

Framingham Planning Board

Memorial Building ▪ Room B-37 ▪ 150 Concord Street
Framingham, MA 01702-8373
(508) 532-5450 ▪ planning.board@framinghamma.gov



PERMIT | FRAMINGHAM

plan ▪ build ▪ grow



Planning Board Members:

Christine Long, Chair
Lewis Colten, Vice Chair
Victor Ortiz, Clerk
Thomas F. Mahoney
Stephanie Mercandetti

Planning Board Staff:

Amanda L. Loomis, Planning Board Administrator

Part 1: Transfer of Development Rights (TDR) Review

Original Review of the Existing Zoning for the Purposes of the Expansion of the TDR By-Law

Part 1: Transfer of Development Rights (TDR) review package is intended to track the progress of the TDR By-Law review. This package will be followed by three other parts that include: Part 2 – Meeting with Standing Committee on Planning and Zoning (SCPZ) on April 25, 2016, Part 3 – Meeting with the Board of Selectmen on May 4, 2016, and Part 4 – Documents for Review at the opening Public Hearing on Monday, May 16, 2016.

The following maps were developed for the request to expand the TDR By-Law. During the initial review, staff reviewed the following items: Giving Parcels, Receiving Parcels, Use of Development Rights, total amount of Development Rights to be transferred. Below is a list of documents and maps that were provided for the original review of the TDR By-Law.

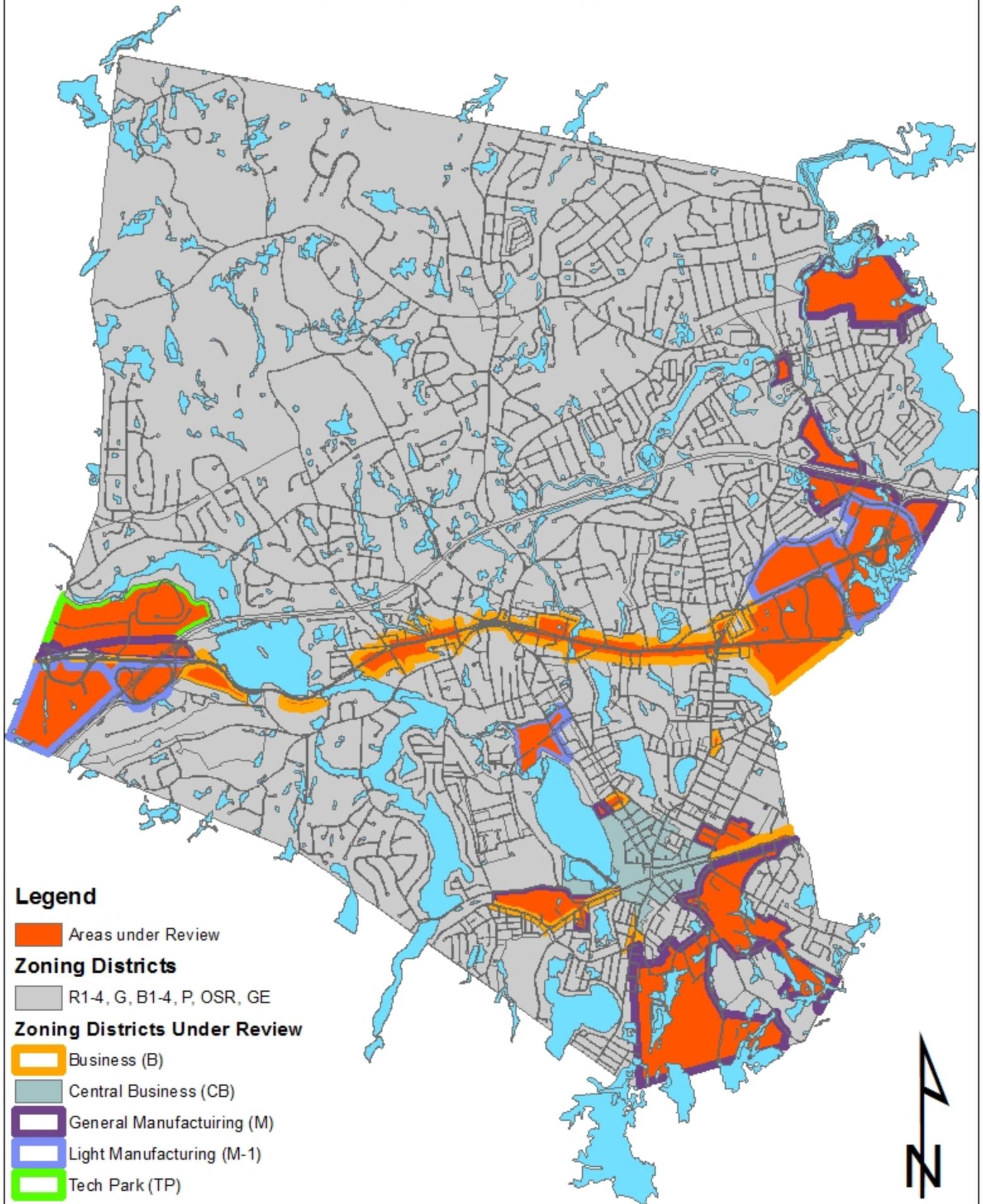
Documents for Review

- 1. PowerPoint Presentation** On March 22, 2016 the Agriculture Advisory Committee, the Board of Selectmen, and the Planning Board met in the Ablondi Room during an open meeting to discuss the expansion of the Transfer of Development Rights (TDR) By-Law and other possible options for preserving open space and agricultural lands.
- 2. Map #1 – TDR: Areas of Review** Review of the areas originally proposed as Receiving Parcels during the development of TDR (areas under review included Business (B), Central Business (CB), General Manufacturing (M), Light Manufacturing (M-1), and Technology Park (TP))
- 3. Map #2 – TDR: Existing Areas of TDR/Ch 43D PDS** Parcels of land highlighted in bright green are the Chapter 43D Expedited Permitting Sites (Priority Development Sites), which are currently the existing Receiving Parcels under the TDR By-Law
- 4. Map #3 – TDR: Existing Areas of TDR/Ch 43D PDS** same map as Map number 2, the only difference is the background layer is the aerial map of the Town
- 5. Letter RE: Transfer of Development Rights By-Law, dated April 8, 2016** Memo briefly outlining the Review of the Giving Area, the Receiving Area, Recommendations for moving forward, and Request for Referral Back for a Public Hearing
- 6. Map #4 – Transfer of Development Rights West Framingham Proposal** Review of the existing Receiving Parcels (properties under Chapter 43D Expedited Permitting – identified in yellow)
- 7. Map #5 – Transfer of Development Rights West Framingham Proposal** Review of the existing Receiving Parcels (properties under Chapter 43D Expedited Permitting – identified in yellow)

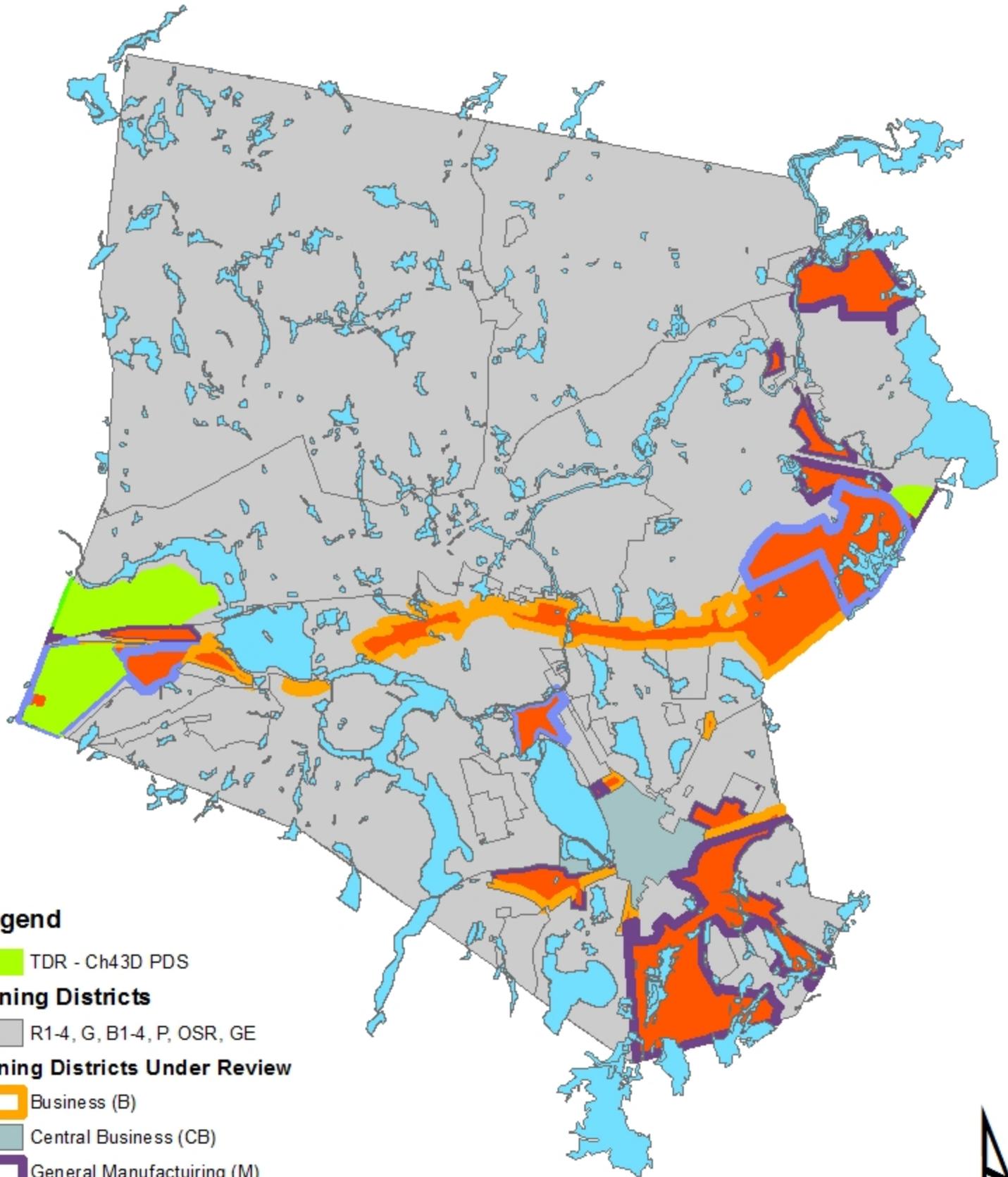
same map as Map number 4, the only difference is the background layer is the aerial map of the Town

8. **Map #6 – Transfer of Development Rights West Framingham Proposal** Development of a Transfer of Development Rights (TDR) Overlay District in the western part of Framingham. Area identified in the western part of the Town to be considered as a TDR Overlay District to be considered Receiving Parcels
9. **Map #7 – Transfer of Development Rights West Framingham Proposal** same map as Map Number 6, the only difference is the background layer is the aerial map of the Town
10. **Map #8 – Transfer of Development Rights East TDR Proposal** Review of the existing Receiving Parcels (properties under Chapter 43D Expedited Permitting – identified in a yellow boarder)
11. **Map #9 – Transfer of Development Rights East Framingham Proposal** Review of the existing Receiving Parcels (properties under Chapter 43D Expedited Permitting – identified in a yellow boarder) same map as Map number 8, the only difference is the background layer is the aerial map of the Town
12. **Map #10 – Transfer of Development Rights East TDR Overlay District** Development of a Transfer of Development Rights (TDR) Overlay District in East Framingham. Area identified in the eastern part of the Town to be considered as a TDR Overlay District to be considered Receiving Parcels
13. **Map #11 – Transfer of Development Rights East Framingham Proposal** same map as Map Number 10, the only difference is the background layer is the aerial map of the Town
14. **West TDR Overlay District – Property Review** Review of the parcels for consider to be included in the West Transfer of Development Rights (TDR) Overlay District
15. **East TDR Overlay District – Property Review** Review of the parcels for consider to be included in the East Transfer of Development Rights (TDR) Overlay District

TDR: Areas of Review



TDR: Existing Areas of TDR/Ch 43D PDS



Legend

 TDR - Ch43D PDS

Zoning Districts

 R1-4, G, B1-4, P, OSR, GE

Zoning Districts Under Review

 Business (B)

 Central Business (CB)

 General Manufacturing (M)

