

Site Plans

Issued for Local Approvals
 Date Issued April 15, 2016
 Latest Issue April 15, 2016

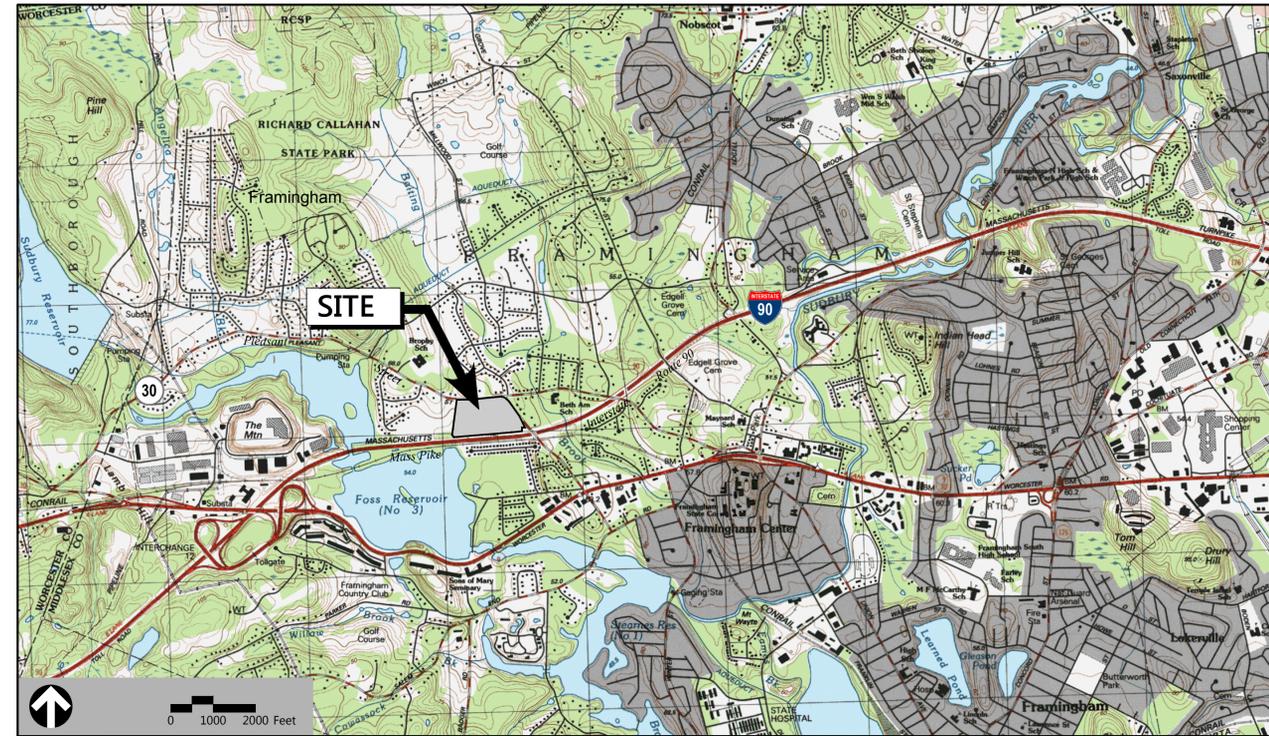
Northside Meadows: Active Adult Housing

518 Pleasant Street
 Framingham, Massachusetts

Owner/Applicant

Brendon Properties Northside Meadows, LLC
 259 Turnpike Road
 Suite 110
 Southborough, Massachusetts 01772

Assessor's Map: 458
 Block: 6
 Lot: 4



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No.	Drawing Title	Latest Issue
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Reference Drawings

No.	Drawing Title	Latest Issue
1	Existing Conditions Plan - Overall	December 1, 2015
2	Existing Conditions Plan	December 1, 2015
3	Existing Conditions Plan	December 1, 2015
A1.1	Units A & B - First Floor Plan	April 14, 2016
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A2.1	Units A & B - Elevations	April 14, 2016
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A1.1	Unit C - First Floor Plan	April 14, 2016
A1.2	Unit C - Second Floor Plan	April 14, 2016
A2.1	Unit C - Elevations	April 14, 2016
A2.2	Unit C - Elevations	April 14, 2016
1	Lighting Analysis	April 14, 2016



101 Walnut Street
 PO Box 9151
 Watertown, MA 02471
 617.924.1770

Environmental

EcoTec, Inc.
 102 Grove Street
 Worcester, MA 01605
 508-752-9666 ext. 25

Survey

Kelly Engineering Group, Inc.
 0 Campanelli Drive
 Braintree, MA 02184
 781.843.4333

Architect

HPA Design, Inc. Architects
 200 Stonewall Blvd
 Suite 5
 Wrentham, MA 02093
 508-384-0483

Geotechnical

GeoInsight
 186 Granite Street
 3rd Floor Suite A
 Manchester, NH 03101-2643
 603-314-0820





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

Exist.	Prop.	Exist.	Prop.	
				CONCRETE
				HEAVY DUTY PAVEMENT
				RIPRAP
				CONSTRUCTION ENTRANCE
				TOP OF CURB ELEVATION
				BOTTOM OF CURB ELEVATION
				SPOT ELEVATION
				TOP & BOTTOM OF WALL ELEVATION
				BORING LOCATION
				TEST PIT LOCATION
				MONITORING WELL
				UNDERDRAIN
				DRAIN
				ROOF DRAIN
				SEWER
				FORCE MAIN
				OVERHEAD WIRE
				WATER
				FIRE PROTECTION
				DOMESTIC WATER
				GAS
				ELECTRIC
				STEAM
				TELEPHONE
				FIRE ALARM
				CABLE TV
				CATCH BASIN
				DOUBLE CATCH BASIN
				GUTTER INLET
				DRAIN MANHOLE
				TRENCH DRAIN
				PLUG OR CAP
				CLEANOUT
				FLARED END SECTION
				HEADWALL
				SEWER MANHOLE
				CURB STOP & BOX
				WATER VALVE & BOX
				TAPPING SLEEVE, VALVE & BOX
				SIAMESE CONNECTION
				FIRE HYDRANT
				WATER METER
				POST INDICATOR VALVE
				WATER WELL
				ELECTRIC MANHOLE
				ELECTRIC METER
				LIGHT POLE
				TELEPHONE MANHOLE
				TRANSFORMER PAD
				UTILITY POLE
				GUY POLE
				GUY WIRE & ANCHOR
				HAND HOLE
				PULL BOX
				METAL END SECTION
				PAVED WATER WAY
				POLYVINYLCHLORIDE PIPE
				POST INDICATOR VALVE
				REINFORCED CONCRETE PIPE
				RIM ELEVATION
				SEWER MANHOLE
				TAPPING SLEEVE, VALVE AND BOX
				UNDERGROUND
				UTILITY POLE
				CONCRETE
				HEAVY DUTY PAVEMENT
				RIPRAP
				CONSTRUCTION ENTRANCE
				TOP OF CURB ELEVATION
				BOTTOM OF CURB ELEVATION
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				DRAIN
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				FORCE MAIN
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				FIRE PROTECTION
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				GAS
				ELECTRIC
				STEAM
				TELEPHONE
				FIRE ALARM
				CABLE TV
				CATCH BASIN
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				TRENCH DRAIN
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				ELECTRIC MANHOLE
				ELECTRIC METER



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD
SHOULD NOT BE CONSTRUED TO BE
DETERMINATION OF CONFORMANCE WITH
ZONING REGULATIONS.

Northside Meadows: Active Adult Housing

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Aspd.

Designed by: MEO
Checked by: KSS
Issued for: Local Approvals
Date: April 15, 2016

Not Approved for Construction

Drawing Title: **Master Site Plan**
Drawing Number: _____

Professional Seal: JUSTIN DUPRESNE, CIVIL ENGINEER, No. 51068, REGISTERED PROFESSIONAL ENGINEER. Date: 4-15-16.

C-2.2

Sheet 3 of 13

Project Number: 13168.00

Zoning Summary Chart (Active Adult Housing)

Zoning District: R-3 Single Family Residence (20,000 SF Lots)	Required/Allowable	Provided
MINIMUM LOT AREA ⁽¹⁾	10 Acres	20.08 Acres
MINIMUM DEVELOPABLE SITE AREA ⁽²⁾	--	15.0 Acres
FRONTAGE	100 Feet	670 Feet
RIGHT OF WAY SETBACK/FRONT SETBACK	100 Feet	100 Feet
SIDE SETBACK ⁽³⁾	75 Feet	75 Feet
PERIMETER BUFFER ⁽⁴⁾	75 Feet	75 Feet
SEPARATION OF BUILDINGS		
BETWEEN SIDES OF BLDGS	30 Feet	15 Feet
BETWEEN BACKS OF BLDGS	80 Feet	51 Feet
BETWEEN SIDE AND BACK OF BLDGS	50 Feet	15 Feet
MAXIMUM BUILDING FOOTPRINT	6,000 SF 1 STORY	4,009 SF
	4,000 SF 2 STORY	4,009 SF
MAXIMUM BUILDING HEIGHT	2 STORIES OR 30 FT	2 STORIES
MAXIMUM BUILDING COVERAGE	25 %	14 %
TOTAL NUMBER OF BEDROOMS ⁽⁵⁾	--	120
MINIMUM COMMON OPEN SPACE ⁽⁶⁾	30 %	>30 %
MINIMUM EXCLUSIVE USE AREA	400 SF PER UNIT	400 SF PER UNIT

⁽¹⁾ WHERE MUNICIPAL SEWER AND WATER ARE AVAILABLE.
⁽²⁾ CALCULATED PER SECTION V1.2a-g OF THE ZONING BY-LAW.
⁽³⁾ ASSUMES CUL-DE-SAC AS ACCESS DRIVEWAY AND ALLOWABLE IN THE SIDE SETBACK PER SECTION V1.7c OF THE ZONING BY-LAW.
⁽⁴⁾ ASSUMES CUL-DE-SAC AS ENTRANCE ROAD AND ALLOWABLE IN THE PERIMETER BUFFER PER SECTION V1.7c OF THE ZONING BY-LAW.
⁽⁵⁾ BASED ON 8 BEDROOMS PER ACRES OF DEVELOPABLE SITE AREA PER SECTION V1.7c OF THE ZONING BY-LAW.
⁽⁶⁾ PROVIDED: ALL PROVIDED UNITS WILL HAVE 2 BEDROOMS EACH.
⁽⁷⁾ ASSUMES A PORTION OF REQUIREMENT IS MET WITH DEDICATED COMMON OPEN SPACE LOCATED ON LOT 2 PER SECTION V1.12b(2)

Parking Summary Chart⁽¹⁾

Description	Description
STANDARD SPACES (TYPICAL)	9' x 18' & 10' x 18' END STALLS
PARALLEL SPACES	9' x 24'
Description	Description
ACTIVE ADULT HOUSING	2 SPACES PER DWELLING UNIT WITH 2 BEDROOMS 1 SPACE FOR VISITORS FOR EVERY 4 DWELLING UNITS 60 UNITS @ 2 SPACES / UNIT = 120 SPACES 60 UNITS @ 1 SPACE / 4 UNITS = 15 SPACES TOTAL REQUIRED = 135 SPACES TOTAL PROVIDED = 255 SPACES

⁽¹⁾ ACCESSIBLE SPACES SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

Town Notes
1. SIGNS, LANDSCAPING AND OTHER FEATURES LOCATED WITHIN THE SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED AND MAINTAINED SO AS NOT TO EXCEED 2.5 FEET IN HEIGHT. SNOW WINDROWS LOCATED WITHIN THE SIGHT TRIANGLE AREAS THAT EXCEED 2.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.



**NORTHSIDE MEADOWS:
ASSISTED LIVING FACILITY**
(REFER TO PLANS PREPARED BY VHB
SUBMITTED UNDER SEPARATE COVER)

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Active Adult Housing**

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Framingham, Massachusetts

No.	Revision	Date	Aspd.

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Checked by: KSS
Issued for: Local Approvals
Date: April 15, 2016

Not Approved for Construction

Layout and Materials Plan

Drawing Number

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER
JUSTIN DUPRESNE
CIVIL
No. 51568
4-15-16

C-3.1

Sheet 4 of 13
Project Number 13168.00

PLEASANT STREET

PLEASANT STREET

Notes:

Infiltration Area Protection During Construction FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.

CONTRACTOR SHALL INSTALL AND MAINTAIN SILT SACKS IN ALL EXISTING AND PROPOSED CATCH BASINS AND LANDSCAPE DRAINS ON-LINE DURING CONSTRUCTION (TYP).

