

ZONED: RESIDENCE R-1
 NEIGHBORHOOD CLUSTER DEVELOPMENT
 FRONTAGE = 30 feet
 SETBACKS: FRONT = 15 feet
 SIDE = 10 feet
 Zero lot line may be allowed with
 Planning Board Approval.
 DISTANCE BETWEEN BUILDINGS = 20 feet
 MAX. HEIGHT = 2 stories/30 feet
 REAR = 25 feet to development lots
 REAR = 30 feet to site perimeter
 REAR = 30 feet to common land

GENERAL NOTES:

- EXISTING TOPOGRAPHY IS BASED UPON ON-GROUND TOPOGRAPHICAL SURVEY BY: CONNORSTONE ENGINEERING, INC. IN JANUARY 2013. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- PROPERTY LINES SHOWN ARE BASED UPON A BOUNDARY SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN DECEMBER 2012.
- THE PARCEL IS SHOWN ON ASSESSORS MAP 85, BLOCK 168, LOT 27C AND A PORTION OF LOT 490. TOTAL SITE AREA = 9.26 ACRES.
- THE SITE IS NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE TOWN OF FRAMINGHAM, COMMUNITY PANEL 517 OF 656 MAP No. 25017C0517E, DATED JUNE 4, 2010.
- THERE ARE NO KNOWN WETLANDS RESOURCE AREAS LOCATED WITHIN 100' OF THE PROPOSED WORK.

SECTION IV.R.3.b. SPECIAL REGULATIONS
 NCD DENSITY FORMULA

- TOTAL GROSS LAND AREA (T)-INFRASTRUCTURE (I)-WETLANDS (W)-SLOPES (S)=NET BUILDABLE AREA (NBA) = 267,969 S.F.
- NET BUILDABLE AREA (NBA) / MINIMUM LOT AREA (MLA) = BASE RESIDENTIAL DENSITY (BRD) = 33.49
- BASE RESIDENTIAL DENSITY (BRD) * MINIMUM OPEN SPACE (ORU) = COMMON LAND AREA (C) = 93,772 S.F.
- NET BUILDABLE AREA (NBA) - COMMON LAND AREA (C) = DEVELOPABLE AREA = 174,197 S.F.
- DEVELOPABLE AREA (DA) / MINIMUM LOT AREA (MLA) * NUMBER OF BEDROOMS (TB) = ALLOWED BEDROOM COUNT (ABC) = 76.2 BEDROOMS

- (T) = TOTAL GROSS LAND AREA = 403,526 S.F.
 (I) = 12% OF TOTAL GROSS LAND AREA FOR INFRASTRUCTURE = 48,423 S.F.
 (W) = 100% OF WETLANDS ON SITE = 0 S.F.
 (S) = TOTAL SLOPE GREATER THAN 20% ON SITE = 87,134 S.F.
 (NBA) = NET BUILDABLE AREA = 267,969 S.F.
 (MLA) = MINIMUM LOT AREA FOR SINGLE FAMILY DETACHED DWELLING IN R-1 DISTRICT = 8,000 S.F.
 (BRD) = BASE RESIDENTIAL DENSITY = 33.49
 (ORU) = MINIMUM OPEN SPACE PER RESIDENTIAL UNIT IS 2,800 PER UNIT
 (C) = MINIMUM REQUIRED COMMON LAND AREA = 93,772 S.F.
 (DA) = DEVELOPABLE AREA = 174,197 S.F.
 (TB) = NUMBER OF BEDROOMS PER UNIT IS 3.5 BEDROOMS
 (ABC) = ALLOWED BEDROOM COUNT = 76.2

PROPOSED BEDROOMS = 74

SECTION IV.R.4.b.1. SPECIAL REGULATIONS
 COMMON LAND DESIGN STANDARDS

TOTAL SITE AREA = 403,526 S.F. x 30% = 121,058 S.F. REQUIRED MINIMUM COMMON LAND
 COMMON LAND AREA PROVIDED = 179,743 S.F.
 COMMON LAND <20% SLOPE = 105,825 S.F.
 COMMON LAND >20% SLOPE = 73,918 S.F.
 25% OF COMMON LAND >20% = 18,480 S.F.
 105,825 S.F. + 18,480 S.F. = 124,305 S.F. OF COMPLIANT COMMON LAND

