

ZONING:
R-1 SINGLE FAMILY RESIDENCE
ONE FAMILY OR TWO FAMILY USE
 MINIMUM AREA= 8,000 SQUARE FEET
 MINIMUM FRONTAGE= 65 FEET
 SETBACKS:
 FRONT YARD= 30 FEET OR 50 FEET FROM C
 SIDE YARD= 10 FEET
 REAR YARD= 10 FEET
 MINIMUM LANDSCAPED OPEN SPACE= 30%
 MAXIMUM HEIGHT= 3 STORIES/ 35 FEET
 MAXIMUM LOT COVERAGE= 35%

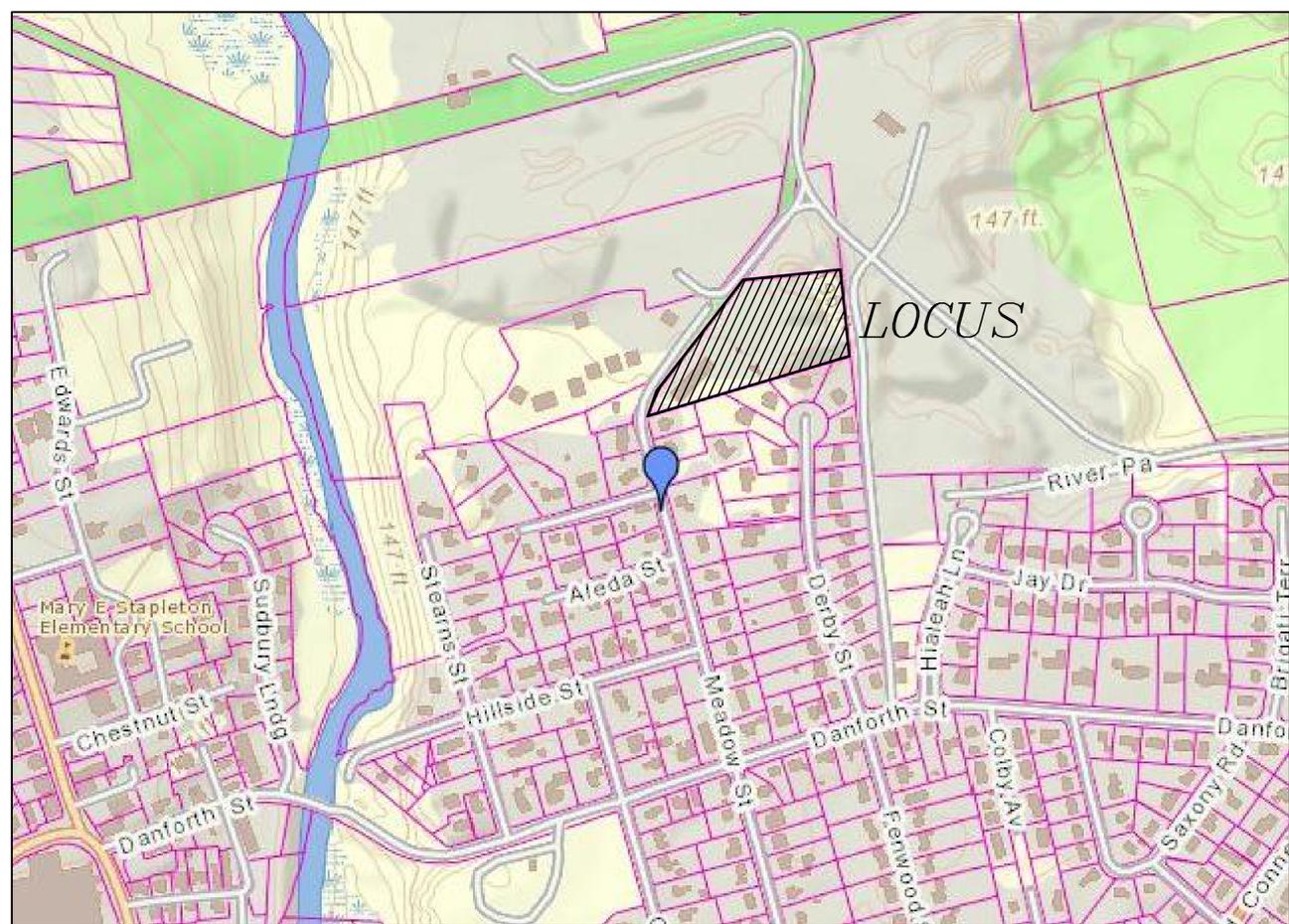
OTHER PRINCIPAL USE
 MINIMUM AREA= 43,560 SQUARE FEET
 MINIMUM FRONTAGE= 150 FEET
 SETBACKS:
 FRONT YARD= 30 FEET OR 50 FEET FROM C
 SIDE YARD= 30 FEET
 REAR YARD= 30 FEET
 MINIMUM LANDSCAPED OPEN SPACE= 50%
 MAXIMUM HEIGHT= 3 STORIES/ 35 FEET
 MAXIMUM LOT COVERAGE= 15%
 SUBJECT PROPERTY IS LOCATED WITHIN THE
 GROUNDWATER PROTECTION OVERLAY DISTRICT