**NORTHSIDE MEADOWS:
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Local Approvals April 15, 2016

Not Approved for Construction
**Grading, Drainage and
Erosion Control Plan**

Professional Engineer Seal: JUSTIN DUFFRESNE, CIVIL, No. 91508, REGISTERED PROFESSIONAL ENGINEER

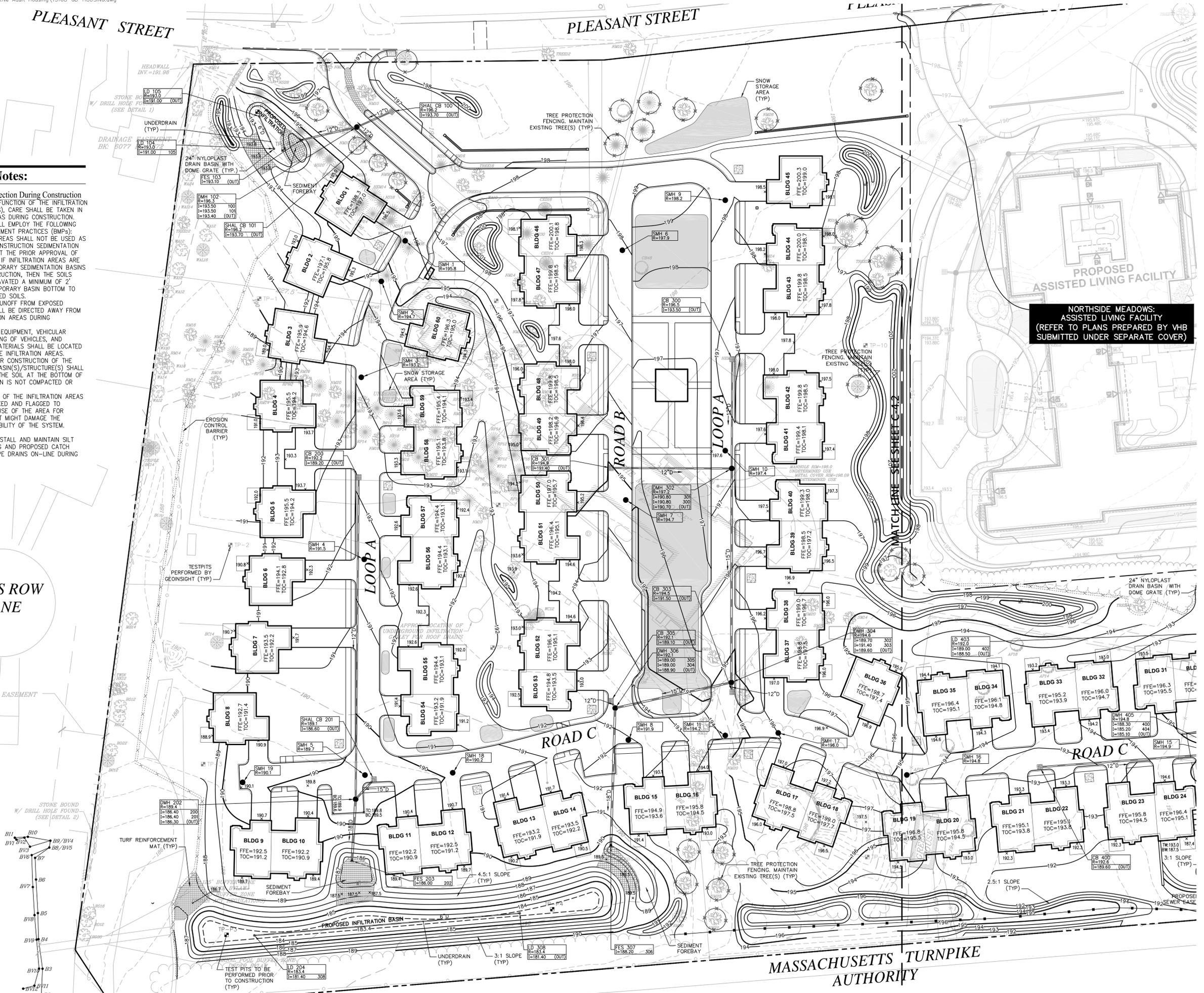
Sheet **C-4.1** of 6

Project Number: 13168.00

KINGS ROW LANE

40' WIDE DRAINAGE EASEMENT

Saved Tuesday, April 19, 2016 5:05:05 PM. KUMAR, K. Plotted Tuesday, April 26, 2016 3:15:48 PM. Mark, Kevin



MASSACHUSETTS TURNPIKE AUTHORITY



**NORTHSIDE MEADOWS:
ASSISTED LIVING FACILITY
(REFER TO PLANS PREPARED BY VHB
SUBMITTED UNDER SEPARATE COVER)**

Notes:

- Infiltration Area Protection During Construction FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
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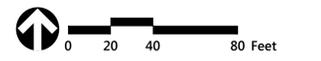
vhb.com



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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518 Pleasant Street
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 Issued for: Date: April 15, 2016
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**Grading, Drainage, and
 Erosion Control Plan**



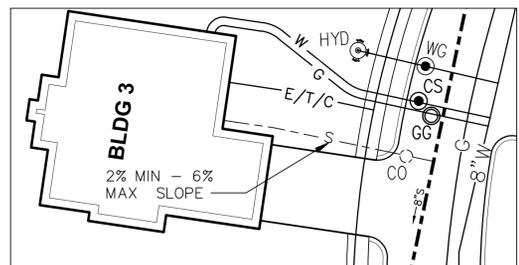
C-4.2

Sheet 7 of 13
 Project Number 13168.00

PLEASANT STREET

PLEASANT STREET

Inset: Typical Building Utility Connections



Notes
1. UTILITIES DEPICTED IN THIS DETAIL ARE ONLY INTENDED TO REPRESENT A TYPICAL CONFIGURATION OF UTILITY CONNECTIONS TO A GIVEN UNIT. THE CONNECTION CONFIGURATION, MATERIALS, SIZES, SLOPES, ETC. SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER(S) REQUIREMENTS, TOWN REQUIREMENT, AND UTILITY PROVIDER REQUIREMENTS.
2. CONTRACTOR SHALL COORDINATE ANY FIELD ADJUSTMENTS TO THE UTILITY CONNECTION CONFIGURATION DEPICTED IN THIS DETAIL WITH ENGINEER.



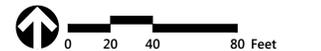
NORTHSIDE MEADOWS: ASSISTED LIVING FACILITY
(REFER TO PLANS PREPARED BY VHB SUBMITTED UNDER SEPARATE COVER)

MATCH LINE SEE SHEET C-4.2

KINGS ROW LANE

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Utility Plan

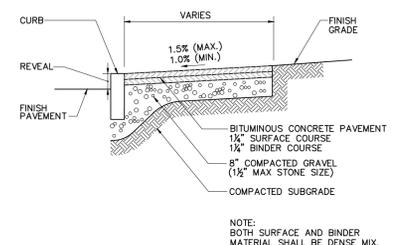
Drawing Title
Drawing Number

Professional Engineer Seal for Justin Dupresne, No. 51508, State of Massachusetts. Includes date 4-15-16.

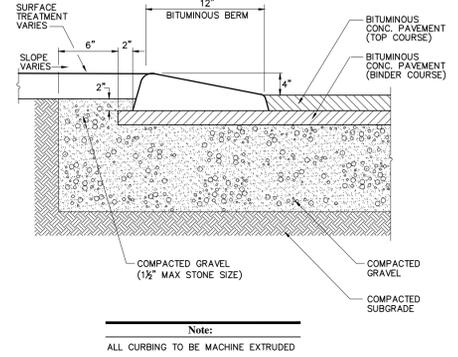
C-5.1

Sheet 8 of 13

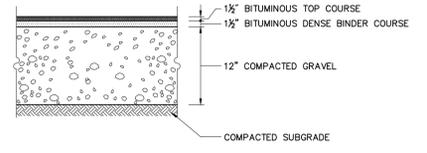
Project Number 13168.00



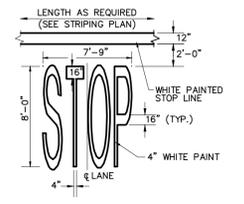
Bituminous Concrete Sidewalk 8/11
N.T.S. Source: VHB LD_422



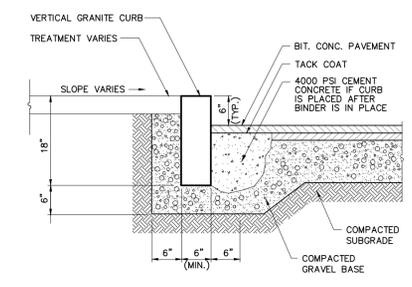
Bituminous Berm (BB) 6/08
N.T.S. Source: VHB LD_407



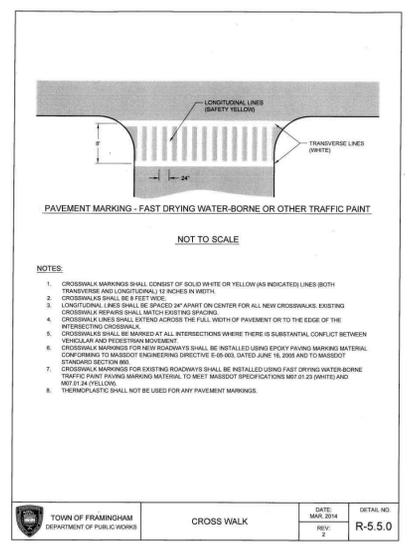
Standard Duty Flexible Pavement
Note:
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.



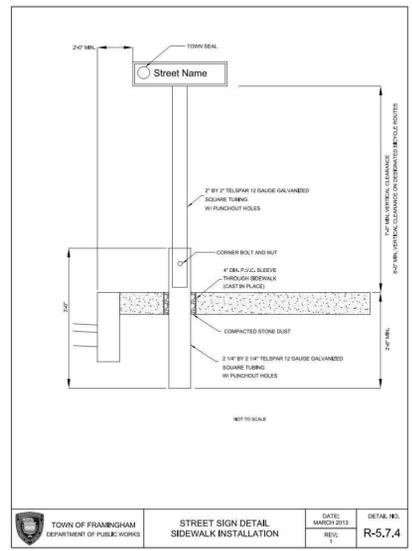
Painted Pavement Markings - On Site 6/08
N.T.S. Source: VHB LD_554



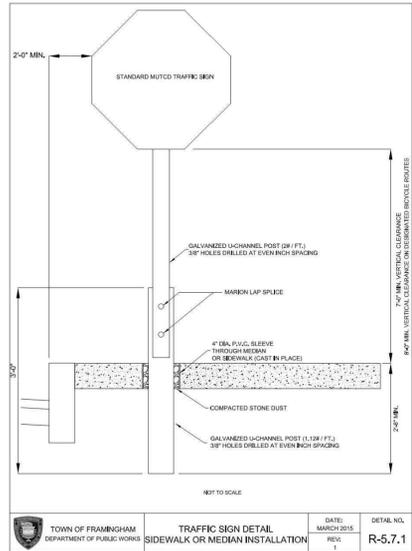
Vertical Granite Curb (VGC) 6/12
N.T.S. Source: VHB LD_402



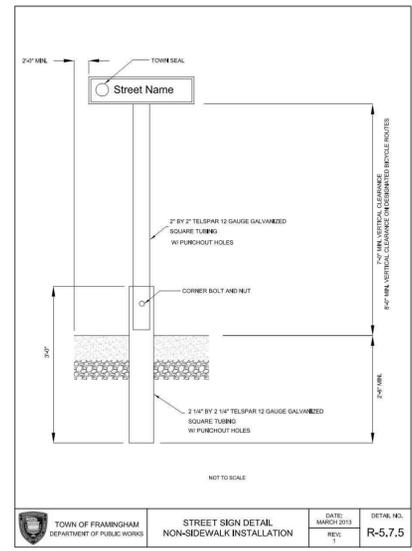
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
CROSS WALK
DATE: MARCH 2014
REV: 2
DETAIL NO. R-5.7.0



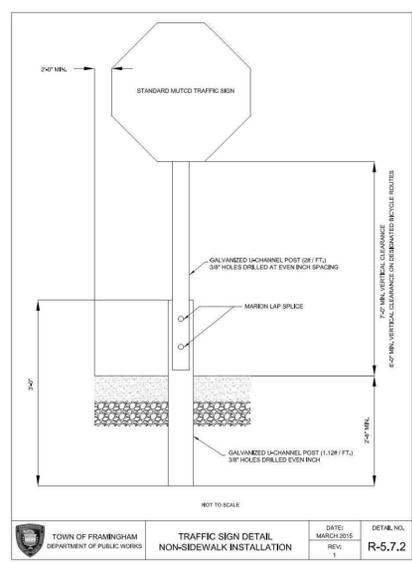
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**STREET SIGN DETAIL
SIDEWALK INSTALLATION**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.4



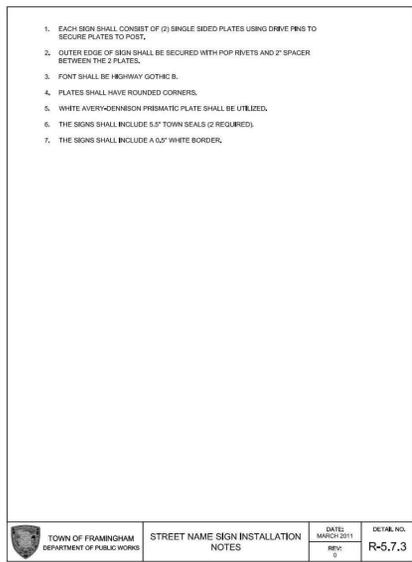
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**TRAFFIC SIGN DETAIL
SIDEWALK OR MEDIAN INSTALLATION**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.1



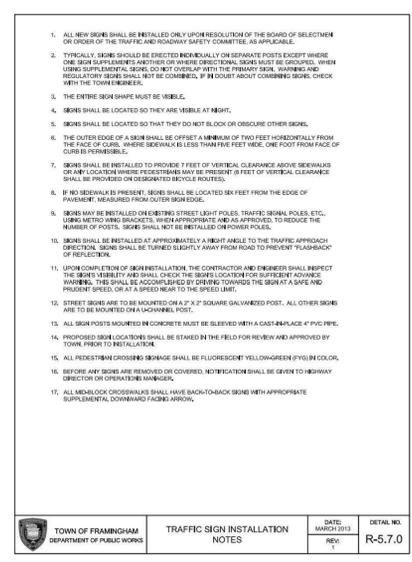
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**STREET SIGN DETAIL
NON-SIDEWALK INSTALLATION**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.5



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**TRAFFIC SIGN DETAIL
NON-SIDEWALK INSTALLATION**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.2



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**STREET NAME SIGN INSTALLATION
NOTES**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.3



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
**TRAFFIC SIGN INSTALLATION
NOTES**
DATE: MARCH 2013
REV: 1
DETAIL NO. R-5.7.0

FRAMINGHAM PLANNING BOARD
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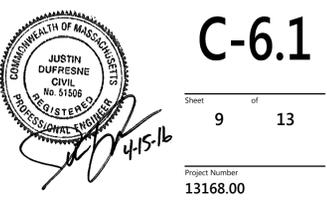
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Local Approvals

Not Approved for Construction
Site Details 1

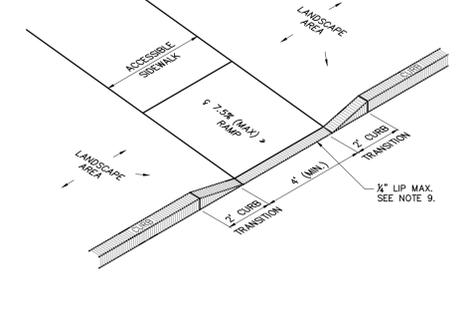
Drawing Number
C-6.1
Sheet 9 of 13

Project Number
13168.00



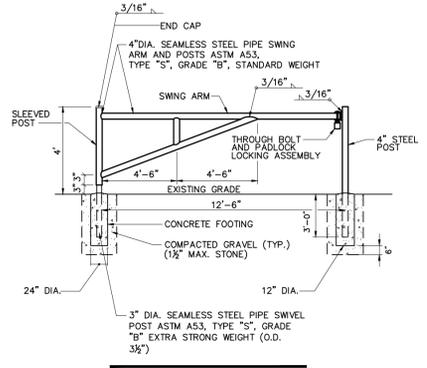


101 Walnut Street
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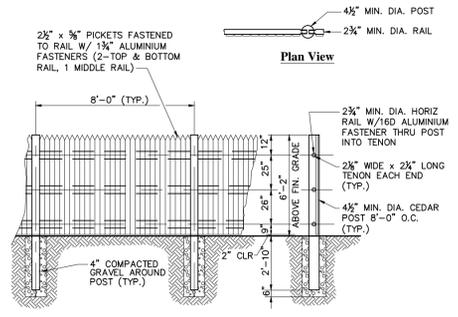
- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1 1/2 MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