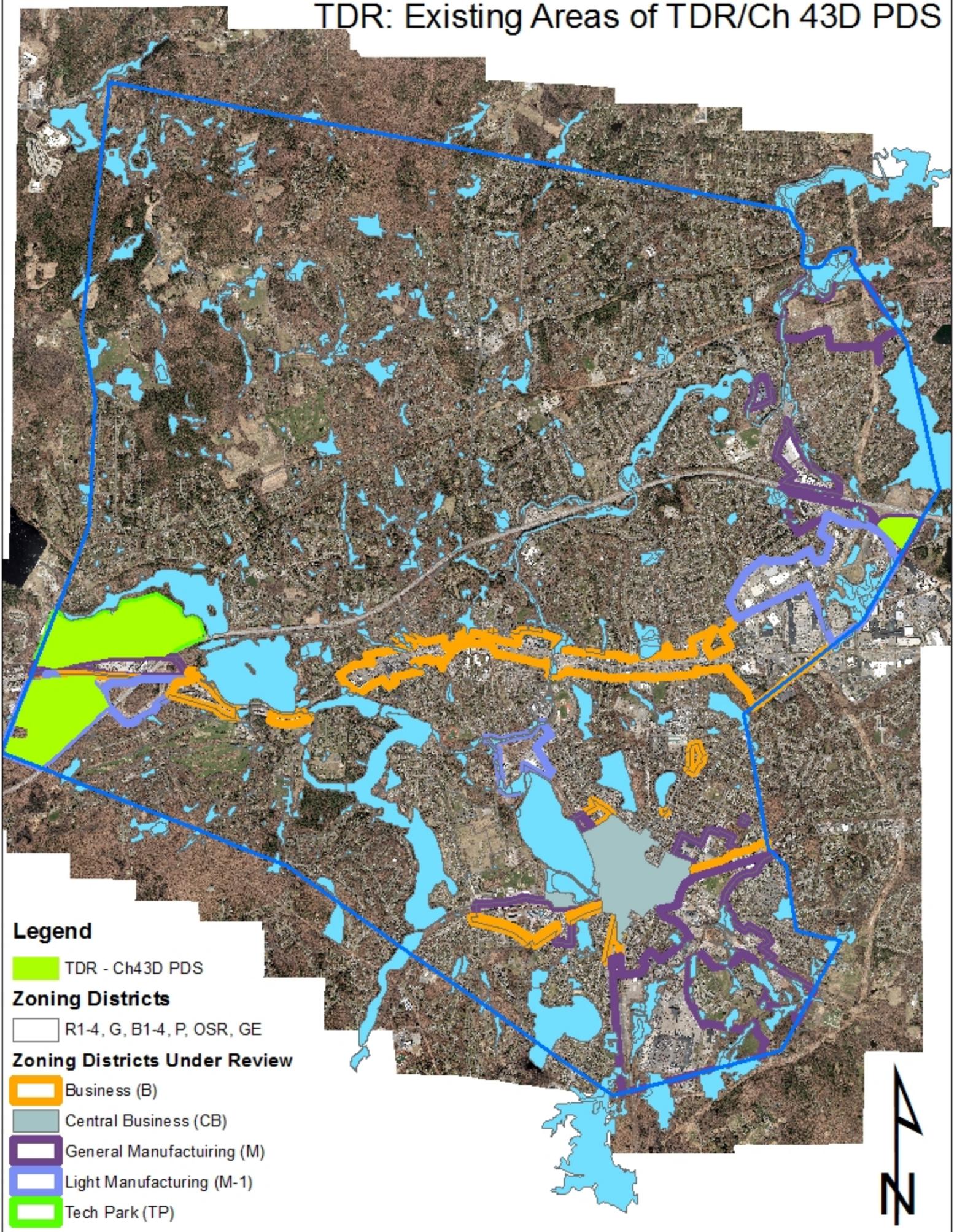
 Light Manufacturing (M-1)

 Tech Park (TP)

 Areas under Review



TDR: Existing Areas of TDR/Ch 43D PDS



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Planning Board Staff:

Amanda L. Loomis, Planning Board Administrator
Stephanie D. Marrazzo, Clerical Assistant

April 8, 2016

To: Robert Halpin, Town Manager

From: Amanda Loomis

RE: Transfer of Development Rights By-Law

On Thursday, April 7, 2016 the Planning Board met to review the Transfer of Development Rights By-Law as outlined in the letter to the Board of Selectmen dated April 1, 2016. Below is a summary of the meeting, recommendations for moving forward, and a request for the Board of Selectmen to refer the TDR By-Law back to the Planning Board for the purposes of holding a public hearing.

April 7, 2016 Topics of Review

Review of the Giving Area

The Planning Board reviewed all eligible parcels that could be considered as Giving Parcels under the existing TDR By-Law. There are roughly 42 Giving Parcels in the northwest quadrant, 5 Giving Parcels in the northeast quadrant of the Town, 4 Giving Parcels in the southeast quadrant of Town, and 6 Giving Parcels in the southwest quadrant of the Town. At this time the expansion of the Giving Parcels was not considered.

The Planning Board reviewed and discussed at great length the existing TDR Yield Plan and the review process thereof. The intent of the TDR Yield Plan is to provide a definitive yield requirement similar to the requirement found within that of a Preliminary Subdivision Plan that determines the number of lots allowed for a subdivision proposal. Similarly, the current TDR By-Law requires that the Giving Parcel provides a definitive yield plan to the Town when considering development. Moreover, the process of review for a Giving Parcel is consistent with the review of a Preliminary Subdivision Plan. As with any development project, it is understood by applicants that there are soft costs associated with these proposals whether it be a TDR Yield Plan or a Preliminary Subdivision Plan. During the development of the TDR By-Law, the Town determined that these documents were necessary to ensure that the number of lots permitted were feasible for actual development. Furthermore, the Town determined that a Giving Parcel should not be able to include lands classified as unbuildable (wetlands/vernal pools/etc.) as part of the plan considered for development on a buildable lot. Therefore, the Planning Board determined that the current TDR Yield Plan and review process is appropriate as originally intended based on the Planning Board's discussions and findings. Finally, the Planning Board determined that more emphasis should be placed on public outreach and education regarding TDR and its use as a tool for both land owners and developers. The Planning Board wants to make clear that the Town cannot be responsible for providing land owner-developer discussions but rather does want to provide as much information to the public as possible to clarify the process and utilization of the TDR By-Law.

The Planning Board further reviewed Section V.O.4 as provided below:

Section V.O.4 - Transfer of Development Rights Residential Building Size Chart

Giving Parcel Zoning District	Residential Building Size
Single Family Residential (R-4)	6,500 square feet
Single Family Residential (R-3)	6,000 square feet
Single Family Residential (R-2)	5,500 square feet
Single Family Residential (R-1)	5,000 square feet
General Residential (G)	4,500 square feet

The numbers provided in the Table above are easily absorbed based on recent permitting activity and considerations of current market conditions. For example, if a Giving Parcel were to have 50 lots approved under the TDR Yield Plan (*6,500sf) would yeild 325,000sf of Development Rights. If that same Giving Parcel were to have the same 50 lots approved under the TDR Yield Plan with an increase to 10,000sf per lot, that would yield an equivalent 500,000sf of Development Rights. Projects that the Planning Board has processed over the past twenty four month period have ranged from 3,000sf - 96,000sf, and the average of those projects is generally less than 20,000 sf. Consequently, the Planning Board does not recommend expanding the numbers shown in Section V.O.4 since it is highly improbable that even a small portion of the projected possible 325,000 sf of development rights available would be used under current economic conditions.

Receiving Area

The Planning Board has discussed and reviewed two sections of the TDR By-Law relative to the Receiving Parcel.

1. Creation of a TDR Overlay District.

The Planning Board reviewed past editions of the TDR By-Law that were presented prior to the adoption of the TDR By-Law. In reviewing these documents as well as the Zoning Map, the Planning Board found that several areas within the previously proposed zoning districts were not appropriate to be considered as Receiving Parcels at this time. For example, both Saxonville and Southeast Framingham are undergoing a neighborhood planning process. However, the Planning Board determined that two areas would be very suitable as overlay districts. Please see the attached documentation for further explanation. These overlay districts would include the existing Chapter 43D Priority Development Site with the addition of new potential Receiving Parcels. The Planning Board will review other areas of Town on an ongoing basis as the economic climate continues to change to evaluate and identify additional sites as a future Phase Two expansion of TDR. Attached is the West TDR Review. An East TDR Review will be provided by the April 12, 2016 Board of Selectmen meeting.

2. TDR Dimensional Review

Increase in Dimensional Table shown in Section V.O.6.b.5. The existing TDR By-Law provides an allowance of an additional two floors per building through the use of TDR. As previously discussed during several recent public presentations on zoning and planning, construction of buildings over 6 stories becomes cost prohibitive to developers due to building code requirements relative to steel construction and many mandatory extraordinary fire suppression and related component requirements. Currently, a building can only add two stories under TDR which translates to a maximum of eight floors.

	Maximum Increase in Building Height/Additional Floors	Maximum Increase in Lot Coverage	Maximum Increase in FAR
Chapter 43D Priority Development Sites	35%*	15%*	50%*

Therefore, the Planning Board determined that an increase in height is proposed to the dimensional table shown above to remove this obstacle and promote the use of the TDR By-Law. Amendments to Section V.O.6.b.5 will be provided at a later date. It is expected that the number of “Additional Floors” with an increase from a maximum of two floors to a max of four floors.

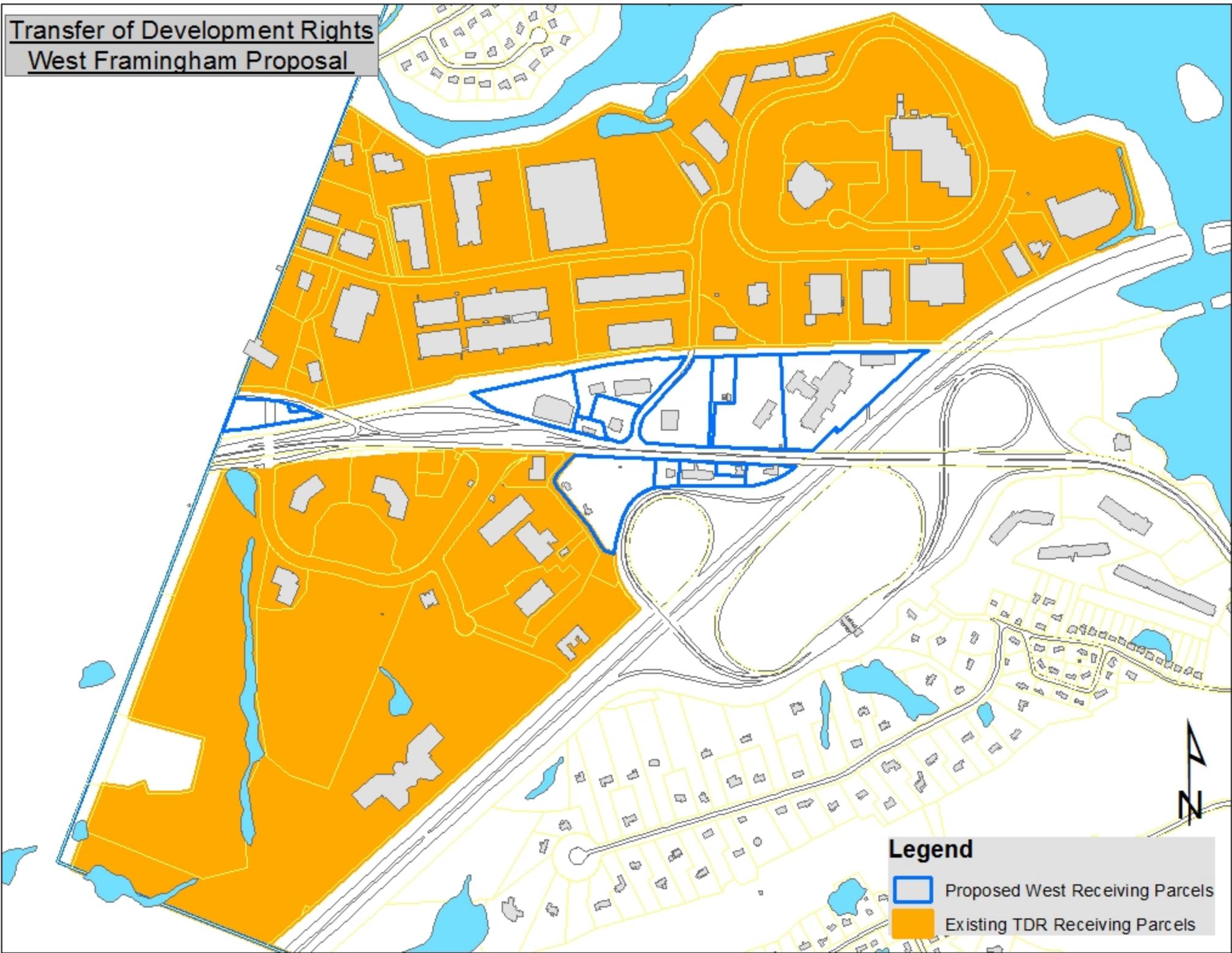
Recommendations for moving forward

- Establish an East and West TDR Overlay District
- Increase the dimensional shown in Section V.O.6.b.5 of the TDR By-Law (information to follow)
- Develop the TDR Webpage for public education purposes only (information to follow)