SHEET INDEX:

- 1 OF 1 LAND PLAN
- 1 OF 14 LOCUS PLAN
- 2 OF 14 EXISTING CONDITIONS PLAN
- 3 OF 14 MODERATE SLOPE WORKSHEET
- 4 & 5 OF 14 TOPOGRAPHIC PLANS
- 6 OF 14 UTILITY & DRAINAGE PLAN
- 7,8 OF 14 PROFILE PLANS
- 9 OF 14 EROSION CONTROL PLAN
- 10,11,12,13,14 OF 14 CONSTRUCTION DETAILS
- 15 TOTAL SHEETS

OWNER & APPLICANT

CLARK'S HILL CORPORATE CENTER, LLC
 1881 WORCESTER ROAD, SUITE 200
 FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER

HERITAGE PROPERTIES
 490-B BOSTON POST ROAD, SUITE 202
 SUDBURY, MA 01776

DEFINITIVE PLAN
INDEX SHEET/LOCUS PLAN
CLARK'S HILL VILLAGE
 IN
FRAMINGHAM, MA

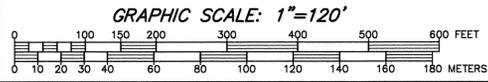
CONNORSTONE
 CONSULTING CIVIL ENGINEERS
 AND
 LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532

MAY 22, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013
DESIGNED BY: REM,GFC
CHECKED BY: VC,VHH
COMPUTED BY: VC,REM
FIELD SURVEY: SMC,RLS
DRAWN BY: REM
SCALE: 1"=120'
SHEET 1 OF 14.