Accessible Curb Ramp (ACR) Type 'M' 11/10
N.T.S. Source: VHB LD_512



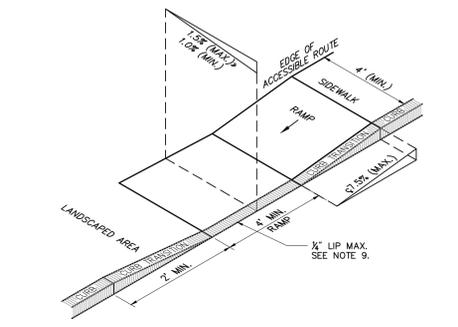
- Notes:**
1. SHOP PRIME PAINT EXPOSED SURFACES FIELD PAINT EPOXY ENAMEL-YELLOW.
 2. PROVIDE "MASTER" PADLOCK WITH 6 WORKING KEYS.
 3. 3,000 PSI CONCRETE FOOTING

Emergency Gate 2/09
N.T.S. Source: VHB LD_485



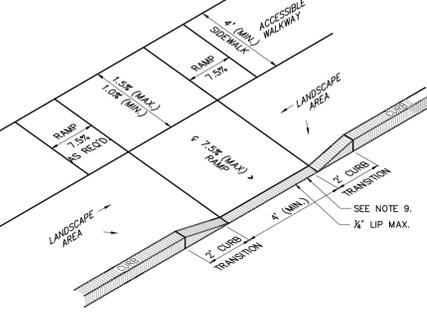
- Notes:**
1. ALL FENCING MATERIAL SHALL BE NORTHERN WHITE CEDAR, SAWN TO THE DIMENSIONS SHOWN ON THE DRAWING.
 2. ALL FENCE POSTS SHALL BE TREATED WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATION ON ALL SIDES FOR A DIMENSION OF 3'-0" FROM BUTT OF POST.
 3. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
 4. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
 5. GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW.

6' Single Sided Stockade Fence 6/08
N.T.S. Source: VHB LD_470



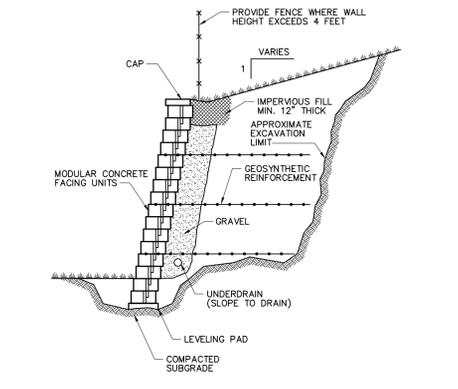
- Notes:**
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 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) Type 'G' 11/10
N.T.S. Source: VHB LD_506



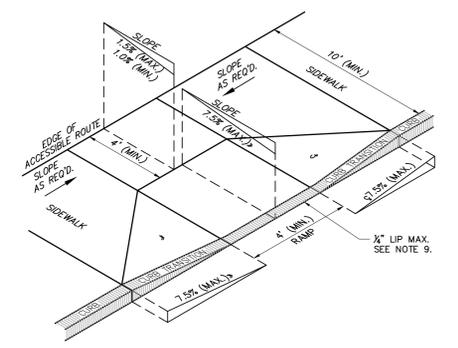
- Notes:**
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Accessible Curb Ramp (ACR) Type 'K' 11/10
N.T.S. Source: VHB LD_510



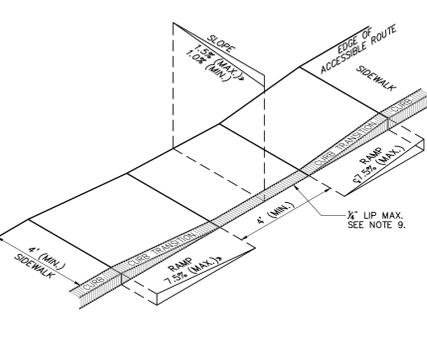
Note:
DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. STAMPED FINAL DESIGN OF MODULAR WALL SYSTEM TO BE PROVIDED BY WALL MANUFACTURER BASED ON GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

Modular Retaining Wall 6/08
N.T.S. Source: VHB LD_750



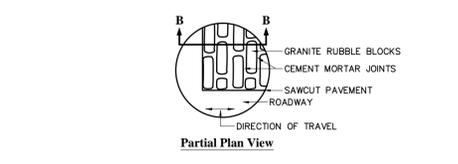
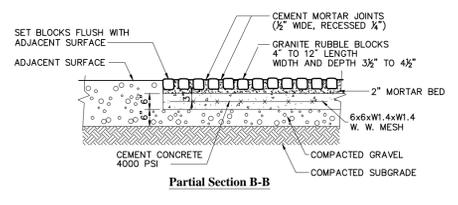
- Notes:**
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Accessible Curb Ramp (ACR) Type 'D' 11/10
N.T.S. Source: VHB LD_503



- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1 1/2 MIN.).
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 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
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Accessible Curb Ramp (ACR) Type 'A' 11/10
N.T.S. Source: VHB LD_500



Granite Rumble Strip 4/11
N.T.S. Source: VHB LD_441

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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Northside Meadows: Active Adult Housing

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Appr.

Designed by: MEO Checked by: KSS
Issued for: Date: April 15, 2016

Local Approvals

Not Approved for Construction

Site Details 2

Drawing Number: C-6.2
Sheet 10 of 13
Project Number: 13168.00

4-15-16



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Watertown, MA 02471
617.924.1770

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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518 Pleasant Street
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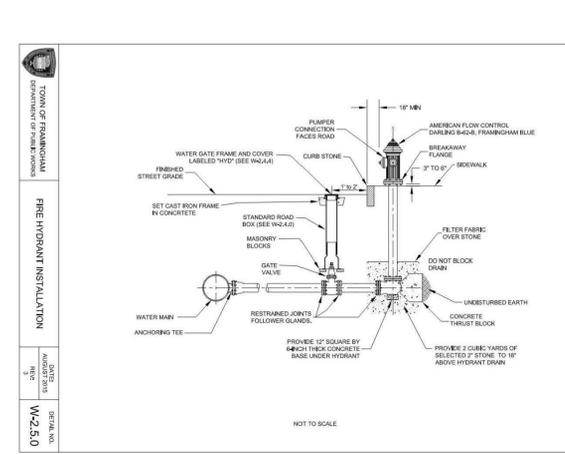
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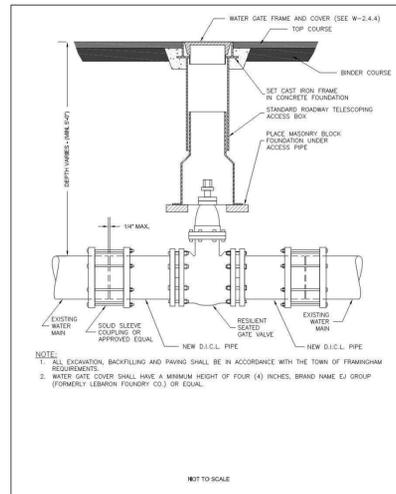
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Sheet 11 of 13

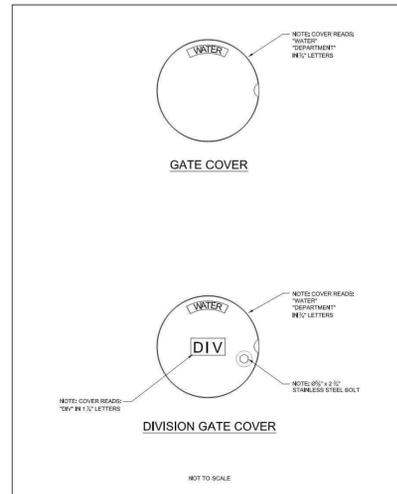
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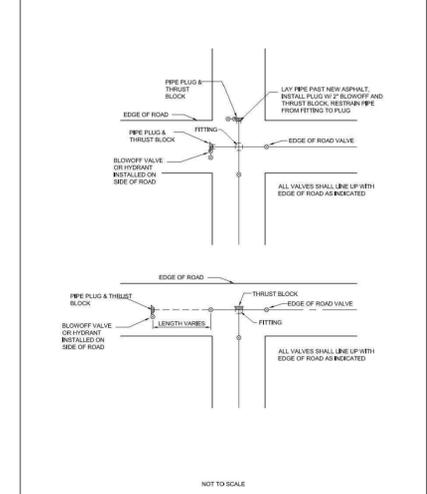
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DATE: MARCH 2011
REV: 1
DETAIL NO. W-2.5.0



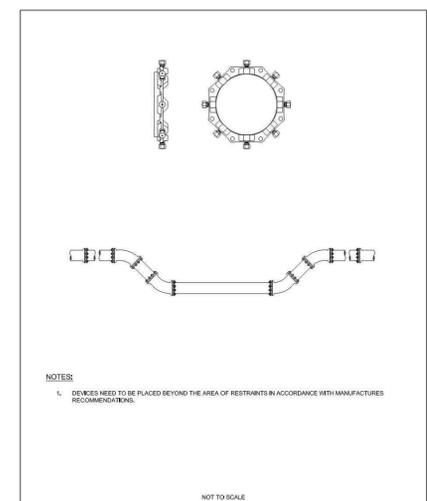
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DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2011
REV: 1
DETAIL NO. W-2.4.0



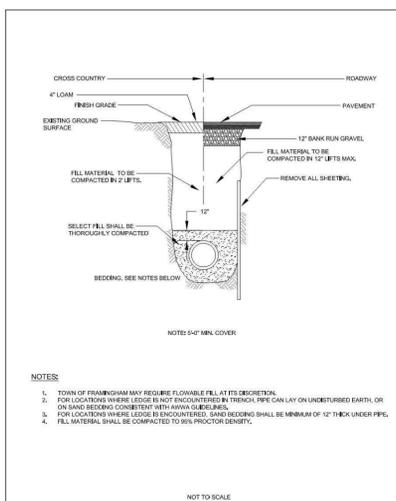
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DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2011
REV: 1
DETAIL NO. W-2.4.4



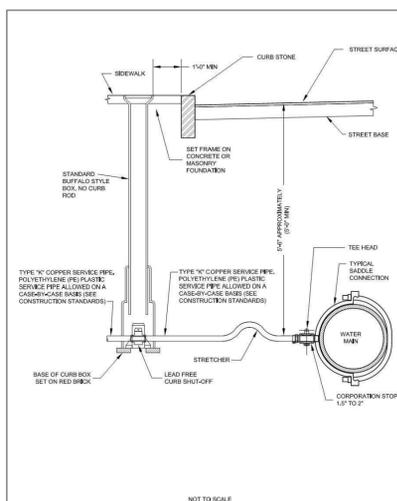
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DATE: SEPT 2008
REV: 0
DETAIL NO. W-2.4.3



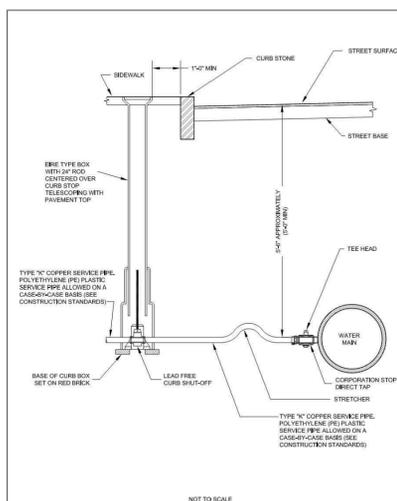
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DEPARTMENT OF PUBLIC WORKS
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DETAIL NO. W-2.2.0



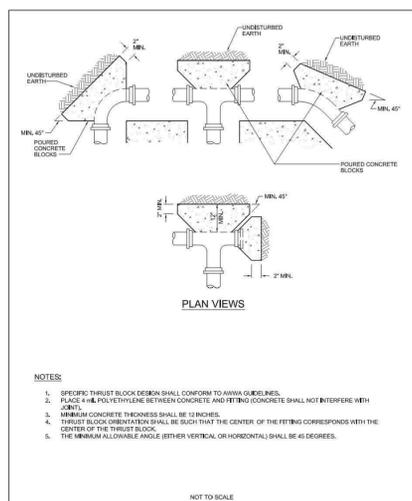
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DETAIL NO. W-2.3.0



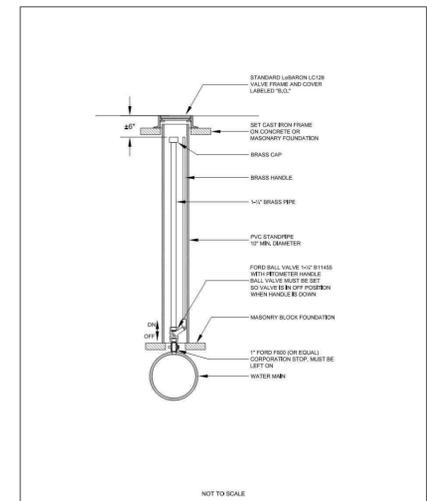
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DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2011
REV: 2
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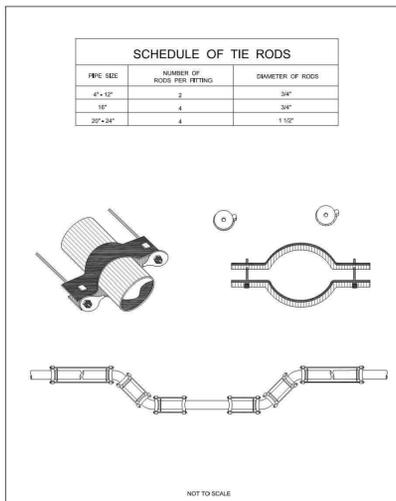
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DATE: MARCH 2011
REV: 1
DETAIL NO. W-2.1.0



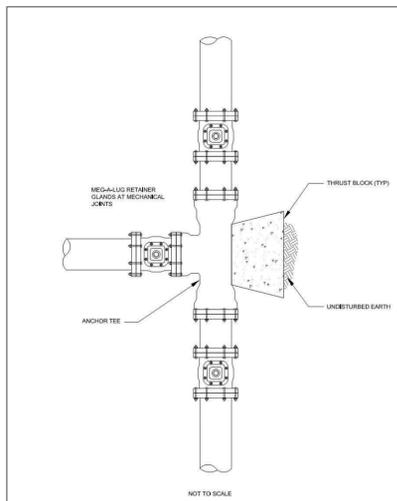
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DEPARTMENT OF PUBLIC WORKS
DATE: SEPT 2008
REV: 0
DETAIL NO. W-2.2.2



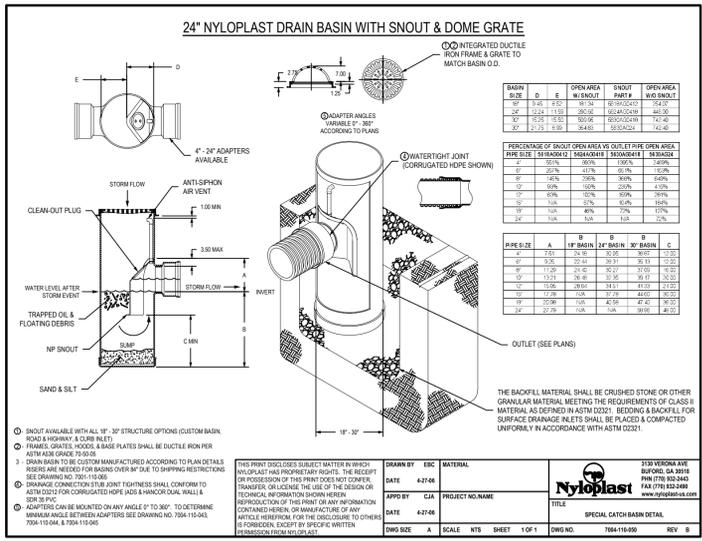
TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: SEPT 2008
REV: 0
DETAIL NO. W-2.4.2



TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: SEPT 2008
REV: 0
DETAIL NO. W-2.2.1



TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: SEPT 2008
REV: 0
DETAIL NO. W-2.4.1



TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: 4/27/16
REV: 0
DETAIL NO. W-2.4.5

Landscape Drain (LD)
N.T.S.