Request for Referral Back for a Public Hearing

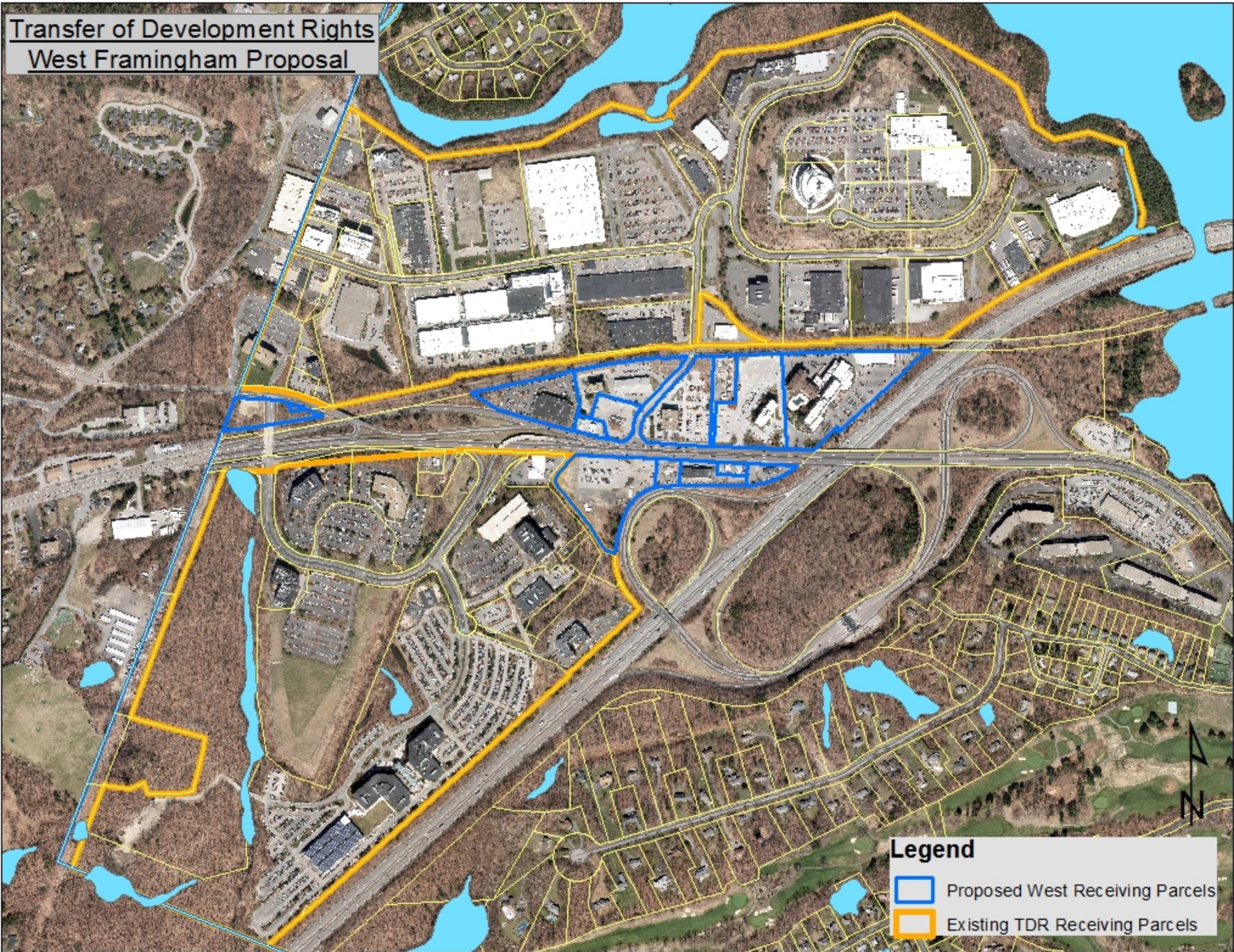
The Planning Board requests that the Board of Selectmen refer back the proposed amendments to the Framingham Zoning By-Law relative to the creation of the TDR Overlay District and Section V.O.6.b.5 for the purposes of holding a public hearing. The Planning Board further requests that the Board of Selectmen refer back to the creation of the TDR Overlay District on the Zoning Map for the purposes of holding a public hearing.

**Transfer of Development Rights
West Framingham Proposal**

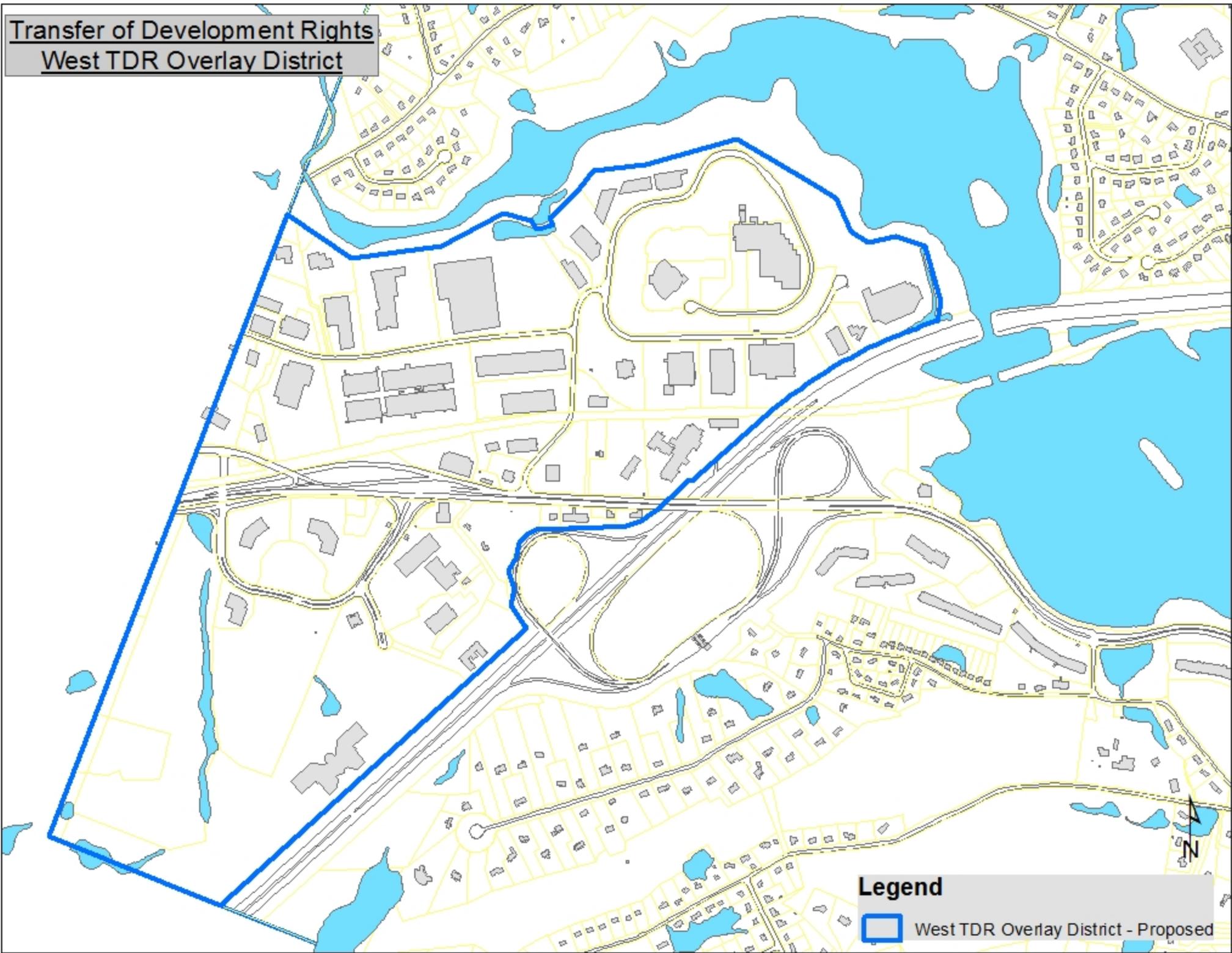


- Legend**
- Proposed West Receiving Parcels
 - Existing TDR Receiving Parcels

**Transfer of Development Rights
West Framingham Proposal**



Transfer of Development Rights
West TDR Overlay District



Legend

 West TDR Overlay District - Proposed

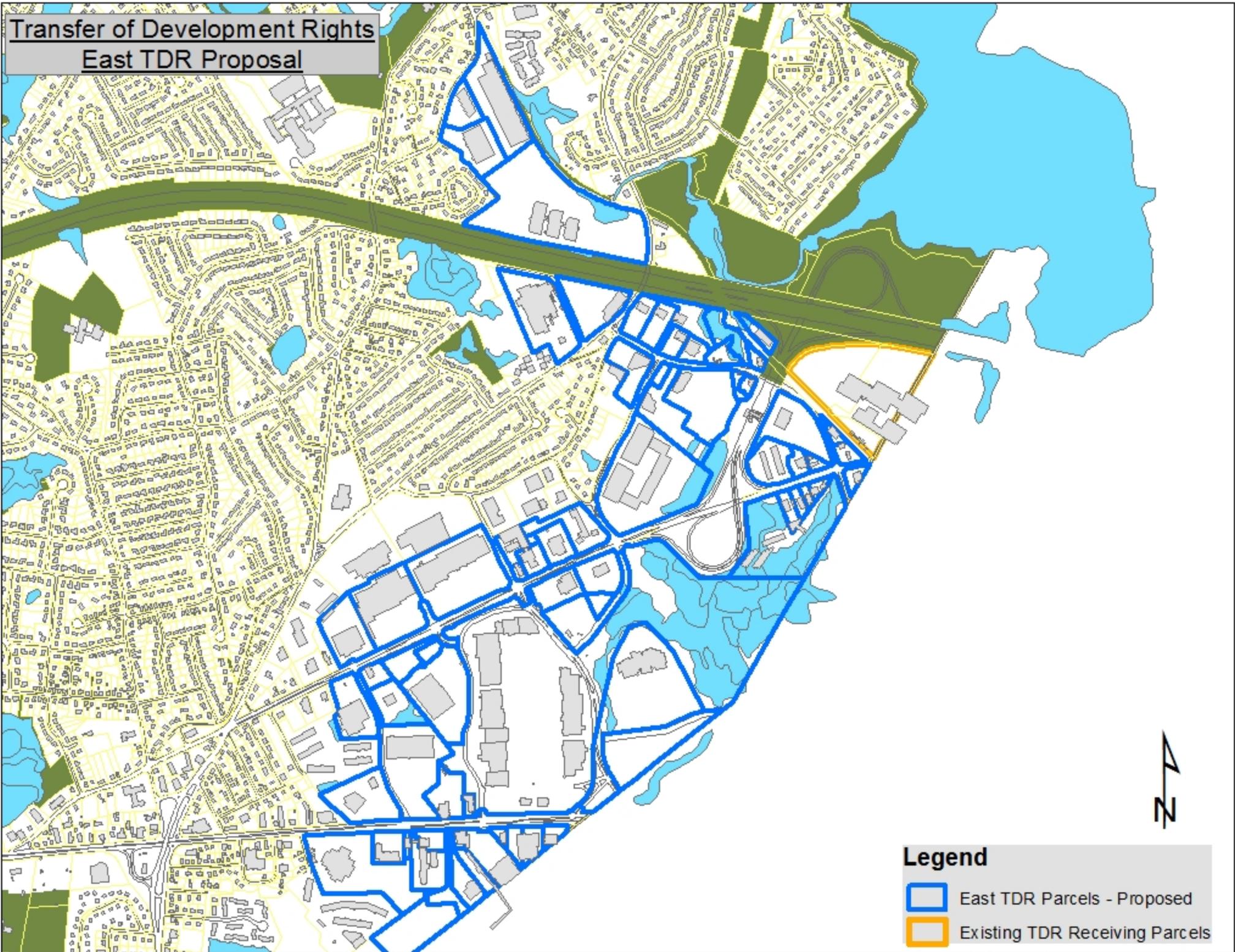
**Transfer of Development Rights
West TDR Overlay District**



