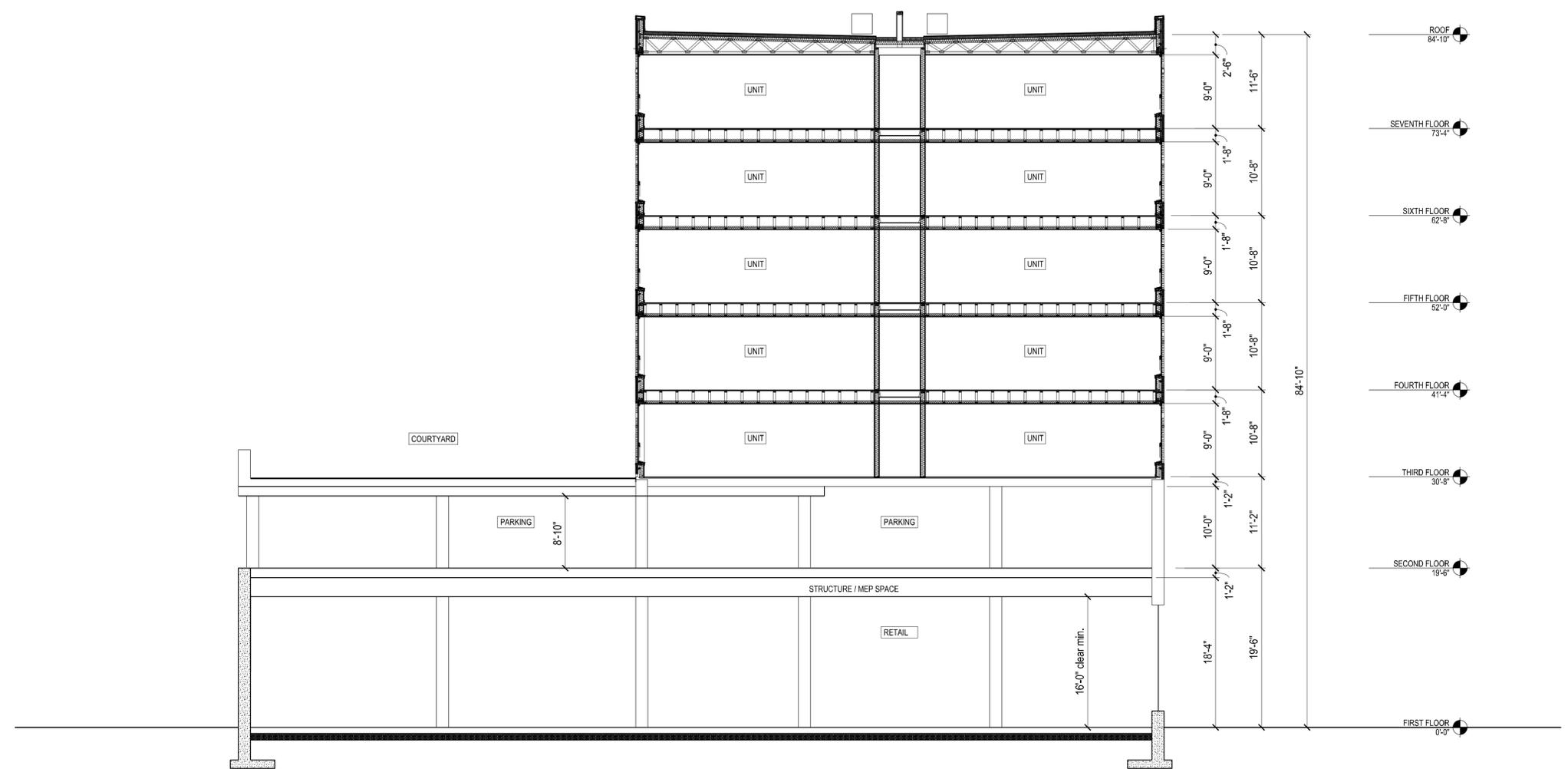
drawing revisions:  
project number: 16010.00

rev.	description	date



**Building Section**

**A-301**



**Building Section**  
SCALE: 1/8" = 1'-0"



project information: Flutie Pass Development  
 client information: DDR & Bozzuto  
 consultant information: Issued for Approval NOT FOR CONSTRUCTION  
 drawing information: drawing by: TC / DC, drawing checked by: DC, drawing scale: As Noted, drawing date: 8 June 2016  
 drawing revisions: project number: 16010.00  
 registration: No. 90480 SALEM MASSACHUSETTS  
 drawing name: Building Section  
 drawing number: A-301