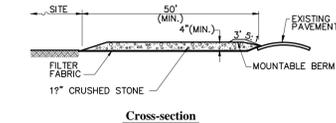
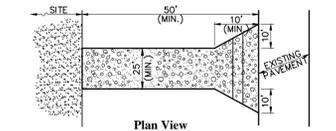
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4/7/16

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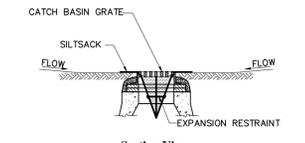
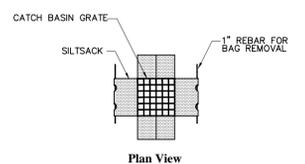


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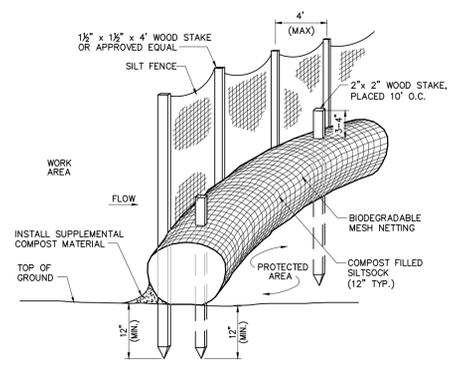
- Notes:**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERMS SHALL BE PERMITTED PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 6/08
N.T.S. Source: VHB LD_682



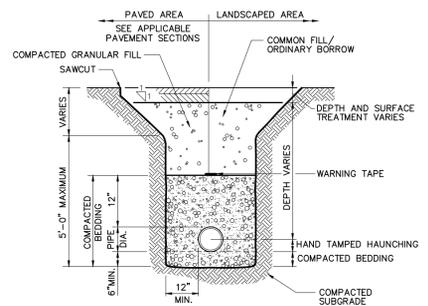
- Notes:**
- INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILT SACK.
 - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Silt sack Sediment Trap 6/08
N.T.S. Source: VHB LD_674



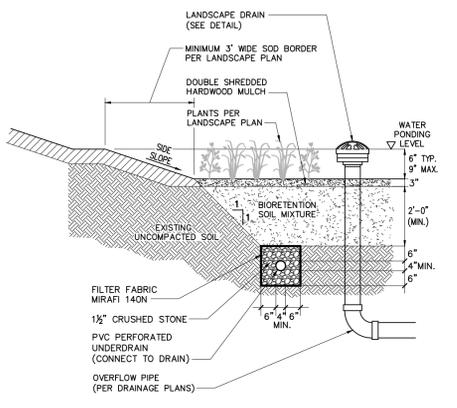
- Notes:**
- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
 - SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
 - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 - IF NON BIODEGRADABLE NETTING IS USED THE MATTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Silt sock / Silt Fence Barrier 6/12
N.T.S. Source: VHB LD_658-A



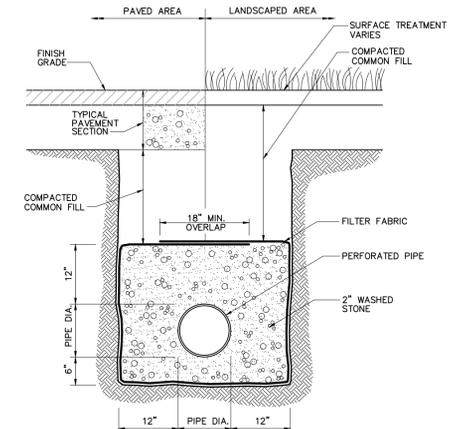
- Notes:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

Utility Trench 6/11
N.T.S. Source: VHB LD_300

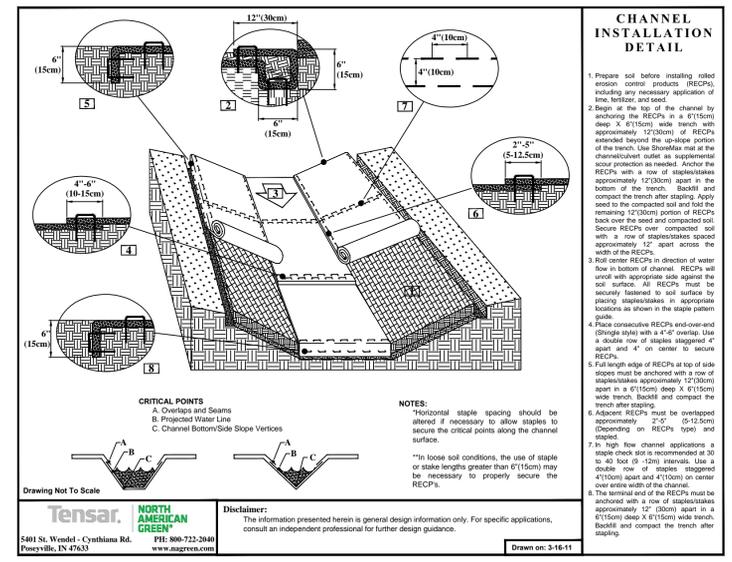


- Notes:**
- INSTALL UNDERDRAINS AT 10 FEET ON CENTER, CONNECT TO DRAINS PER PLAN.
 - SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

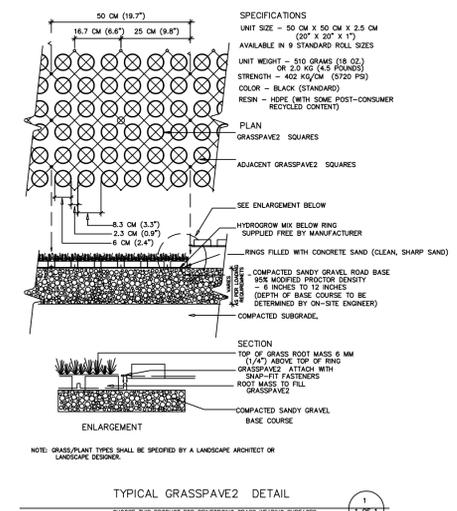
Rain Garden with Subdrain 6/08
N.T.S. Source: VHB LD_302



Underdrain (UD) 6/08
N.T.S. Source: VHB LD_184



Turf Reinforcement Mat N.T.S.



Grass Block Paver (Heavy Vehicle Access) N.T.S.

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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Northside Meadows: Active Adult Housing

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Appr'd

Designed by: **MEO** Checked by: **KSS**
Issued for: _____ Date: _____
Local Approvals April 15, 2016

Not Approved for Construction
Site Details 4

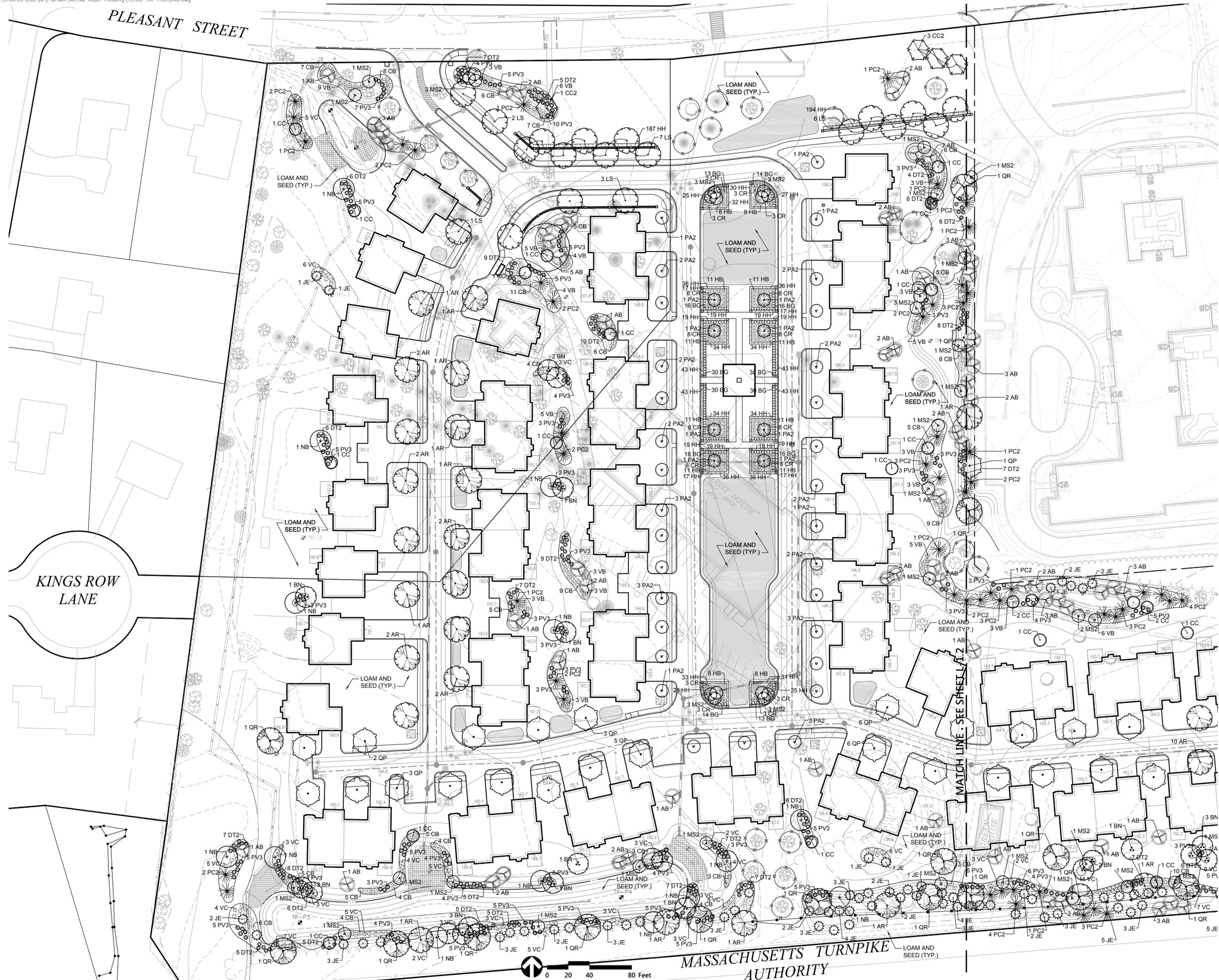
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C-6.4

Sheet 12 of 13

Project Number: 13168.00

Signature: *[Signature]* 4-15-16



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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Northside Meadows: Active Adult Housing

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Aspd.

Designed by _____ Checked by _____
Issued for _____ Date _____

Local Approvals April 15, 2016

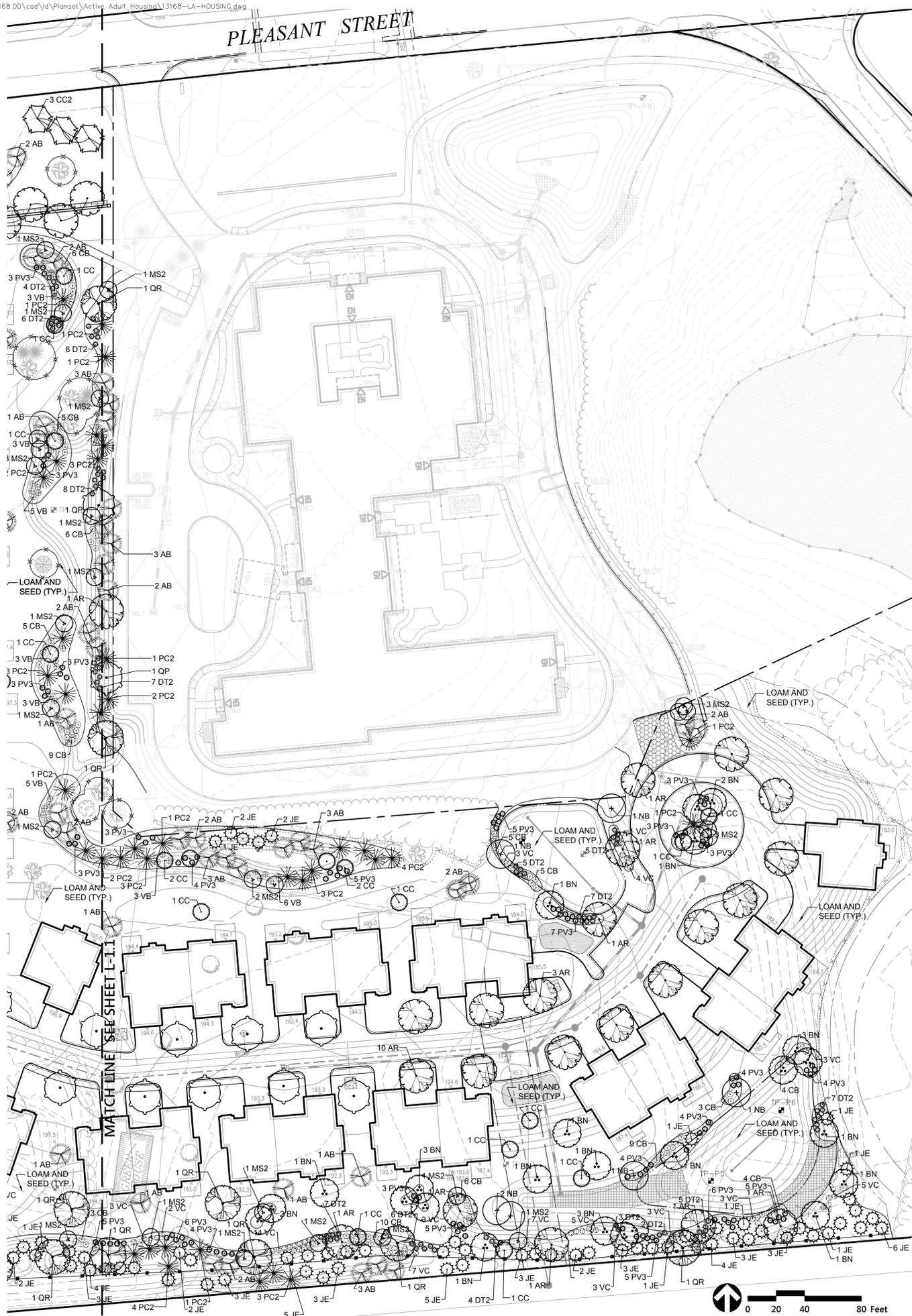
Not Approved for Construction
Drawing Title
Planting Plan