Legend

 West TDR Overlay District - Proposed

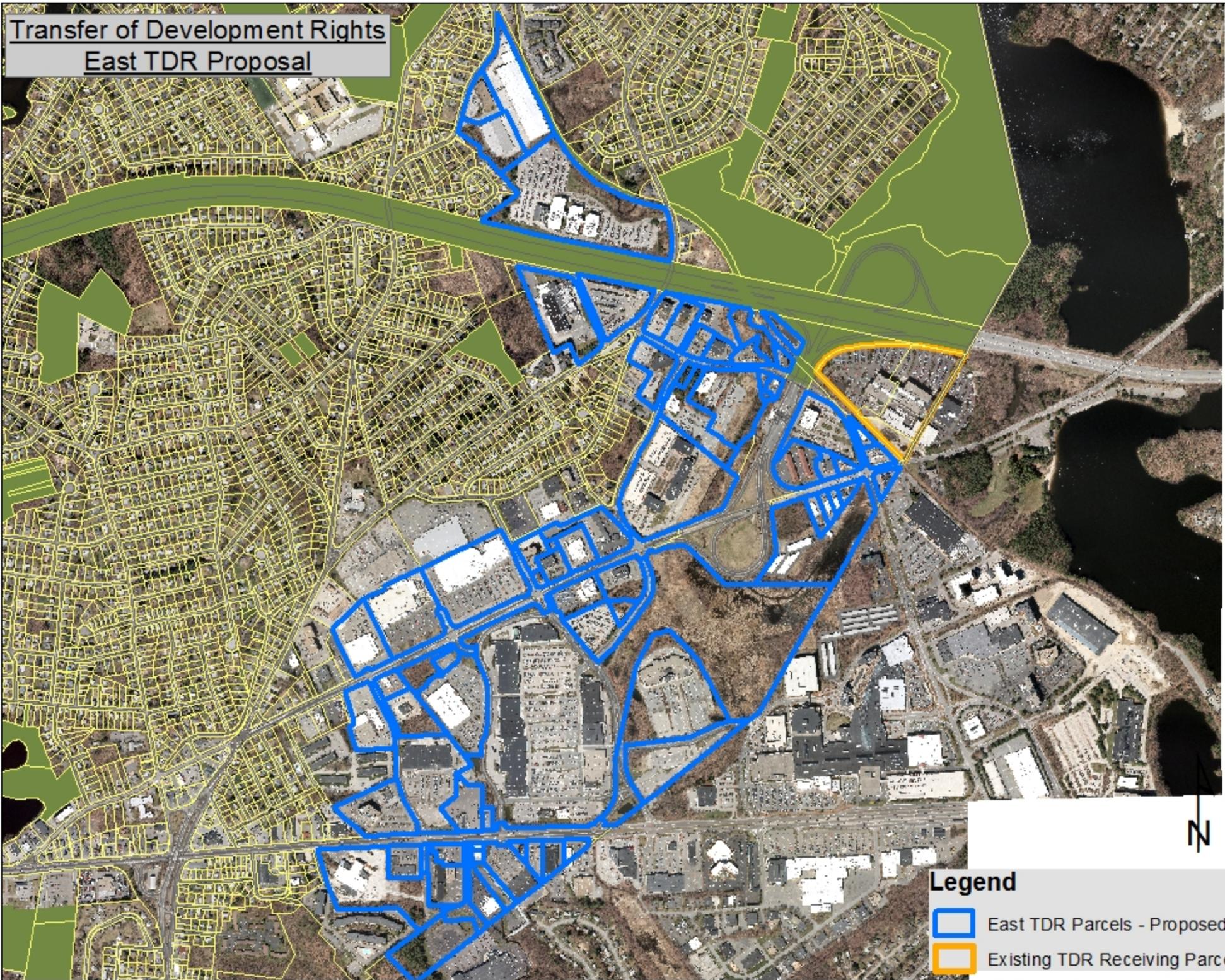
**Transfer of Development Rights
East TDR Proposal**



Legend

-  East TDR Parcels - Proposed
-  Existing TDR Receiving Parcels

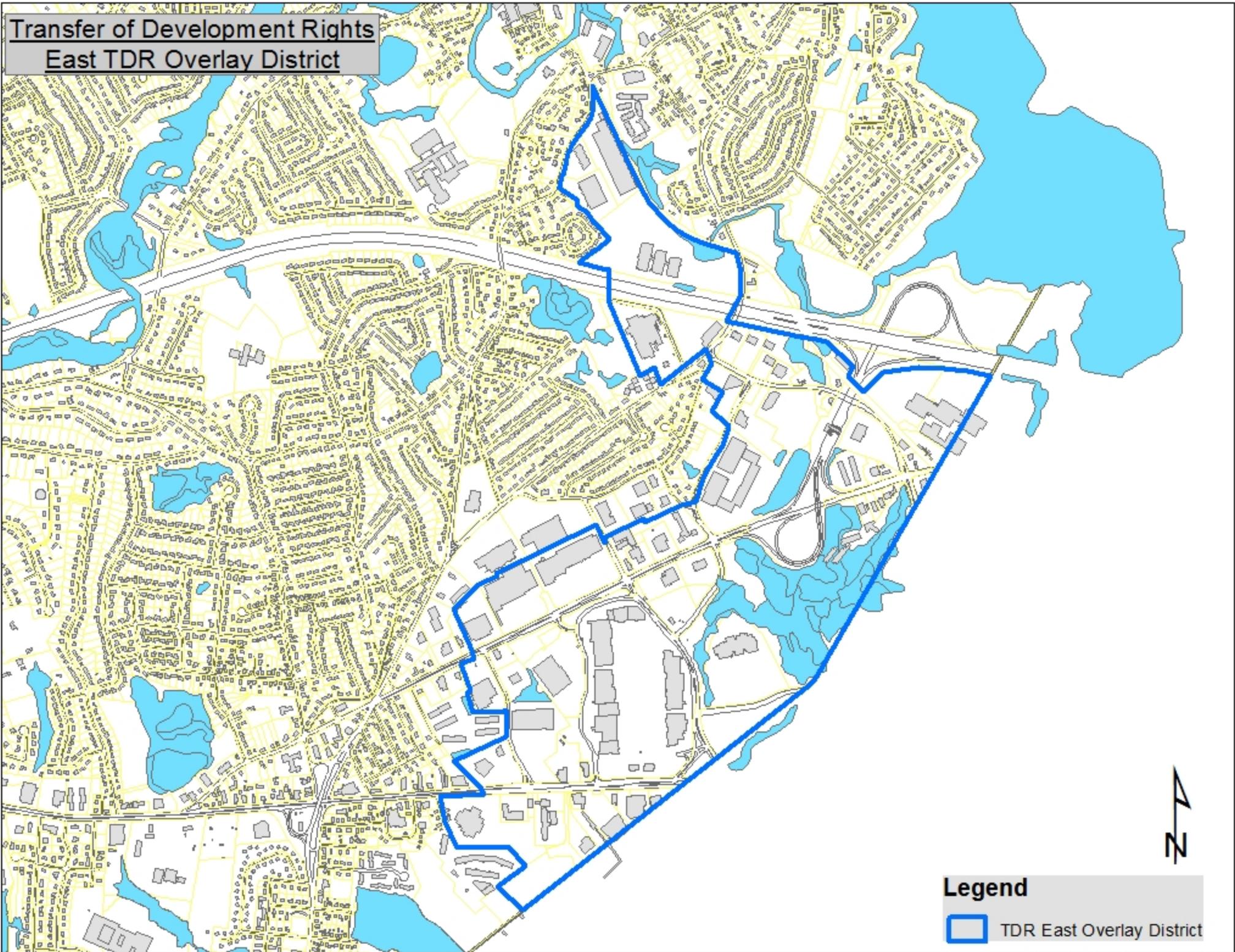
**Transfer of Development Rights
East TDR Proposal**



Legend

-  East TDR Parcels - Proposed
-  Existing TDR Receiving Parcels

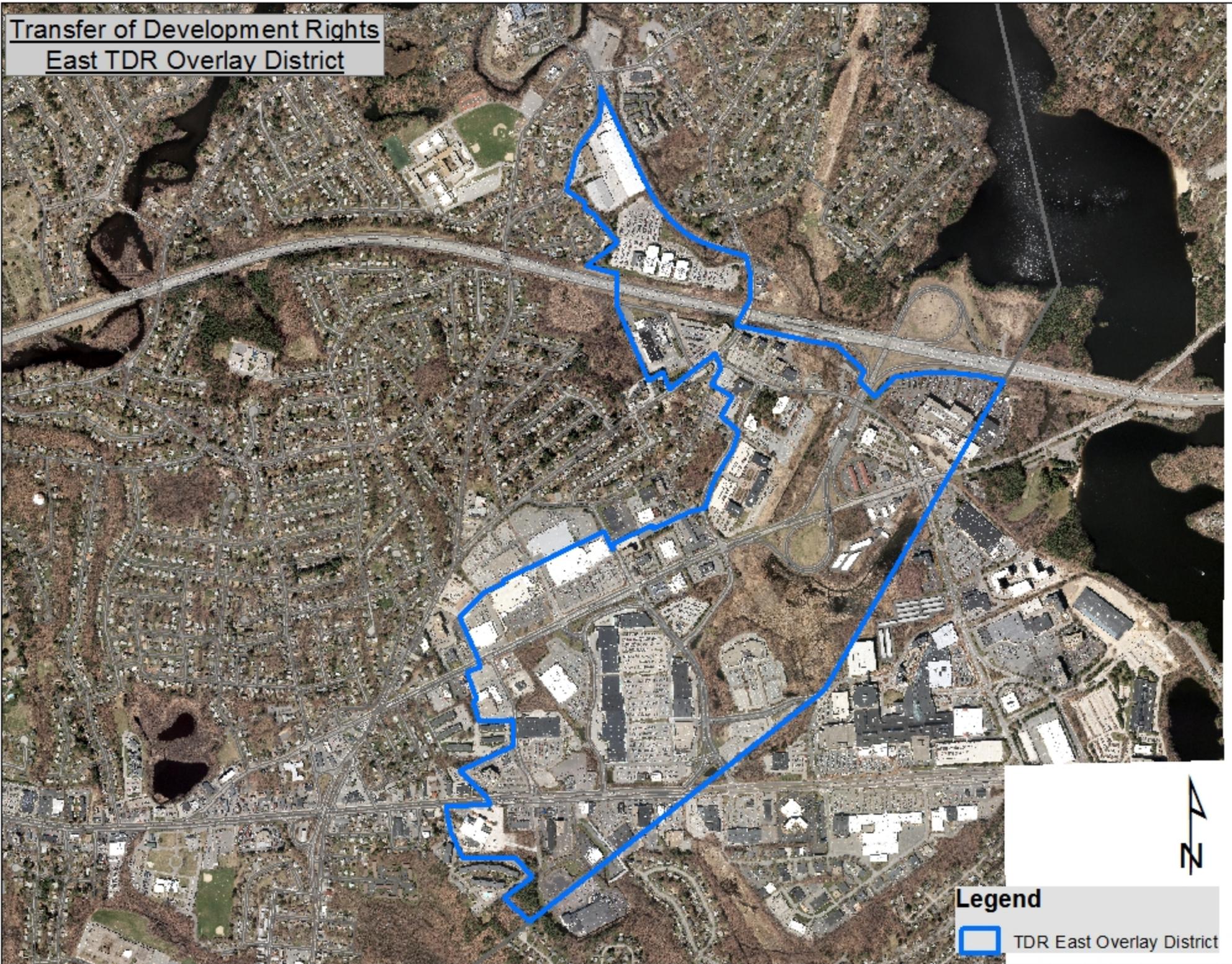
**Transfer of Development Rights
East TDR Overlay District**