PRELIMINARY SUBDIVISION PLAN

ELLINGWOOD CIRCLE

- NOTES:**
- LOCUS IS SHOWN ON FRAMINGHAM ASSESSORS SHEET:
 NEW MAP 41, BLOCK 54, LOT 1988, OLD MAP 301, BLOCK 208, LOT 19.
 RECORD TITLE FROM DEED BOOK 18630, PAGE 368.
 - THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY
 METROWEST ENGINEERING, INC.
 UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND
 BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY
 METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD
 PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING,
 INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES
 THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE
 PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT
 WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL
 SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY,
 INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS,
 UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER
 MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE
 TIME OF THE SURVEY.
 METROWEST ENGINEERING, INC. DOES NOT WARRANT THE LOCATION NOR
 CHARACTER OF SURFACE IMPROVEMENTS THE OBSERVATION OF WHICH WAS
 OBTAINED AT THE TIME OF THE SURVEY.
 - THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL
 FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT
 AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE
 RATE MAP IDENTIFIED AS MAP NUMBER 25017C0516F, BEARING AN EFFECTIVE
 DATE OF JULY 7, 2014.

 CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING
 UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION
 (WATER, ELECTRICAL, ETC.)
 CALL DIG-SAFE BEFORE YOU DIG 811.



FRAMINGHAM PLANNING BOARD
 APPROVAL UNDER SUBDIVISION CONTROL LAW REQUIRED

DATE: _____

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED
 TO BE A DETERMINATION OF CONFORMANCE WITH ZONING REGULATIONS.

FOR METROWEST ENGINEERING, INC. DATE _____
 ROBERT A. GEMMA, P.L.S. # 37046
 P.E. # 31967 (CIVIL)

PRELIMINARY SUBDIVISION PLAN

<p>COVER SHEET</p> <p>#145 MEADOW STREET</p> <p>IN</p> <p>FRAMINGHAM, MASS</p> <p>(MIDDLESEX COUNTY)</p>		
<p>PREPARED FOR:</p> <p style="text-align: center;">ELLINGWOOD REALTY TRUST 145 MEADOW STREET FRAMINGHAM, MA 01702</p>		
<p>PROPERTY OF:</p> <p style="text-align: center;">ELLINGWOOD REALTY TRUST 145 MEADOW STREET FRAMINGHAM, MA 01702</p>		
<p>ENGINEERS & SURVEYORS:</p> <p style="text-align: center;">MWE METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TEL.: (508)626-0063 FAX.: (508)875-6440</p>		
<p>SHEET 1 OF 5</p>		<p>DATE: APRIL 26, 2016</p>
<p>CALC'D BY: BTN</p>	<p>FIELD BK: 596</p>	<p>CAD FILE: ELLINGWOOD_PRE_SUB.dwg</p>
<p>DRAFTER: BTN</p>	<p>PROJECT: FRM_DAN3</p>	<p>DWG FILE: SD042616.dwg</p>

SHEET INDEX

- SHEET 1 — COVER SHEET
- SHEET 2 — PROPOSED LAYOUT PLAN
- SHEET 3 — PROPOSED GRADING PLAN
- SHEET 4 — DRAINAGE AND UTILITY PLAN
- SHEET 5 — LOCUS PLAN