MASSACHUSETTS
REGISTERED LANDSCAPE ARCHITECT
No. 686
John P. Conklin
04.26.16

L-1.1

Sheet _____ of _____
1 4

Project Number
13168.00



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
AR	42	Acer rubrum 'October Glory'	'October Glory' Maple	2 1/2 - 3" CAL.	B+B	
BN	39	Betula nigra 'Heritage' Clump	Clump Heritage River Birch	10 - 12 FT. HT.	B+B	
LS	19	Liquidambar styraciflua	Sweet Gum	2 1/2 - 3" CAL.	B+B	
NB	20	Nyssa sylvatica 'Black Tupelo'	Sour Gum	2 1/2 - 3" CAL.	B+B	
QP	26	Quercus palustris	Pin Oak	2 1/2 - 3" CAL.	B+B	
QR	16	Quercus rubra	Red Oak	2 1/2 - 3" CAL.	B+B	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
AB	70	Abies balsamea	Balsam Fir	8 - 10' HT.	B+B	
JE	97	Juniperus virginiana	Eastern Red Cedar	8 - 10' HT.	B+B	
PC2	54	Picea abies	Norway Spruce	8 - 10' HT.	B+B	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
CC	28	Cercis canadensis	Eastern Redbud	2 1/2 - 3" CAL.	B+B	
CC2	4	Cornus kousa 'Cherokee Princess'	Cherokee Princess Dogwood	2 1/2 - 3" CAL.	B+B	
MS2	52	Magnolia virginiana	Sweet Bay	6 - 7' HT.	B+B	
PA2	39	Prunus x yedoensis 'Akebono'	Flowering Cherry	2 1/2 - 3" CAL.	B+B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
BG	238	Buxus x 'Green Velvet'	Boxwood	#3 CONT.	B+B	
CR	88	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	#3 CONT.	B+B	
CB	191	Cornus sericea 'Bailey'	Red Twig Dogwood	#5 POT	B+B	
HB	120	Hydrangea macrophylla 'Endless Summer' TM	Bailmer Hydrangea	#3 CONT.	B+B	
VB	79	Viburnum trilobum 'Bailey Compact'	Bailey's Compact American Cranberry Bush	30 - 36" HT.	B+B	
VC	158	Viburnum trilobum 'Wentworth'	Wentworth Cranberry Bush Viburnum	30 - 36" HT.	B+B	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
HT	729	Hemerocallis x 'Sunset Returns'	Sunset Returns Daylily	#1 POT	B+B	
ORNAMENTAL GRASSES A	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
DT	214	Deschampsia cespitosa	Tufted Hair Grass	#2 CONT.	B+B	
PV3	256	Panicum virgatum 'Cloud Nine'	Tall Switch Grass	#2 CONT.	B+B	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
HH	381	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 GAL.	18" o.c.	B+B



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD
SHOULD NOT BE CONSTRUED TO BE
DETERMINATION OF CONFORMANCE WITH
ZONING REGULATIONS.

**Northside Meadows:
Active Adult Housing**
518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Aspd.

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____
Local Approvals April 15, 2016

Not Approved for Construction
Drawing Title
Planting Plan
Drawing Number



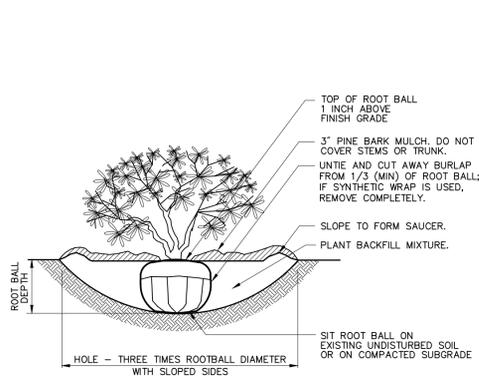
L-1.2

Sheet 2 of 4

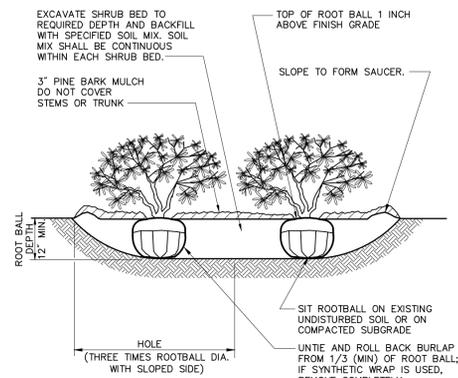
Project Number
13168.00

Saved Tuesday, April 26, 2016 3:26:49 PM EMLER, Plotted Tuesday, April 26, 2016 3:28:03 PM Miller, Evan





Notes:
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.



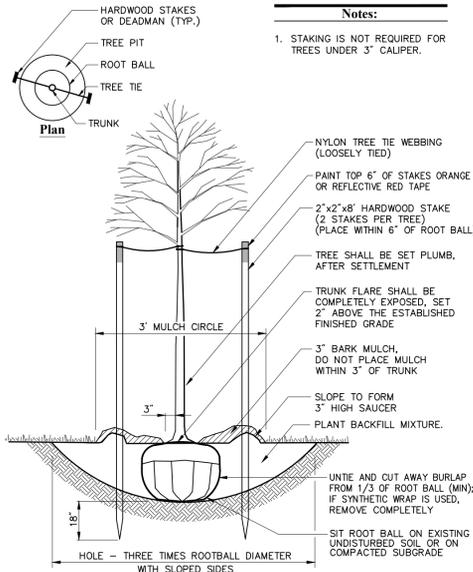
Notes:
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Planting 6/08

N.T.S. Source: VHB LD_600

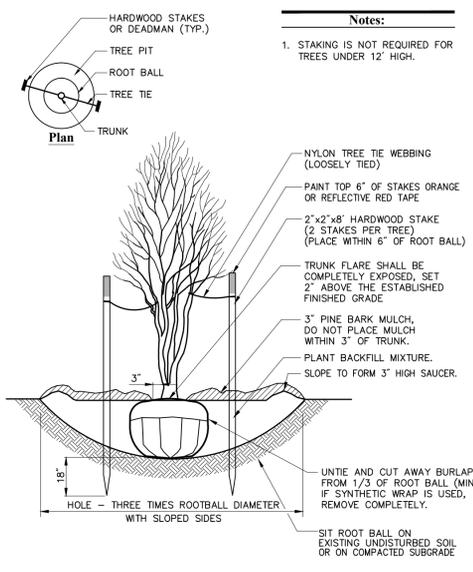
Shrub Bed Planting 6/08

N.T.S. Source: VHB LD_601



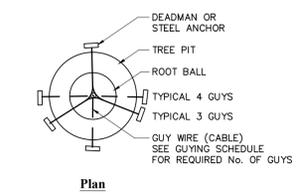
Tree Planting (For Trees Under 4" Caliper) 6/15

N.T.S. Source: VHB LD_602

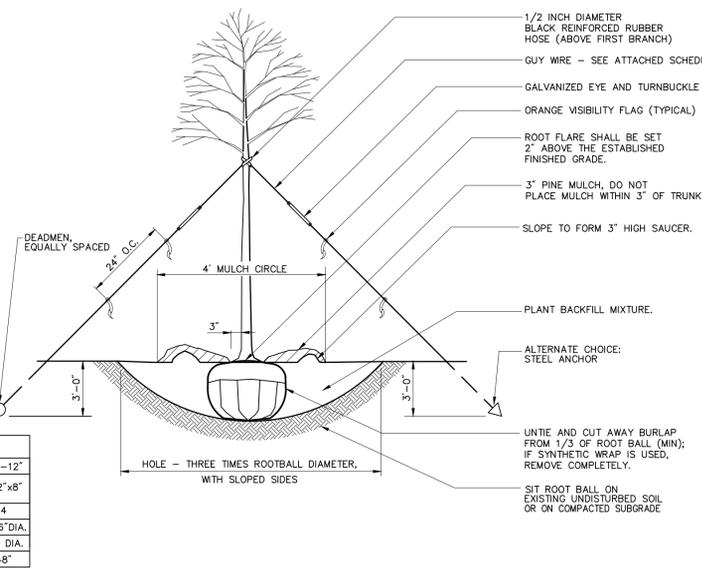


Multistem Tree Planting 6/15

N.T.S. Source: VHB LD_606



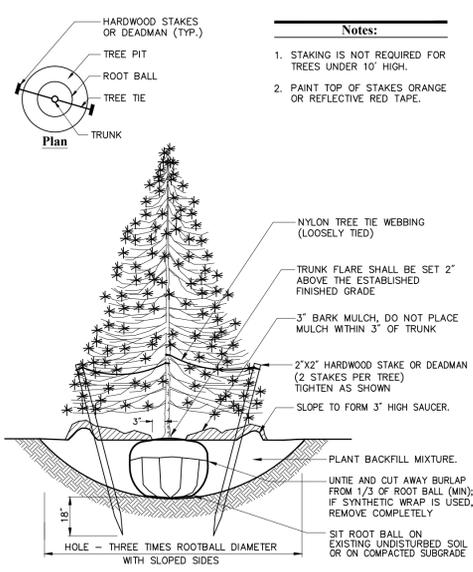
Notes:
1. USE GUYING SCHEDULE BELOW FOR DECIDUOUS AND EVERGREEN TREES OVER 4" CALIPER.



Guying Schedule				
TREE CALIPER	4"-6"	6"-8"	8"-10"	10"-12"
TURNBUCKLE (GALVANIZED)	5/16"x 4-1/2"	5/16"x 4-1/2"	3/8"x6"	1/2"x8"
# GUYS REQ'D.	3	3	4	4
WIRE OR CABLE	1/8" DIA.	3/16" DIA.	1/4" DIA.	5/16" DIA.
DEADMAN SIZE	4" DIA.	6" DIA.	8" DIA.	10" DIA.
DEADMAN LENGTH	24"	24"	36"	48"

Tree Planting (For Trees Over 4" Caliper) 1/10

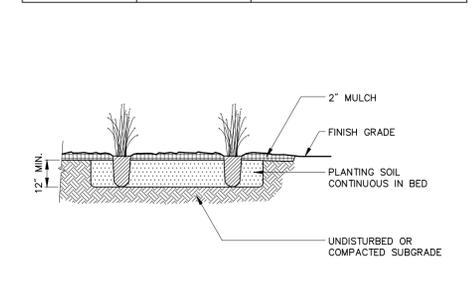
N.T.S. Source: VHB LD_603



Evergreen Tree Planting 6/15

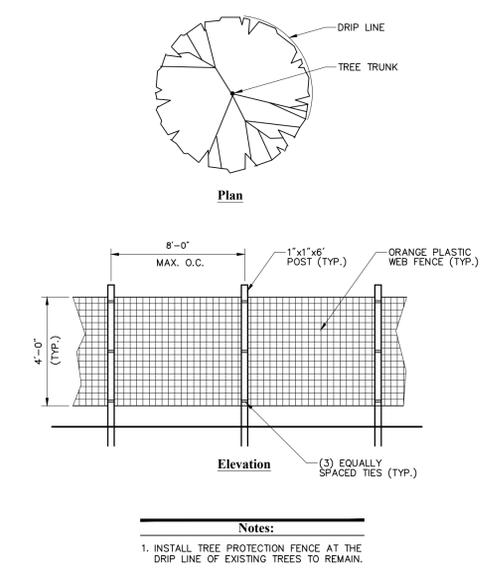
N.T.S. Source: VHB LD_604

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.