Legend

 TDR East Overlay District

**Transfer of Development Rights
East TDR Overlay District**



Legend

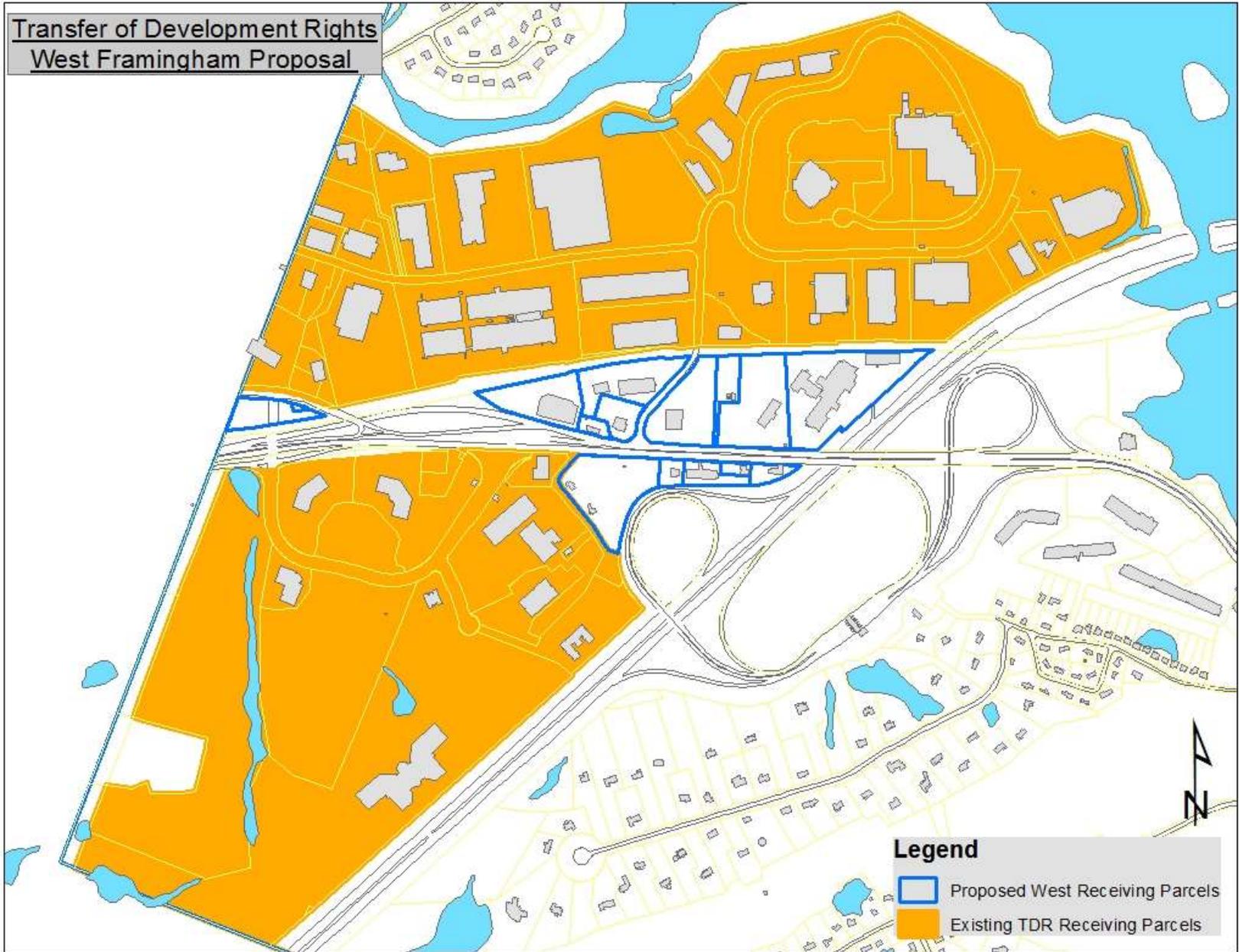
 TDR East Overlay District

West TDR Overlay District

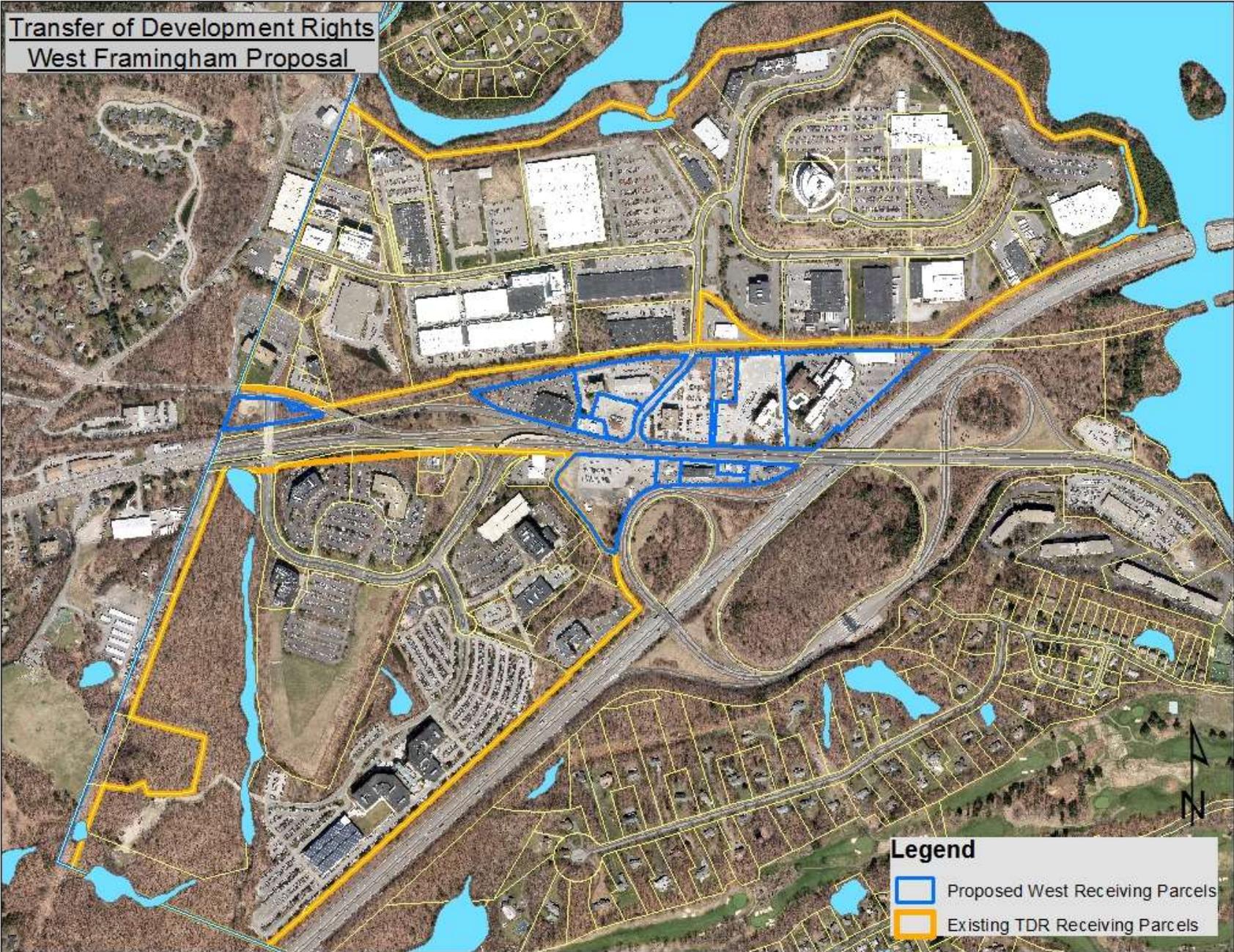
Transfer of Development Rights By-Law

4/7/2016

**Transfer of Development Rights
West Framingham Proposal**



**Transfer of Development Rights
West Framingham Proposal**



Legend

- Proposed West Receiving Parcels
- Existing TDR Receiving Parcels

Proposed Addition - TDR West

Below is information related to each of the parcels of land that are under consideration for addition into the Proposed West TDR Overlay District.

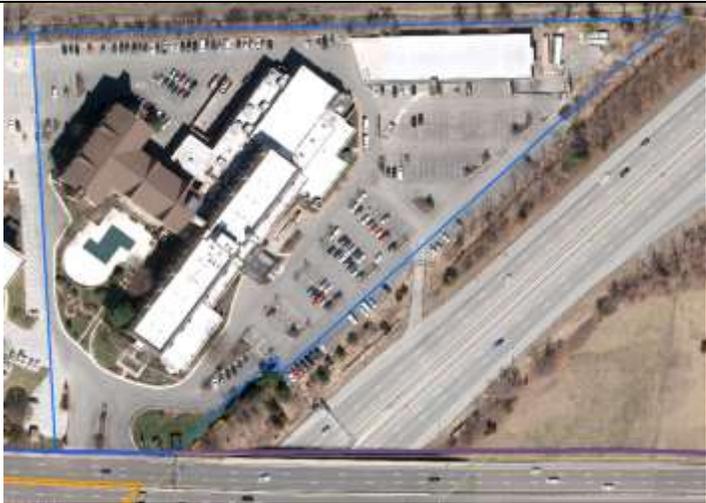


ADDRESS	1881/1891 WORCESTER RD
OWNER	ONE 881 (1881) WORCESTER LLC
EXEMPT	0
LOT AREA	3.262 AC
BUILDING AREA	32,744.79SF
ZONING	M
FLOOD	X
USE	OFFICE
STATUS	OCCUPIED
NOTES	



ADDRESS	0 PLEASANT ST CONN
OWNER	FRAMINGHAM OFFICE REALTY, LLC
EXEMPT	0
LOT AREA	3049SF
BUILDING AREA	0SF
ZONING	M
FLOOD	X
USE	OPEN SPACE
STATUS	VACANT LAND
NOTES	LAND PERMITTED FOR OFF- STREET PARKING PERMITTED IN 2014, PERMITS EXTENDED IN 2016 – CURRENT PERMITS EXPIRE IN 2018





ADDRESS	1651 WORCESTER RD
OWNER	AP WCP FRAMINGHAM OWNER LLC
EXEMPT	0
LOT AREA	8.128 Ac
BUILDING AREA	78242.1369 + 14,227.34= 92469.4769SF
ZONING	M
FLOOD	X
USE	Hotel
STATUS	OCCUPIED
NOTES	



ADDRESS	1660 WORCESTER RD
OWNER	LEEMILT'S PETROLEUM, INC
EXEMPT	0
LOT AREA	14348 SFC
BUILDING AREA	2,337.1876SF
ZONING	B
FLOOD	X
USE	GAS STATION
STATUS	OCCUPIED
NOTES	





ADDRESS	1661 WORCESTER RD
OWNER	WORCESTER 1661 LLC
EXEMPT	0
LOT AREA	4.998 AC
BUILDING AREA	11,897.937SF
ZONING	M
FLOOD	X
USE	OFFICE
STATUS	OCCUPIED
NOTES	

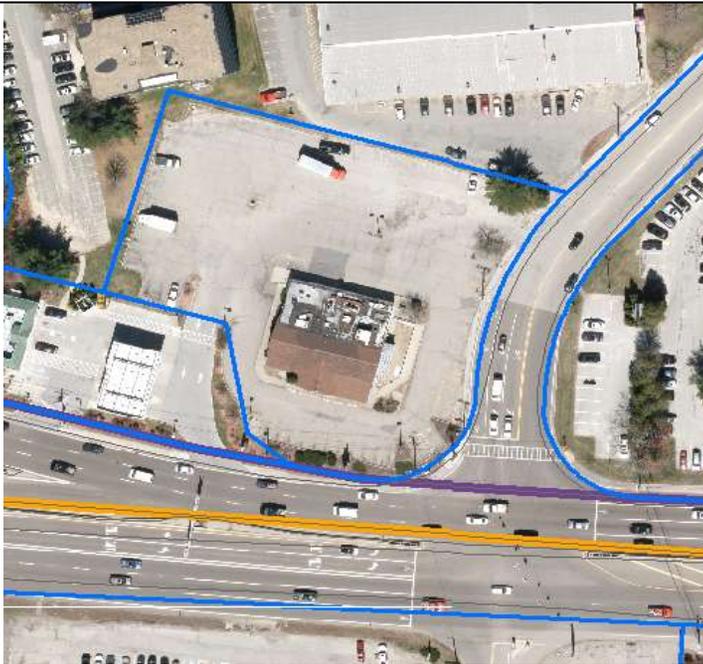


ADDRESS	1667 WORCESTER RD
OWNER	BOSTON EDISON CO
EXEMPT	0
LOT AREA	1.189 AC
BUILDING AREA	N/A – UTILITY
ZONING	M
FLOOD	X
USE	UTILITY
STATUS	UTILITY
NOTES	





ADDRESS	2 CALIFORNIA AVE
OWNER	WESTCHESTER ASSOC INC
EXEMPT	0
LOT AREA	3.379AC
BUILDING AREA	20,422.4229SF
ZONING	M
FLOOD	X
USE	FITNESS CENTER
STATUS	OCCUPIED
NOTES	



ADDRESS	1699 WORCESTER RD
OWNER	THE GROUND ROUND INC
EXEMPT	0
LOT AREA	1.368 AC
BUILDING AREA	
ZONING	M
FLOOD	X
USE	FAST FOOD REST.
STATUS	CONSTRUCTION
NOTES	





Address	16 PLEASANT ST CONN
Owner	NREF III PLEASANT, LLC
Exempt	0
Lot Area	1.713 Ac
Building Area	Vacant Land
Zoning	M
Flood	X
Use	Vacant land – proposed parking
STATUS	vacant
NOTES LAND PERMITTED FOR OFF-STREET PARKING PERMITTED IN 2014, PERMITS EXTENDED IN 2016 – CURRENT PERMITS EXPIRE IN 2018	



ADDRESS	1671 WORCESTER RD
OWNER	THIRTY BEAR LIMITED PART
EXEMPT	0
LOT AREA	4.080 SF
BUILDING AREA	12,523.45SF
ZONING	M
FLOOD	X
USE	OFFICE
STATUS	OCCUPIED
NOTES	



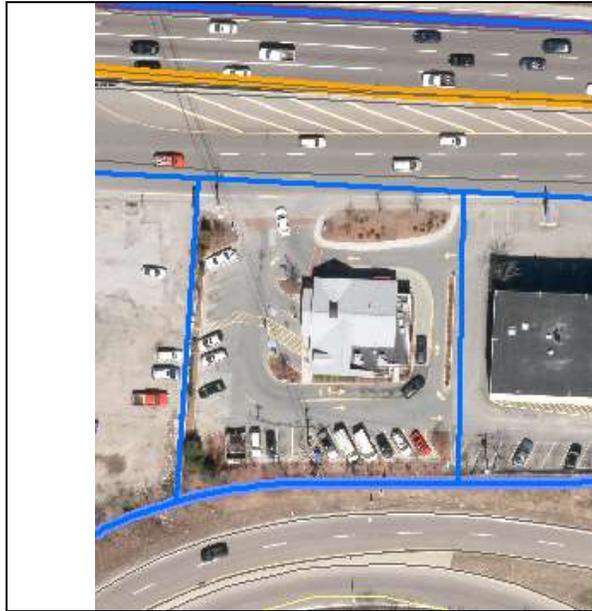


Address	1701 WORCESTER RD
Owner	TWENTIETH CENTURY RLTY TRUST
Exempt	0
Lot Area	20004 SF
Building Area	
Zoning	M
Flood	X
Use	Gas Station
STATUS	Occupied
NOTES	



ADDRESS	1672 WORCESTER RD
OWNER	MASSACHUSETTS TURNPIKE AUTHORITY
EXEMPT	1
LOT AREA	5.12 AC
BUILDING AREA	N/A – MASSDOT PARK AND RIDE
ZONING	B
FLOOD	X
USE	PARKING LOT
STATUS	PARKING LOT
NOTES	





ADDRESS	1670 WORCESTER RD
OWNER	ANATOLI HOLDINGS, LLC
EXEMPT	0
LOT AREA	25168 SF
BUILDING AREA	2487.539SF
ZONING	B
FLOOD	X
USE	FAST FOOD REST.
STATUS	OCCUPIED
NOTES	



ADDRESS	1668 WORCESTER RD
OWNER	MOTEL 6 OPERATING L P
EXEMPT	0
LOT AREA	1.150 AC
BUILDING AREA	12021.209SF
ZONING	B
FLOOD	X
USE	HOTEL
STATUS	OCCUPIED
NOTES	





ADDRESS	1656 WORCESTER RD
OWNER	OTTAVIANI, PHILIP R TR
EXEMPT	0
LOT AREA	29682 SFC
BUILDING AREA	3789.31SF
ZONING	B
FLOOD	X
USE	RESTAURANT
STATUS	OCCUPIED
NOTES	



Photo Credits:

- Aerial Maps: Town GIS
- Street view: www.google.com

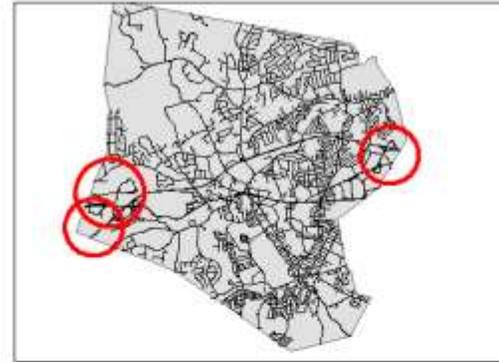
Existing TDR – West Framingham

The following is a list of parcels that were adopted in 2015 as Receiving Parcels: 1672 Worcester Road, 1800 Worcester Road, 1898RR Worcester Road, 1900R Worcester Road, 1900RR Worcester Road, 100 Crossing Blvd, 149 Crossing Blvd, 150 Crossing Blvd, 175 Crossing Blvd, 200 Crossing Blvd, 225 Crossing Blvd, 150 Gates Street, 100 Staples Drive, 200 Staples Drive, 400 Staples Drive, 500 Staples Drive, 740 Cochituate Road, 750 Cochituate Road, and 156 Speen Street, 9 Pleasant Street Connector, 15 Pleasant Street Connector, 10 California Ave, 11 California Ave, 40 California Ave, 1 The Mountain Road, 5 The Mountain Road, 100 The Mountain Road, 0 Pennsylvania Ave, 100 Pennsylvania Ave, 105 Pennsylvania Ave, 115 Pennsylvania Ave, 125 Pennsylvania Ave, 135 Pennsylvania Ave, 137 Pennsylvania Ave, 145 Pennsylvania Ave, 0 New York Ave RR, 1 New York Ave, 2 New York Ave, 31 New York Ave, 33 New York Ave, 45 New York Ave, 47 New York Ave, 49 New York Ave, 51 New York Ave, 55 New York Ave, 74 New York Ave, 84 New York Ave, 86 New York Ave, 86R New York Ave, 88 New York Ave, 92 New York Ave, and 0 Pleasant Street.

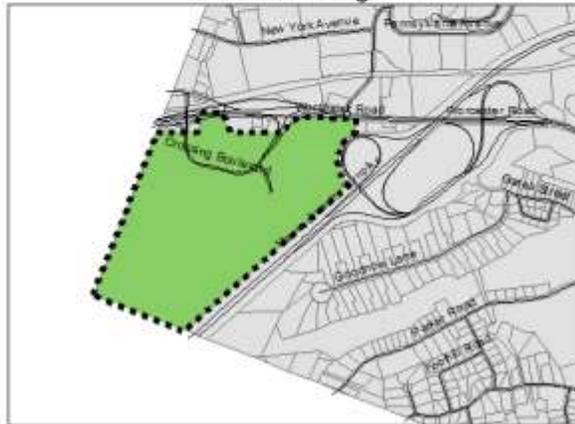
Framingham Technology Park



Priority Development Areas



9/90 Crossing



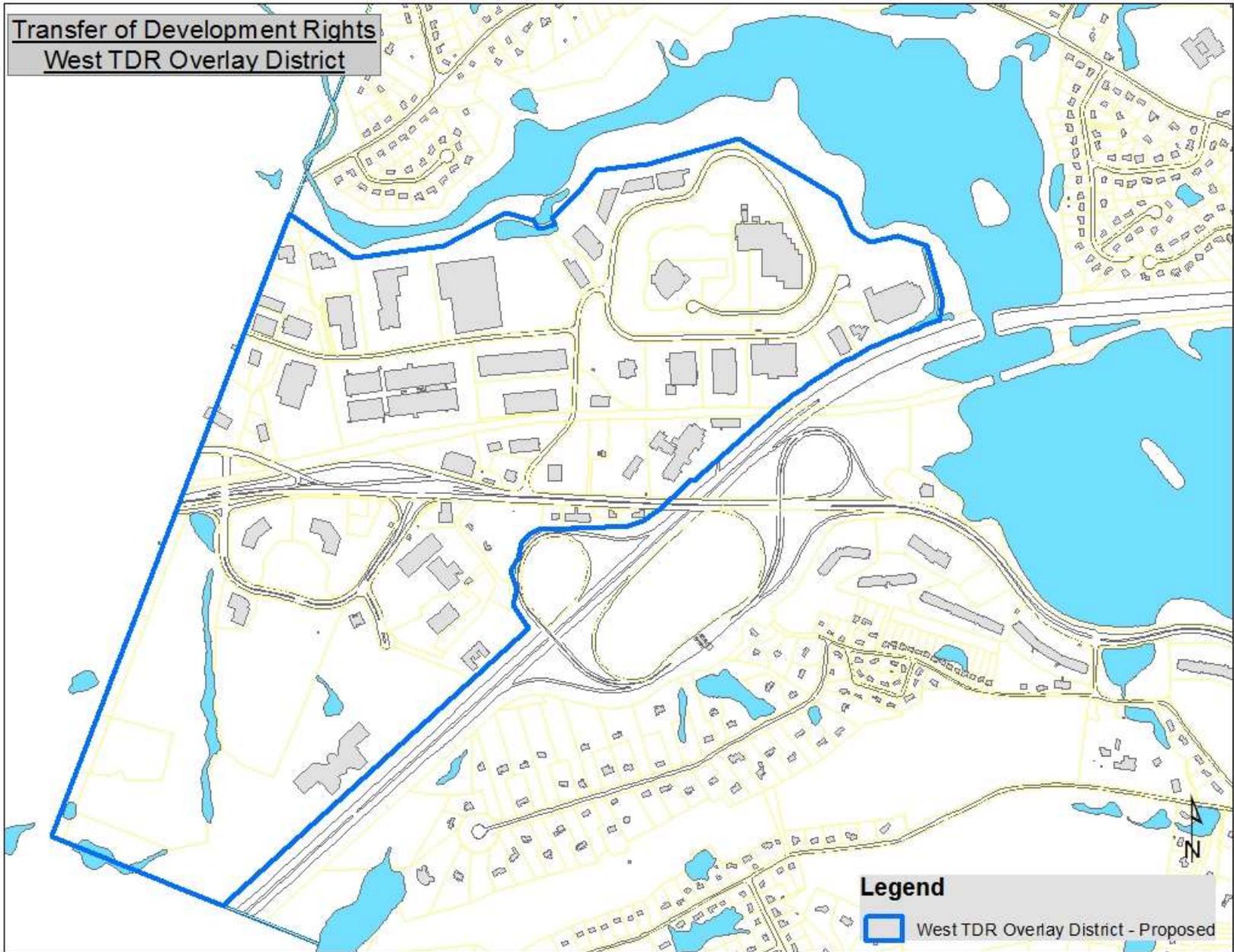
TJX



Proposed West TDR Overlay District

The Proposed West TDR Overlay District would consist of the existing TDR parcels, listed on page 11 of this document, in addition to 0 Pleasant Street Connector, 1891 Worcester Road, 1651 Worcester Road, 1660 Worcester Road, 1661 Worcester Road, 1667 Worcester Road, 2 California Avenue, 1699 Worcester Road, 16 Pleasant Street Connector, 1671 Worcester Road, 1701 Worcester Road 1672 Worcester Road, 1670 Worcester Road, 1668 Worcester Road, 1565 Worcester Road. The proposed West TDR Overlay District would be comprised of roughly 447 acres.