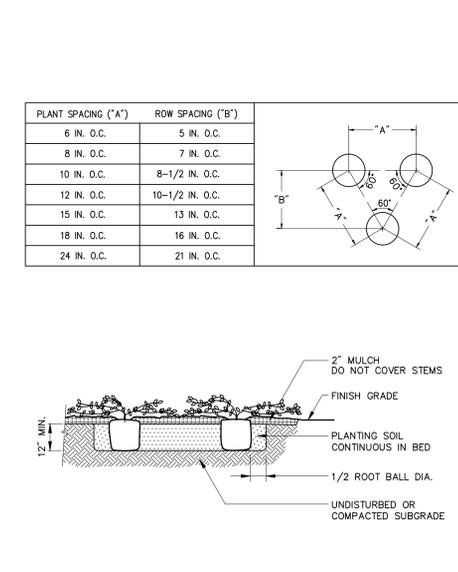
Perennial Plug Planting 11/09

N.T.S. Source: VHB LD_618



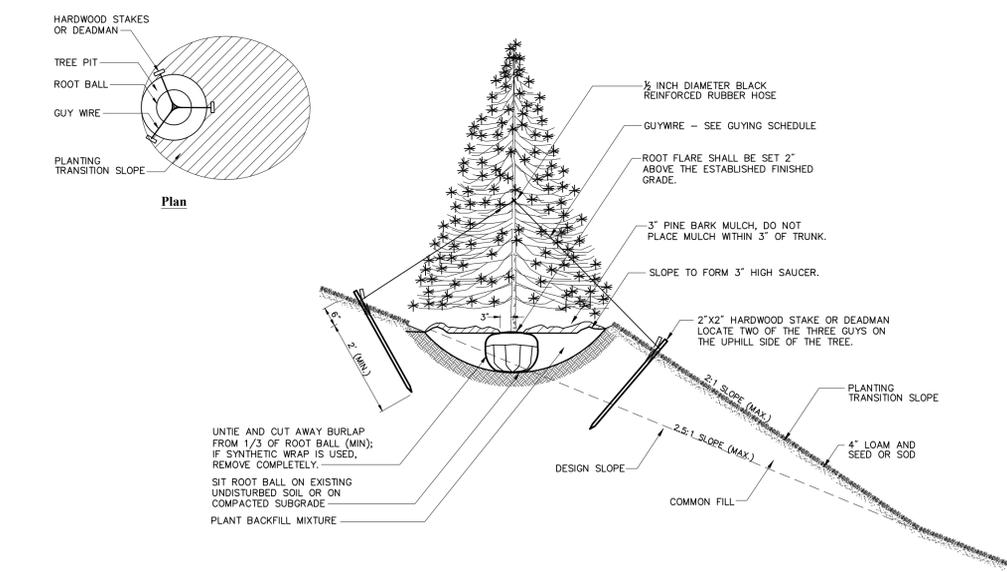
Tree Protection Fence 7/13

N.T.S. Source: VHB LD_610



Ground Cover Planting 6/15

N.T.S. Source: VHB LD_615



Tree Planting on Slope 1/12

N.T.S. Source: VHB LD_605

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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Northside Meadows: Active Adult Housing
518 Pleasant Street Framingham, Massachusetts

No.	Revision	Date	Aspd.

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____
Local Approvals April 15, 2016

Not Approved for Construction
Drawing Title: **Planting Details 1**
Drawing Number: _____

MASSACHUSETTS REGISTERED LANDSCAPE ARCHITECT
No. 856
04.26.16
Sheet 3 of 4
Project Number 13168.00



Special Landscape Notes

- CONTRACTOR SHALL SUBMIT AN IRRIGATION SYSTEM DESIGN TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- MULCH TO BE PLACED IN SHRUB BEDS NO GREATER THAT 12" FROM THE DRIP LINE.
- REPLACE EXISTING SOIL IN PLANT BEDS WITH TOPSOIL TO A DEPTH OF 24" MINIMUM.
- REMOVE SOIL FROM STEMS OF ROOT FLARE AREA.
- PLANT MATERIAL TYPES, QUANTITIES AND LOCATIONS SHALL NOT BE MODIFIED EXCEPT WITH PERMISSION OF THE PLANNING BOARD, DURING INITIAL INSTALLATION.
- EXISTING SOIL (TOPSOIL) SHOULD BE REUSED AS MUCH AS POSSIBLE. LOAM BORROW SHOULD ONLY BE BROUGHT IN AS NEEDED. BOTH TOPSOIL AND LOAM BORROW SHOULD BE TESTED BY A UNIVERSITY AGRICULTURAL LAB, SUCH AS UMASS SOIL TESTING LAB, TO DETERMINE IF IT NEEDS AMENDMENTS. LAB SHOULD PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED UPON PLANTING TYPE, EVERGREEN, DECIDUOUS, LAWN, ETC.
- CONTRACTOR SHOULD FURNISH PLANTS IN QUANTITIES AS SHOWN ON PLANS, NOT SCHEDULE.
- REMOVE SOIL FROM TRUNK FLARES OF TREES AND STEMS OF SHRUBS TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- FERTILIZE AS NEEDED PER RECOMMENDATIONS OF SOIL TESTING LAB.
- THERE IS A 2-YEAR GUARANTEE REQUIRED.
- NO PLANT MATERIAL CHANGES WITHOUT PERMISSION OF THE LANDSCAPE ARCHITECT.
- TREES AND SHRUBS SHALL BE B+B OR CONTAINER - NO BARE ROOT.
- SEEDING - LOAM AND TOPSOIL SHOULD BE 6" AFTER SETTLEMENT, MIN. FERTILIZER AND LIME PER SOIL TESTING LAB RECOMMENDATIONS.
- DO NOT OVER - COMPACT PLANTING AREAS. IF AREAS BECOME COMPACTED, DISC TOP 4"-6" TO UNCOMPACT.
- LOAM - OBTAIN LABORATORY TEST FOR TOPSOIL AND LOAM BORROW. ASK FOR pH (5.5 TO 6.5 PREFERRED), BUFFER pH, ORGANIC MATTER (5 TO 10%), SOLUBLE SALTS, AND SOIL TEXTURE.
- ADD MICORRHIZA SPORES IN PLANT BEDS AND PITS.
- TREES AND SHRUBS SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.
- TREE PITS SHOULD BE FLOODED 2 TIMES IN SUCCESSION WITH WATER, AND EVALUATED FOR DRAINAGE CHARACTERISTICS AFTER A 24 HOUR PERIOD.
- CONTRACTOR SHOULD PLAN TO PROVIDE CLEAN POTABLE WATER, HOSES AND ALL EQUIPMENT TO WATER PLANTS.

- PLANTS SHOULD BE WATERED FROM TIME OF DELIVERY UNTIL ACCEPTANCE.
- USE TREEGATERS TO PROVIDE SLOW, DEEP WATERING FOR TREES.
- GENERAL CONTRACTORS TO REMOVE EXISTING INVASIVE SPECIES ON SITE (NORWAY MAPLE, BUCKTHORN, KNOTWEED, ETC.). CONTROL OF INVASIVE SPECIES SHOULD BE MONITORED THROUGH REGULAR, PERIODIC MAINTENANCE.
- GENERAL CONTRACTOR TO REMOVE ROOT BASKETS, BURLAP, WRAPS AND TIES ENTIRELY AND DISCARD.
- GENERAL CONTRACTOR TO UTILIZE STRAW FOR EROSION CONTROL.
- THE INTENT OF THE SHURB PLANTINGS ARE TO GROW INTO MASSES FOR SCREENING AND VISUAL INTEREST.

Tree Protection

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

PLANT SCHEDULE SINGLE UNIT - FRONT ENTRY DRIVEWAY

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE
MS2	Magnolia virginiana	Sweet Bay	6 - 7' HT.

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
AD	Azalea x 'Delaware Valley White'	Valley White Azalea	18 - 24" SPD
IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	2 - 2 1/2' HT.
JS	Juniperus scopulorum 'Skyrocket'	Skyrocket Columnar Juniper	5 - 6' HT.

GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LC2	Liriope spicata	Creeping Lily Turf	#1 CONT.	15" o.c.

PLANT SCHEDULE SINGLE UNIT - SIDE ENTRY DRIVEWAY

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE
MS2	Magnolia virginiana	Sweet Bay	6 - 7' HT.

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
AD	Azalea x 'Delaware Valley White'	Valley White Azalea	18 - 24" SPD
IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	2 - 2 1/2' HT.
JS	Juniperus scopulorum 'Skyrocket'	Skyrocket Columnar Juniper	5 - 6' HT.

GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LC2	Liriope spicata	Creeping Lily Turf	#1 CONT.	15" o.c.

PLANT SCHEDULE MULTI UNIT - FRONT ENTRY DRIVEWAY

ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE
MS2	Magnolia virginiana	Sweet Bay	6 - 7' HT.

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
AD	Azalea x 'Delaware Valley White'	Valley White Azalea	18 - 24" SPD
IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	2 - 2 1/2' HT.
JS	Juniperus scopulorum 'Skyrocket'	Skyrocket Columnar Juniper	5 - 6' HT.

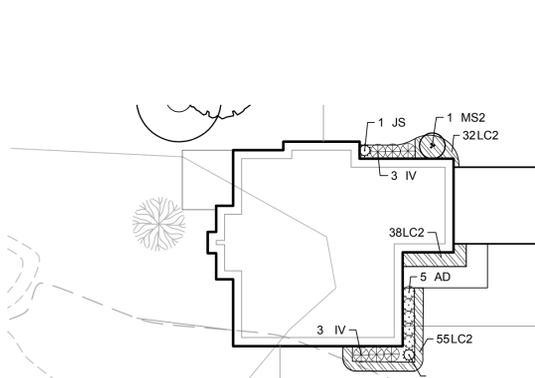
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LC2	Liriope spicata	Creeping Lily Turf	#1 CONT.	15" o.c.

PLANT SCHEDULE MULTI UNIT - FRONT ENTRY AND SIDE ENTRY DRIVEWAY

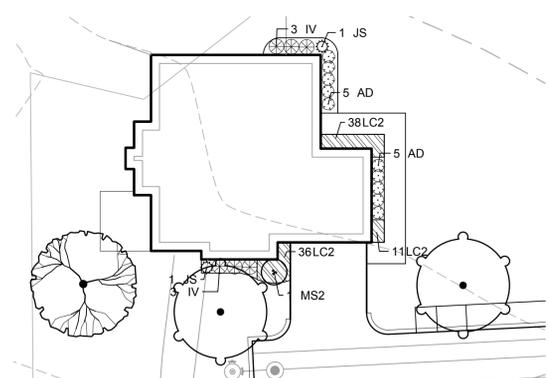
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE
MS2	Magnolia virginiana	Sweet Bay	6 - 7' HT.

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
AD	Azalea x 'Delaware Valley White'	Valley White Azalea	18 - 24" SPD
IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	2 - 2 1/2' HT.
JS	Juniperus scopulorum 'Skyrocket'	Skyrocket Columnar Juniper	5 - 6' HT.

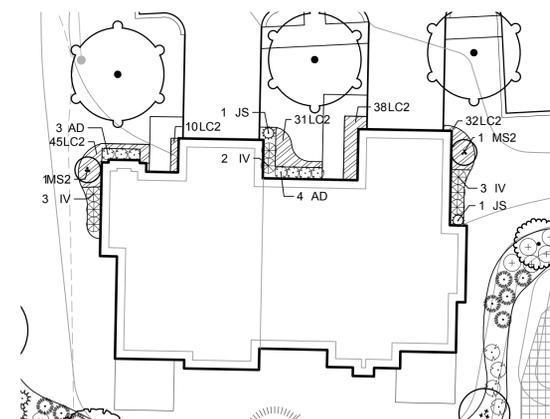
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LC2	Liriope spicata	Creeping Lily Turf	#1 CONT.	15" o.c.



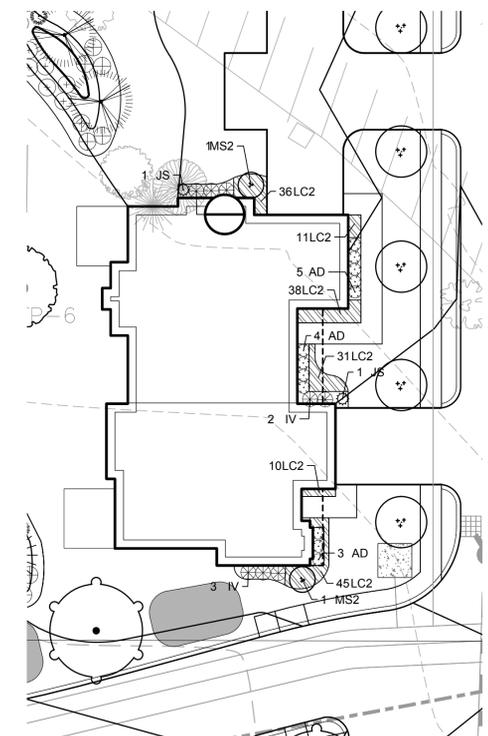
2. SINGLE UNIT - FRONT ENTRY DRIVEWAY



2. SINGLE UNIT - SIDE ENTRY DRIVEWAY



3. MULTI UNIT - FRONT ENTRY DRIVEWAY



4. MULTI UNIT - FRONT ENTRY AND SIDE ENTRY DRIVEWAY

Typical Residential Planting Layouts



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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**Northside Meadows:
Active Adult Housing**
518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Aspd.

Designed by _____ Checked by _____
Issued for _____ Date _____

Local Approvals April 15, 2016

Not Approved for Construction
Drawing Title
**Planting Plan Enlargements
and Planting Notes**
Drawing Number

L-1.4
Sheet 4 of 4
Project Number 13168.00

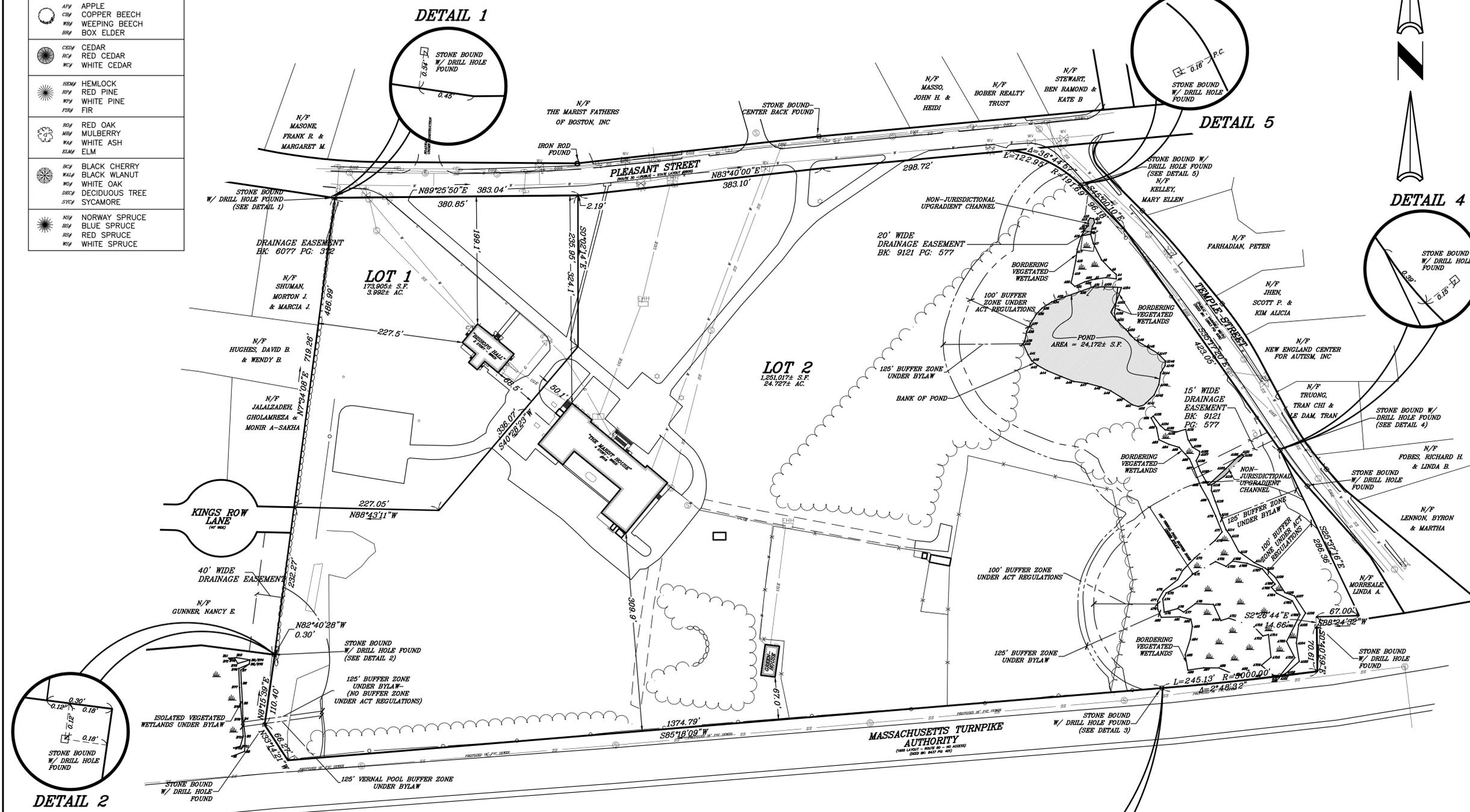
04.26.16

TREE LEGEND

TYPE/SIZE IN # INCHES	
NMA	NORWAY MAPLE
HKA	HICKORY
RAM	RED MAPLE
SMA	SUGAR MAPLE
APA	APPLE
CBM	COPPER BEECH
WBM	WEeping BEECH
BRM	BOX ELDER
CEM	CEDAR
RCM	RED CEDAR
WCM	WHITE CEDAR
HEM	HEMLOCK
RP	RED PINE
WP	WHITE PINE
FR	FIR
RO	RED OAK
MO	MULBERRY
WA	WHITE ASH
EL	ELM
BC	BLACK CHERRY
BLW	BLACK WALNUT
WO	WHITE OAK
DT	DECIDUOUS TREE
SY	SYCAMORE
NS	NORWAY SPRUCE
BS	BLUE SPRUCE
RS	RED SPRUCE
WS	WHITE SPRUCE

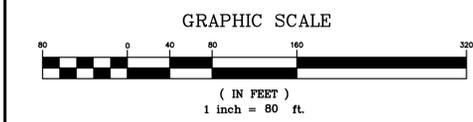
LEGEND

	CATCH BASIN
	DRAIN MANHOLE
	DRAIN LINE
	SANITARY SEWER
	SEWER MANHOLE
	WATER VALVE
	WATER LINE
	GAS LINE
	GAS METER
	GAS VALVE
	CHAINLINK FENCE
	WOOD FENCE
	TREE LINE
	UTILITY POLE
	LIGHT POLE
	ELECTRIC TRANSFORMER
	AIR CONDITIONING UNIT
	ELECTRIC HANDHOLE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SIGN
	WETLAND SYMBOL
	WETLAND FLAG *
	WETLAND LINE
	BITUMINOUS CONCRETE
	VERTICAL GRANITE CURB
	EDGE OF PAVEMENT
	BITUMINOUS CONCRETE CURB
	CAPE COD BERM
	HYDRANT
	WATER VALVE
	ELECTRIC METER
	WIRE FENCE
	CONTOUR LINE (MNR)
	CONTOUR LINE (MIR)
	SPOT GRADE
	WETLAND FLAG



NOTES:

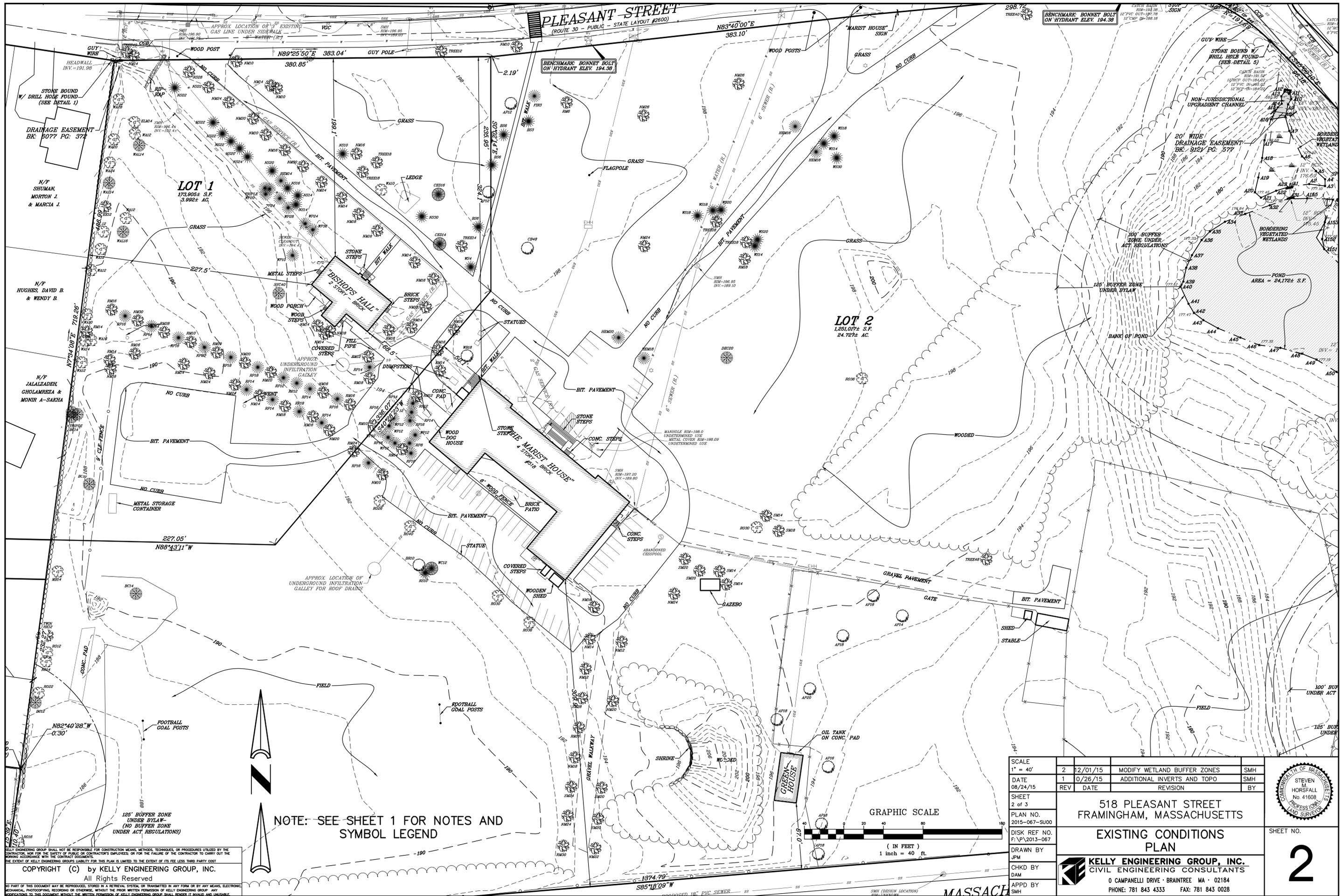
- 1.) UNDERGROUND FEATURES HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KELLY ENGINEERING GROUP, INC. DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KELLY ENGINEERING GROUP, INC. THE SIZE, LOCATION, AND EXISTENCE OF ALL SUCH FEATURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- 2.) THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREBY WERE OBTAINED BY A FIELD SURVEY OF THE PROPERTY BY KELLY ENGINEERING GROUP, INC.
- 3.) THE ELEVATIONS SHOWN HEREBY ARE BASED ON NGVD OF 1929.
- 4.) WETLANDS WERE DELINEATED BY ECOTEC, INC. IN APRIL OF 2013.



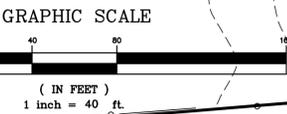
KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR NOR FOR THE SAFETY OF CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
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SCALE	1" = 80'	2	12/01/15	MODIFY WETLAND BUFFER ZONES	SMH
DATE	08/24/15	REV	DATE	10/26/15	ADDITIONAL INVERTS AND TOPO
SHEET		1 OF 3		BY	
PLAN NO.		2015-067-SU00		518 PLEASANT STREET FRAMINGHAM, MASSACHUSETTS	
DISK REF NO.		F:\P\2015-067		EXISTING CONDITIONS PLAN - OVERALL	
DRAWN BY		JPM		KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS	
CHKD BY		DAM		0 CAMPANELLI DRIVE · BRAINTREE MA · 02184	
APPD BY		SMH		PHONE: 781 843 4333 FAX: 781 843 0028	

SHEET NO. **1**



NOTE: SEE SHEET 1 FOR NOTES AND SYMBOL LEGEND

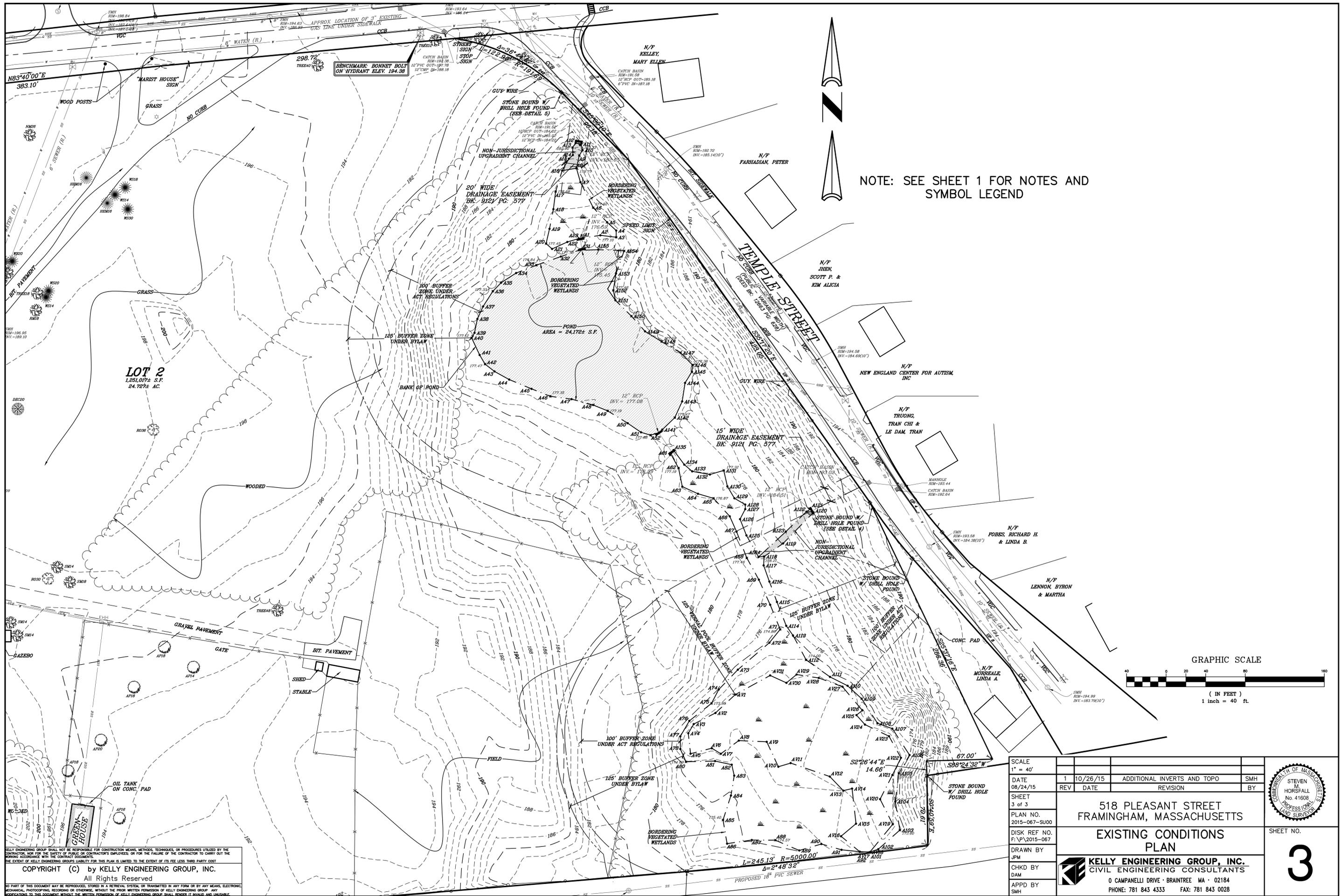


SCALE	1" = 40'	2	12/01/15	MODIFY WETLAND BUFFER ZONES	SMH
DATE	08/24/15	1	0/26/15	ADDITIONAL INVERTS AND TOPO	SMH
SHEET	2 of 3			REVISION	BY
PLAN NO.	2015-067-SU00	518 PLEASANT STREET FRAMINGHAM, MASSACHUSETTS			
DISK REF NO.	F:\P\2013-067				
DRAWN BY	JPM	EXISTING CONDITIONS PLAN KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRAINTREE MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028			
CHKD BY	DAM				
APPD BY	SMH				

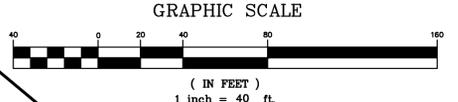


SHEET NO. **2**

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NOTE: SEE SHEET 1 FOR NOTES AND SYMBOL LEGEND