**Transfer of Development Rights
West TDR Overlay District**



Transfer of Development Rights
West TDR Overlay District



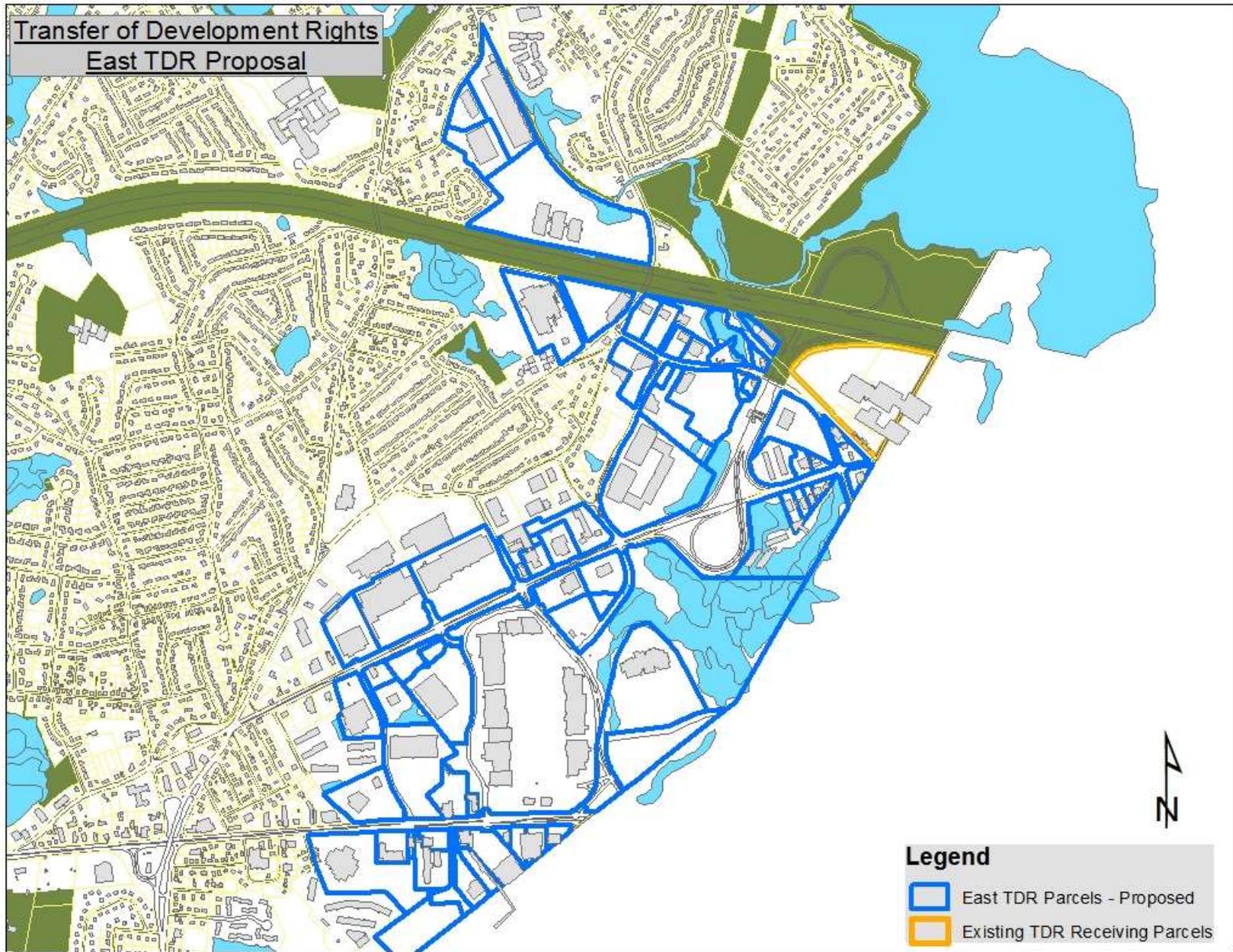
Legend
West TDR Overlay District - Proposed

East TDR Overlay District

Transfer of Development Rights By-Law

4/11/2016

**Transfer of Development Rights
East TDR Proposal**



Legend

-  East TDR Parcels - Proposed
-  Existing TDR Receiving Parcels

**Transfer of Development Rights
East TDR Proposal**



Legend

- East TDR Parcels - Proposed
- Existing TDR Receiving Parcels

Proposed Addition - TDR West

Below is information related to each of the parcels of land that are under consideration for addition into the Proposed West TDR Overlay District.

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
10 SPEEN ST	GMG 10 SPEEN STREET, LLC	0	2.119 AC	9088SF	M	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
691 COCHITUATE RD	PHILIP HAUGHEY TR	0	29857 SF	7693SF	M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
1455RR CONCORD ST	CONCORD STREET ASSOCIATES, LLC	0	8.433 AC	177881+364 7 = 181528SF	M	A	OFFICE/ WAREHOUSE	OCCUPIED	
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
100 WORCESTER RD	THE FERRI CORP	0	8285 SFC		B	X	MIXED-USE COMMERCIAL		BUILDING SIZE SHARED WITH WORCESTER ROAD AND 86 WORCESTER



ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
161 WORCESTER RD	CRP-3 THE MEADOWS, LLC	0	6.394 AC	33831SF	B	X	OFFICE/ RESTAURANT		

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
492 OLD CONN PATH	CRP-3 FRAMINGHAM CORP CTR LLC	0	5.823 AC	32015SF	M	X	OFFICE	OCCUPIED	



ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
96 WORCESTER RD	WESTATE LLC	0	6.534 AC	N/A	B	X	PARKING LOT		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES	
500 OLD CONN PATH	OCP LLC	0	25.510 AC	105349.6SF	M	A	OFFICE	OCCUPIED		
										

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
401 COCHITUATE RD	MASS PORT AUTHORITY	1	40972 SF		M-1	X	PARKING/ OPEN SPACE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
355 COCHITUATE RD	DDR MDT SHOPPERS WORLD LLC	0	35206 SF		B	X	FAST FOOD REST.		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
375 COCHITUATE RD	RECREATIONAL EQUIPMENT INC	0	3.413 AC	27157SF	M-1	X	RETAIL	OCCUPIED	
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
496 COCHITUATE RD	BARMAKIAN WEST LIMITED PARTNERSHIP	0	1.714 AC	17666SF	M-1	X	RETAIL		
									 

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
85 SPEEN ST	85 SPEEN STREET ASSOCIATES, LLC	0	23204 SF	2804SF	M-1	X			
									 

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
343 COCHITUATE RD	MCCARTHY, GEORGE E JR ETAL TRS	0	1.426 AC	6536SF	B	X	FAST FOOD REST.		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
1455 CONCORD ST	CONCORD ROAD, LLC	0	2.655 AC	25460SF	M	X	OFFICE	OCCUPIED	
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
160 SPEEN ST	ONE SIXTY SPEEN STREET LLC	0	29428 SF	7634SF	M	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
86 WORCESTER RD	GARGIULO, ANTHONY P & MARCIA TRS	0	4.038 AC	69396.9SF	B	X	MIXED-USE COMMERCIAL		BUILDING SIZE SHARED WITH WORCESTER ROAD AND 100 WORCESTER ROAD
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
111 SPEEN ST	THE REALTY ASSOCIATES FUND X, LP	0	6.369 AC	22574SF	M-1	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
3 SPEEN ST	THREE SPEEN LLC	0	5.979 AC	18868.64SF	M-1	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
22P (19) FLUTIE PASS	DDR MDT SHOPPERS WORLD LLC	0	12.881 AC	VACANT	M-1	A	UNDER CONSTRUCTION		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
92 WORCESTER RD	WESTATE LLC	0	2.449 AC	20378SF	B	X	RETAIL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
140 WORCESTER RD	LINEAR RETAIL FRAMINGHAM #1, LLC	0	16800 SF	5490SF	B	X	RETAIL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
730 COCHITUATE RD	CUMBERLAND FARMS, INC	0	1.076 AC	2794SF	M	X	GAS STATION		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
655 COCHITUATE RD	CLAIRMONT REALTY, LLC	0	1.110 AC		M-1	X	MIXED-USE COMMERCIAL		
									

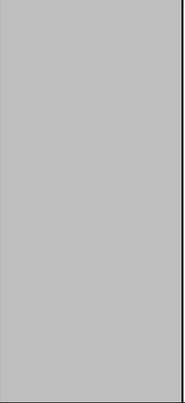
ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
130 WORCESTER RD	MCCARTHY, RICHARD H ETAL	0	3.588 AC	45352SF	B	X	RESTAURANT/HOTEL		BUILDING SIZE SHARED WITH 120 WORCESTER ROAD
									

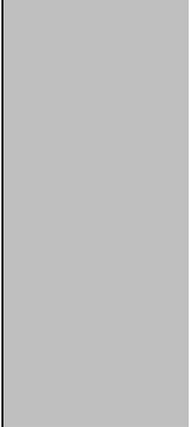
ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
345 COCHITUATE RD	MCCARTHY JR, GEORGE E. TR	0	3.695 AC	10319SF	B	X	RESTAURANT		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
5 WHITTIER ST	S-BNK FRAMINGHAM WHITTIER LLC	0	1.720 AC	44228SF	M-1	X			
									

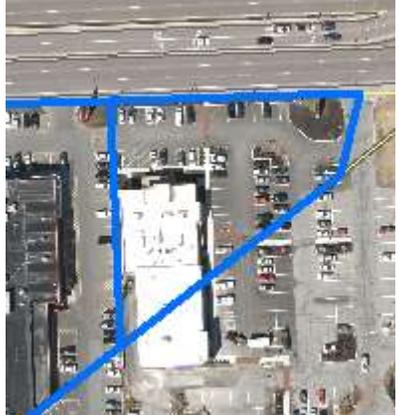
ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
341 COCHITUATE RD	ROUTE 30 MALL FRAMINGHAM,MA LMTD PART	0	4.893 AC	69833.86 SF	B	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
550 COCHITUATE RD	MEDICAL INFORMATION TECHNOLOGY INC	0	18.572 AC	242538.9SF	M-1	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
85 WORCESTER RD	HANNA ENTERPRISES	0	22850 SF	11554.86SF	B	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
60 WORCESTER RD	METRO-WEST REALTY, LLC	0	1.209 AC	52017SF	B	X	MIXED-USE COMMERCIAL		BUILDING AREA SHARED WITH 50 WORCESTER ROAD
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
665 COCHITUATE RD	SHUMAN, DAVID M TR	0	30025 SF	5742SF	M-1	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
30 WORCESTER RD	THIRTY WORCESTER ROAD LLC	0	41266 SFC	12873SF	B	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
50 SPEEN ST	50 SPEEN REALTY ASSOCIATES DE, LLC	0	1.407 AC	17223.34SF	M	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
1 SPEEN ST	ONE SPEEN LLC	0	3.773 AC	23427.7SF	M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
696 COCHITUATE RD	ROUSSEAU, CHARLES F ETAL TRS	0	27250	2746SF	M-1	X	GAS STATION		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
150R SPEEN ST	CHESTNUT PROPERTIES, INC	0	1.112 AC	11937SF	M	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
1451 CONCORD ST	CONCORD STREET ASSOCIATES LLC	0	5.048 AC	72133.83SF	M	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
689 COCHITUATE RD	CLARK TR, KAREN	0	21630 SF	5431SF	M-1	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
1 WORCESTER RD	DDR MDT SHOPPERS WORLD LLC	0	105.037 AC	607158SF	B	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
50 WORCESTER RD	METRO-WEST REALTY, LLC	0	1.591 AC	52017 SF	B	X	MIXED-USE COMMERCIAL		BUILDING AREA SHARED WITH 60 WORCESTER ROAD
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
90 WORCESTER RD	ARYAN HOSPITALITY LLC	0	1.702 AC	27211SF	B	X	HOTEL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
510 COCHITUATE RD	RIVER ROCKS LLC	0	4.335 AC	26593SF	M-1	X	CAR DEALERSHIP		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
500 COCHITUATE RD	BULL 500 REALTY ASSOCIATES, LLC	0	2.759 AC	26442SF	M-1	X	RETAIL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
30 SPEEN ST	AMERICAN CANCER SOCIETY, NEW ENGLAND	1	2.533 AC	9023SF	M	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
11 BURR ST EXT	MASSACHUSETTS PORT AUTHORITY	1	5.817 AC	LOGAN EXPRESS	M-1	X	LOGAN EXPRESS		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
113 WORCESTER RD	KEN'S STEAK HOUSE INC	0	3.415 AC	15510.09SF	B	X	RESTAURANT	OCCUPIED	
 									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
220 WORCESTER RD	RRB LIMITED PARTNERSHIP	0	12.138 AC	75617.97SF	B	X	RETAIL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
150 WORCESTER RD	FRAMINGHAM - 150 FR REALTY LIMITED PART	0	2.351 AC	26386.3765 F	B	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
490 COCHITUATE RD	S-BNK FRAMINGHAM WHITTIER LLC	0	21404 SFC		M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
330 COCHITUATE RD	THE UNITED STATES POSTAL SERVICE	1	5.709 AC	62953SF	M-1	X	POST OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
120 WORCESTER RD	ONE HUNDRED TWENTY WORC CORP	0	1.321 AC	45352SF	B	X	RESTAURANT		BUILDING SIZE SHARED WITH 130 WORCESTER ROAD
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
81 SPEEN ST	TOWN OF FRAMINGHAM	1	26324 SFC	340SF	M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
650 COCHITUATE RD	ROUSSEAU REALTY LLC	0	3.759 AC	33224SF	M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
350 COCHITUATE RD	FRAMINGHAM 203, LLC	0	10.00 AC	177313SF	M-1	X	RETAIL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
40 SPEEN ST	LMF SPEEN CORP	0	1.369 AC	9062SF	M	X			
 									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
121 WORCESTER RD	HERBERT CARVER TR	0	11.240 AC	105692.75SF	B	X			
 									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
405 COCHITUATE RD	PARK SQUARE REVIVAL CORP	0	3.896 AC	14627SF	M-1	X	OFFICE		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
3A SPEEN ST	ONE SPEEN LLC	0	28316 SF	VACANT	M-1	X	VACANT LAND		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
20 SPEEN ST	GMG 20 SPEEN STREET, LLC	1	2.298 AC	9029SF	M	X	OFFICE		
									