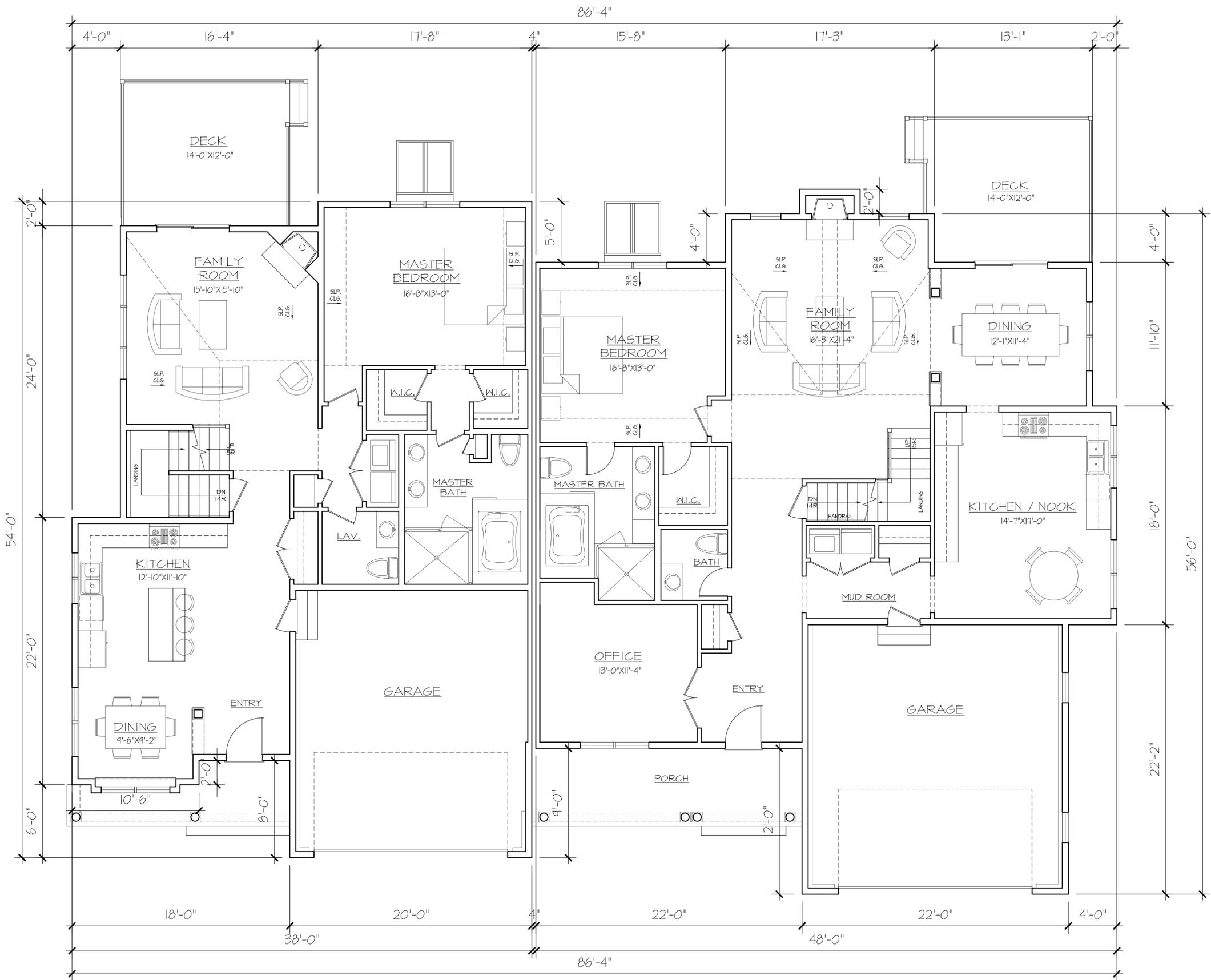


SCALE	1" = 40'			
DATE	08/24/15	REV	1	10/26/15
SHEET	3 of 3			
PLAN NO.	2015-067-SU00			
DISK REF NO.	F:\P\2015-067			
DRAWN BY	JPM			
CHKD BY	DAM			
APPD BY	SMH			
518 PLEASANT STREET FRAMINGHAM, MASSACHUSETTS		ADDITIONAL INVERTS AND TOPO		SMH
EXISTING CONDITIONS PLAN		REVISION		BY
KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS		0 CAMPANELLI DRIVE · BRANTREE MA · 02184		
PHONE: 781 843 4333		FAX: 781 843 0028		



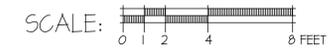
SHEET NO.
3

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FIRST FLOOR (UNIT A)- 1359 SF

FIRST FLOOR (UNIT B)- 1716 SF



DATE:	DATE	
DRAWN BY:	DEY contact@hpadesign.com	
CHECKED BY:	HPA	
PATH:	20150118_BRENDON 20150118	
SCALE:	SEE DRAWING	
REVISIONS:		
#	DATE	DESC.
A	4/14/16	ISS FOR BOARD SUBMISSION

HPA Design, Inc.
ARCHITECTS

- 200 Stonewall Blvd., Suite 5
- Wrentham, MA 02093
- 508.384.8838 (T)
- 508.384.0483 (F)
- contact@hpadesign.com
- www.HPAdesign.com

FIRST FLOOR PLAN

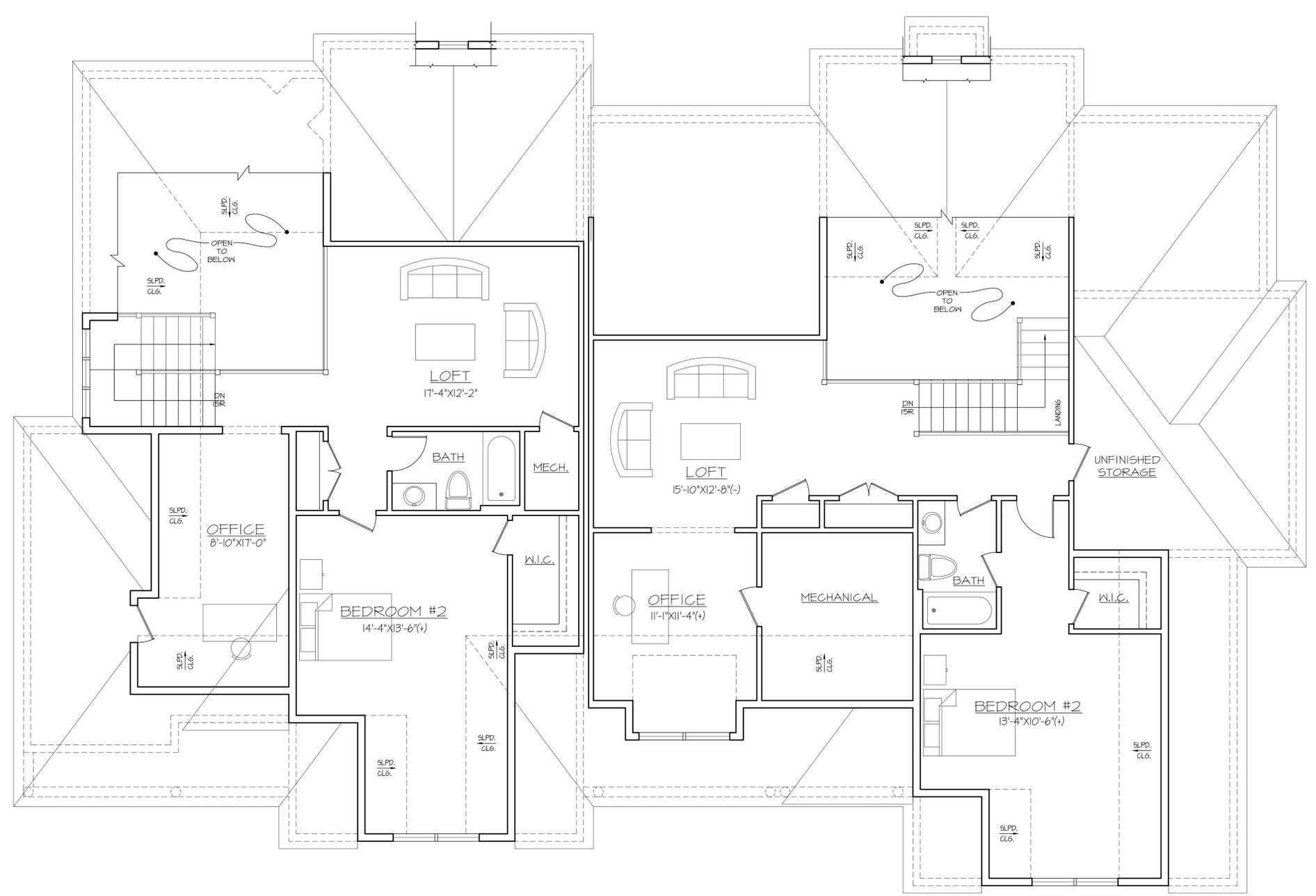
PROPOSED BUILDINGS FOR
NORTHSIDE MEADOW
 FRAMINGHAM, MA

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SHEET:
A1.1
 JOB NO. 20150118

A FIRST FLOOR PLAN

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SECOND FLOOR (UNIT A)- 963 SF

SECOND FLOOR (UNIT B)- 1060 SF



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SECOND FLOOR PLAN

PROPOSED BUILDINGS FOR
NORTHSIDE MEADOW
FRAMINGHAM, MA

A SECOND FLOOR PLAN

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SHEET:
A1.2

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ELEVATIONS

PROPOSED BUILDINGS FOR
NORTHSIDE MEADOW
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SHEET:
A2.2

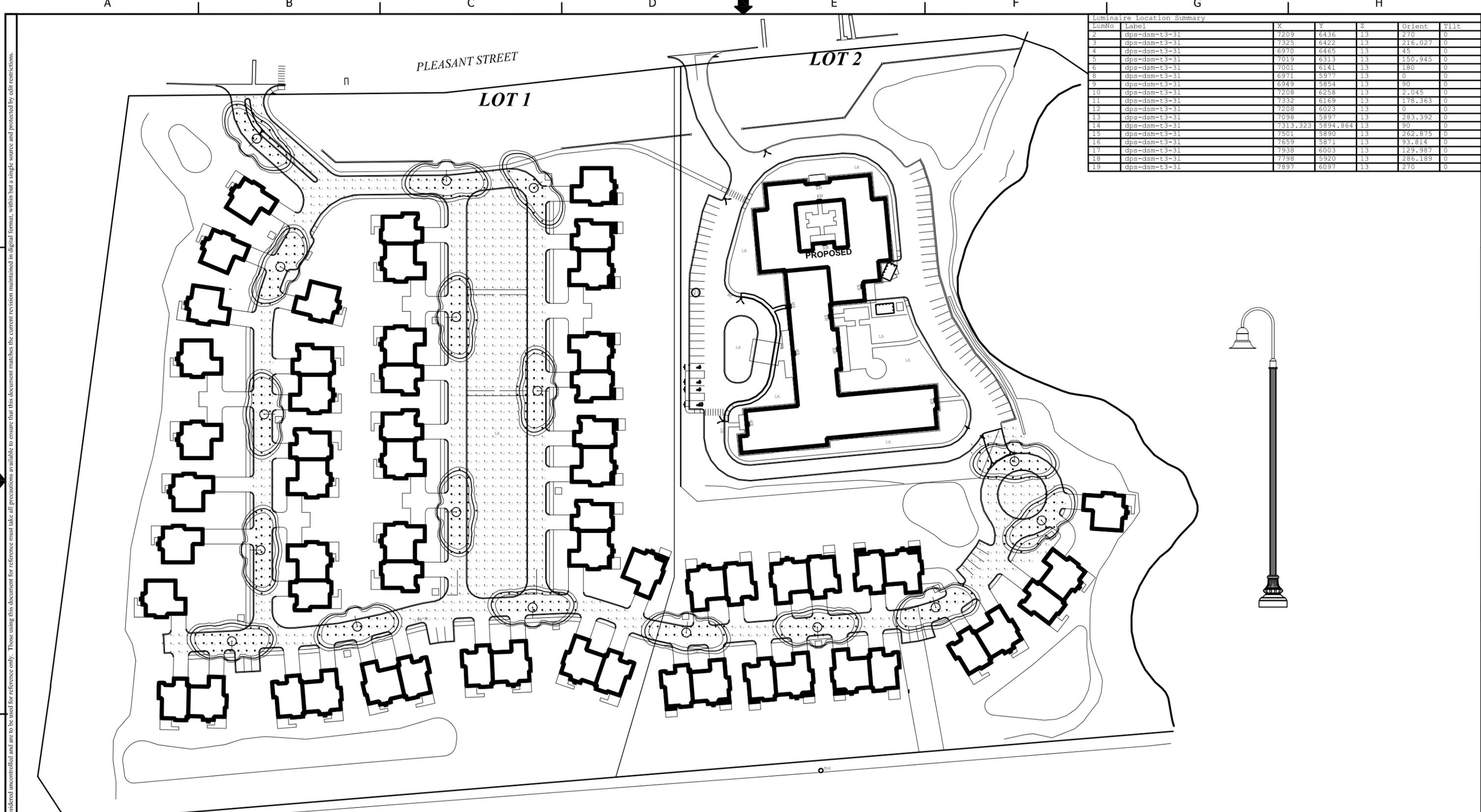
JOB NO. 20150118



A REAR ELEVATION



B LEFT ELEVATION



Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
2	dps-dsm-t3-31	7209	6436	13	270	0
3	dps-dsm-t3-31	7325	6422	13	216.027	0
4	dps-dsm-t3-31	6970	6465	13	45	0
5	dps-dsm-t3-31	7019	6313	13	150.945	0
6	dps-dsm-t3-31	7001	6141	13	180	0
8	dps-dsm-t3-31	6971	5977	13	0	0
9	dps-dsm-t3-31	6949	5854	13	90	0
10	dps-dsm-t3-31	7208	6258	13	2.045	0
11	dps-dsm-t3-31	7332	6169	13	178.363	0
12	dps-dsm-t3-31	7208	6023	13	0	0
13	dps-dsm-t3-31	7098	5897	13	283.392	0
14	dps-dsm-t3-31	7313.323	5894.864	13	90	0
15	dps-dsm-t3-31	7501	5890	13	262.875	0
16	dps-dsm-t3-31	7659	5871	13	93.814	0
17	dps-dsm-t3-31	7938	6003	13	129.987	0
18	dps-dsm-t3-31	7798	5920	13	286.189	0
19	dps-dsm-t3-31	7897	6097	13	270	0

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Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts
⊙	17	dps-dsm-t3-31	SINGLE	0.900	DPS-DSM-T3-3L	81.2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
poly parking & road	Illuminance	Fc	0.55	3.8	0.0	N.A.	N.A.
poly parking & road 1	Illuminance	Fc	1.65	4.1	0.0	N.A.	N.A.
poly parking & road 2	Illuminance	Fc	2.05	4.7	1.0	2.05	4.70
poly parking & road 3	Illuminance	Fc	0.33	0.4	0.2	1.65	2.00

STATE: MA	REQ# / SO# :	REV	DESCRIPTION	DATE	REV BY/CHK BY
PROJECT NAME: NORTHSIDE MEADOWS, FRAMINGHAM			REVISIONS		
LIGHTING ANALYSIS LED 82W 3000K TYPE 3 AMERLUX DPS PENDANT, ND874-A58 POLE, 13' MH					
	DESIGNED BY		CHECKED BY	DATE	SCALE
	MB			4/14/16	ENG REF
Framingham AC				REVISION	SHEET
				R1	1 OF 1

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