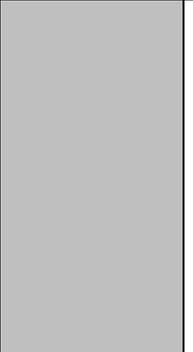
ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
SPEEN ST	OWNER UNKNOWN	0	2.491 AC		M	X	VACANT LAND	VACANT LAND	
									

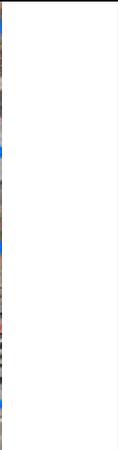
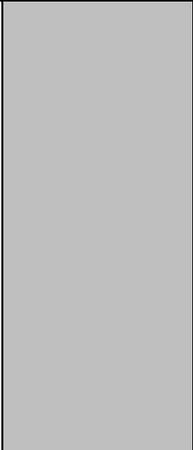
ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
725 COCHITUATE RD	LINEAR RETAIL FRAIMNGHAM #2, LLC	0	41437 SF	7440SF	M	X	RESTAURANT		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
400 COCHITUATE RD	DAYTON HUDSON CORPORATION	0	14.200 AC	179237SF	M-1	X	MIXED-USE COMMERCIAL		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
150 SPEEN ST	CHESTNUT PROPERTIES, INC	0	29476 SFC	3746SF	M	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
5 SPEEN ST	FIVE SPEEN LLC	0	8.572 AC	21443SF	M-1	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
WORCESTER RD	FERRI, EDWARD J & RICHARD TRS	0	15253 SFC	16084SF	B	X			BUILDING SIZE SHARED WITH 100 AND 86 WORCESTER ROAD
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
110 SPEEN ST	BOSTON EDISON CO	0	1.298 AC	802SF	M	X			
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
490 OLD CONN PATH	LTF REAL ESTATE CO, INC	0	9.159 AC	UNDER CONSTRUCTION	M	X	FITNESS CENTER	UNDER CONSTRUCTION	
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
501 COCHITUATE RD	FRAMINGHAM STORAGE, LLC	0	14.400 AC		M-1	A	STORAGE FACILITY		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
694 COCHITUATE RD	ROUSSEAU REALTY LLC	0	1.035 AC	9560SF	M-1	X	FAST FOOD REST.		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
94 WORCESTER RD	WESTATE LLC	0	1.826 AC	VACANT LAND	B	X	VACANT LAND		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
22 FLUTIE PASS	DDR MDT SHOPPERS WORLD LLC	0	20.432 AC	90959.7SF	M-1	X	MOVIE THEATER		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING AREA	ZONING	FLOOD	USE	STATUS	NOTES
70 WORCESTER RD	GREENWOOD DEVELOPMENT CORP	0	20651 SFC	5869.5SF	B	X	RESTAURANT		
									

ADDRESS	OWNER	EXEMPT	LOT AREA	BUILDING	ZONING	FLOOD	USE	STATUS	NOTES
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				AREA				
355 COCHITUATE RD	DDR MDT SHOPPERS WORLD LLC	0	10.033 AC	105073SF	B	X	MIXED-USE COMMERCIAL	
								

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- Aerial Maps: Town GIS
- Street view: www.google.com

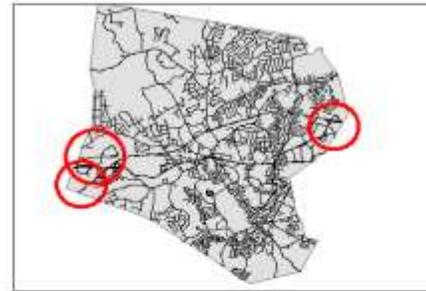
Existing TDR – East Framingham

The following is a list of parcels that were adopted in 2015 as Receiving Parcels: 1672 Worcester Road, 1800 Worcester Road, 1898RR Worcester Road, 1900R Worcester Road, 1900RR Worcester Road, 100 Crossing Blvd, 149 Crossing Blvd, 150 Crossing Blvd, 175 Crossing Blvd, 200 Crossing Blvd, 225 Crossing Blvd, 150 Gates Street, 100 Staples Drive, 200 Staples Drive, 400 Staples Drive, 500 Staples Drive, 740 Cochituate Road, 750 Cochituate Road, and 156 Speen Street, 9 Pleasant Street Connector, 15 Pleasant Street Connector, 10 California Ave, 11 California Ave, 40 California Ave, 1 The Mountain Road, 5 The Mountain Road, 100 The Mountain Road, 0 Pennsylvania Ave, 100 Pennsylvania Ave, 105 Pennsylvania Ave, 115 Pennsylvania Ave, 125 Pennsylvania Ave, 135 Pennsylvania Ave, 137 Pennsylvania Ave, 145 Pennsylvania Ave, 0 New York Ave RR, 1 New York Ave, 2 New York Ave, 31 New York Ave, 33 New York Ave, 45 New York Ave, 47 New York Ave, 49 New York Ave, 51 New York Ave, 55 New York Ave, 74 New York Ave, 84 New York Ave, 86 New York Ave, 86R New York Ave, 88 New York Ave, 92 New York Ave, and 0 Pleasant Street.

Framingham Technology Park



Priority Development Areas



9/90 Crossing



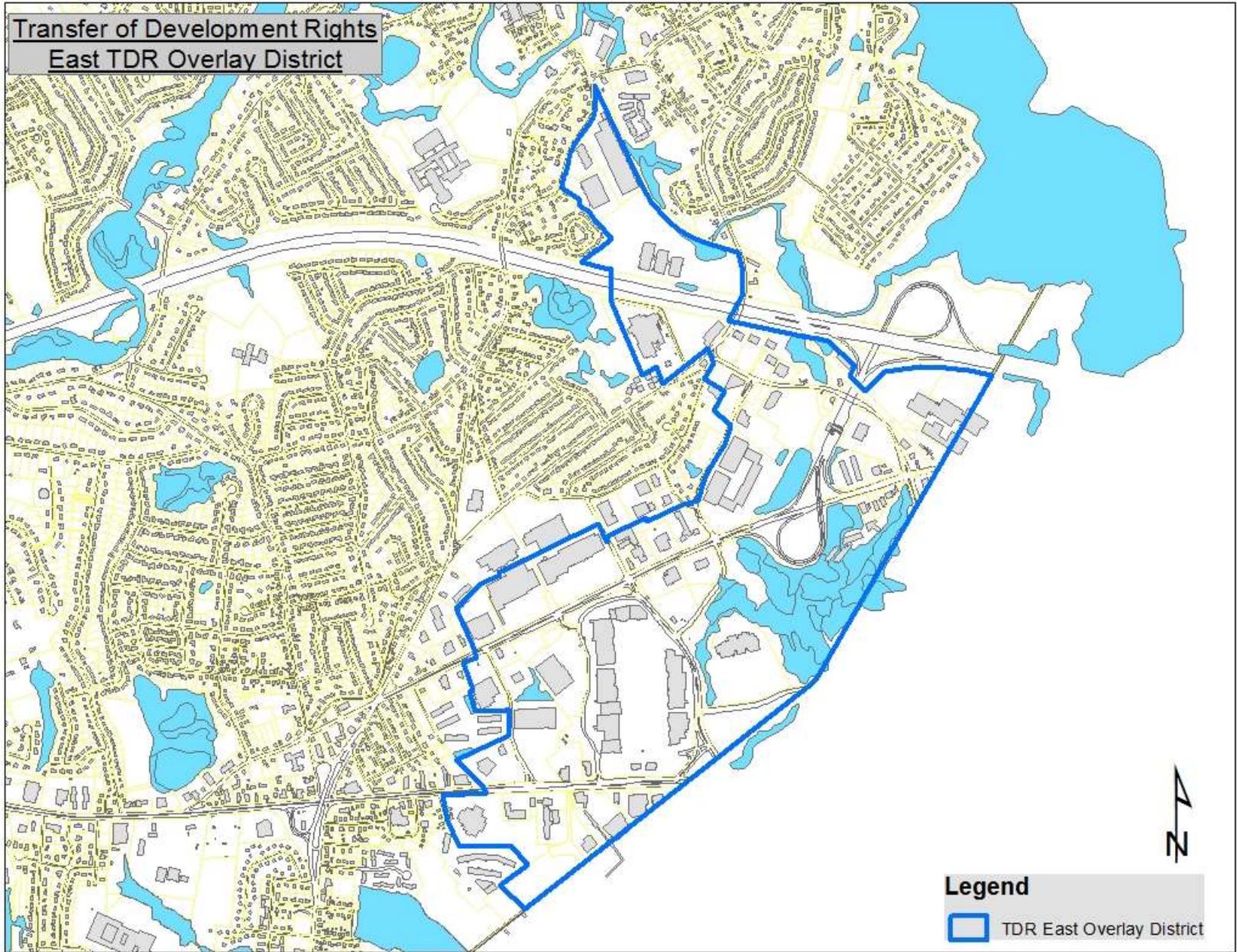
TJX



Proposed West TDR Overlay District

The Proposed West TDR Overlay District would consist of the existing TDR parcels, listed on page 42 of this document, in addition to 10 SPEEN ST, 691 COCHITUATE RD, 1455RR CONCORD ST, 100 WORCESTER RD, 161 WORCESTER RD, 492 OLD CONN PATH, 96 WORCESTER RD, 500 OLD CONN PATH, 401 COCHITUATE RD, 355 COCHITUATE RD, 375 COCHITUATE RD, 496 COCHITUATE RD, 85 SPEEN ST, 343 COCHITUATE RD, 1455 CONCORD ST, 160 SPEEN ST, 86 WORCESTER RD, 111 SPEEN ST, 3 SPEEN ST, 22P FLUTIE PASS, 140 WORCESTER RD, 92 WORCESTER RD, 730 COCHITUATE RD, 655 COCHITUATE RD, 130 WORCESTER RD, 345 COCHITUATE RD, 5 WHITTIER ST, 341 COCHITUATE RD, 341 COCHITUATE RD, 550 COCHITUATE RD, 85 WORCESTER RD, 60 WORCESTER RD, 665 COCHITUATE RD, 30 WORCESTER RD, 50 SPEEN ST, 1 SPEEN ST, 696 COCHITUATE RD, 150R SPEEN ST, 1451 CONCORD ST, 689 COCHITUATE RD, 1 WORCESTER RD, 50 WORCESTER RD, 90 WORCESTER RD, 510 COCHITUATE RD, 500 COCHITUATE RD, 30 SPEEN ST, 11 BURR ST EXT, 113 WORCESTER RD, 220 WORCESTER RD, 150 WORCESTER RD, 490 COCHITUATE RD, 330 COCHITUATE RD, 120 WORCESTER RD, 81 SPEEN ST, 650 COCHITUATE RD, 350 COCHITUATE RD, 40 SPEEN ST, 121 WORCESTER RD, 405 COCHITUATE RD, 3A SPEEN ST, 20 SPEEN ST, SPEEN ST, 725 COCHITUATE RD, 400 COCHITUATE RD, 150 SPEEN ST, 5 SPEEN ST, WORCESTER RD, 110 SPEEN ST, 490 OLD CONN PATH, 501 COCHITUATE RD, 694 COCHITUATE RD, 94 WORCESTER RD, 22 FLUTIE PASS, 70 WORCESTER RD, AND 355 COCHITUATE RD

**Transfer of Development Rights
East TDR Overlay District**



Transfer of Development Rights
East TDR Overlay District