SPECIAL PERMIT APPROVAL UNDER
 SECTIONS IV.H.2., IV.O., IV.R., AND V.E.
 FRAMINGHAM PLANNING BOARD



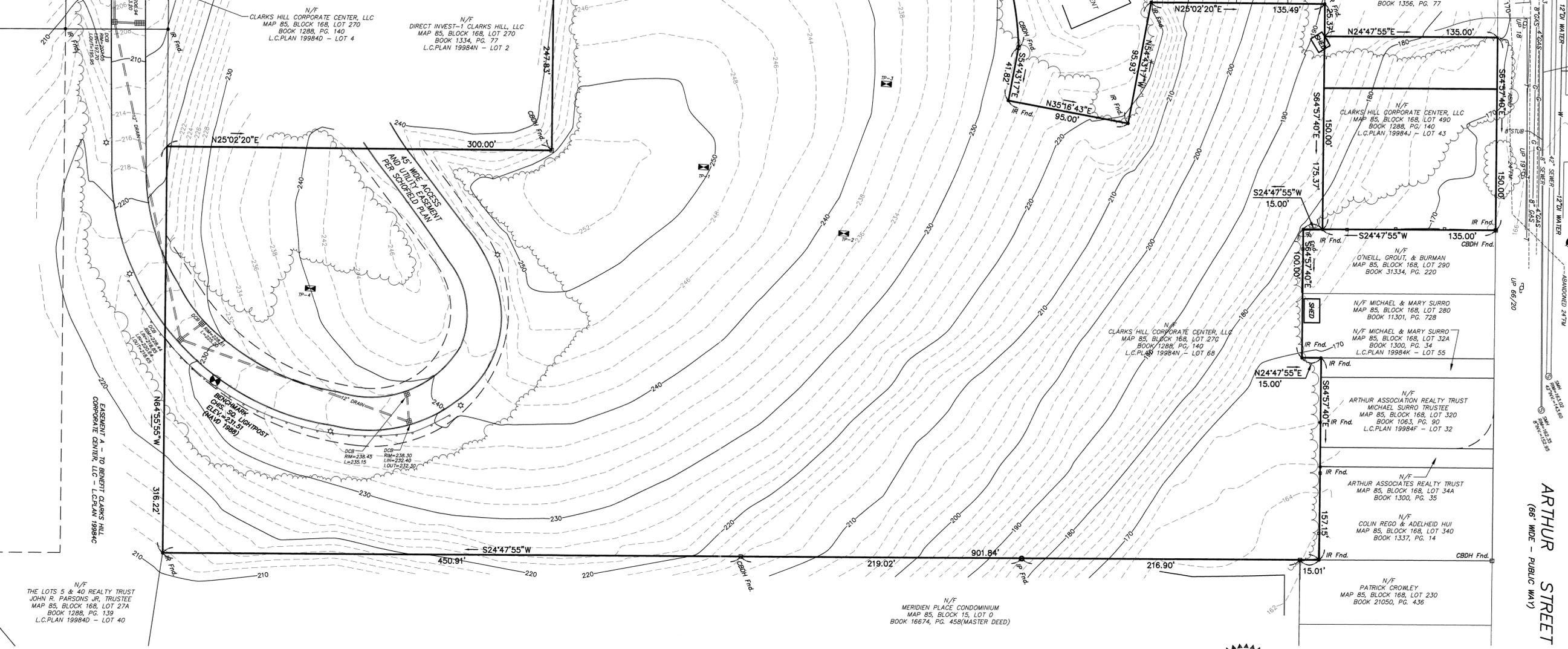
[Signatures]
 DATE: 02/03/14



EVERIT AVENUE
(90' WIDE - PRIVATE WAY)

SOIL TEST LOGS:

<p>TP-1 0-4" A 4-24" B SL 10YR5/6 24-108" C SL 2.5Y5/3 REFUSAL BOULDERS MOTTLES AT 36" NO WATER</p>	<p>TP-3 0-5" A 5-24" B SL 10YR5/6 24-120" C SL 2.5Y5/3 NO REFUSAL MOTTLES AT 24" NO WATER</p>
<p>TP-2 0-4" A 4-24" B SL 10YR5/6 24-120" C SL 2.5Y5/4 NO REFUSAL MOTTLES AT 30" NO WATER</p>	<p>TP-4 0-6" A 6-22" B SL 10YR5/6 22-160" C SL 2.5Y5/3 NO REFUSAL MOTTLES AT 22" NO WATER</p>



ARTHUR STREET
(66' WIDE - PUBLIC WAY)

ARTHUR STREET
(66' WIDE - PUBLIC WAY)

- LEGEND**
- UTILITY POLE
 - ⊙ EXISTING DMH
 - EXISTING DCB
 - FES ◀ PROPOSED FLARED END
 - SC ⊙ PROPOSED STORMCEPTOR
 - DCB □ PROPOSED CATCH BASIN
 - DMH ⊙ PROPOSED MANHOLE
 - DI ⊙ PROPOSED DROP INLET
 - ⊙ PROPOSED HYDRANT
 - DTH-7 ⊙ SOIL TEST HOLE
 - PT-7 ⊙ PERCOLATION TEST
 - — — STONE WALL
 - — — TREELINE
 - — — 300' 10' CONTOUR
 - — — 302' 2' CONTOUR
 - — — 257x5 SPOT GRADE
 - — — FINISH GRADE
 - — — OHW
 - — — WATER
 - — — WATER GATE
 - — — E.T.C.
 - — — GAS
 - — — DRAIN
 - — — SCWER
 - — — EXISTING DRAIN
 - — — ZONING SETBACK
 - WF-1 WF-2
 - — — PROPOSED HAYBALES
 - — — 20' WETLAND OFFSET
 - — — 100' WETLAND BUFFER ZONE

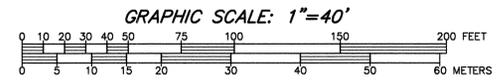
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REAR = 30 feet to site perimeter
REAR = 30 feet to common land

OWNER & APPLICANT
CLARKS HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

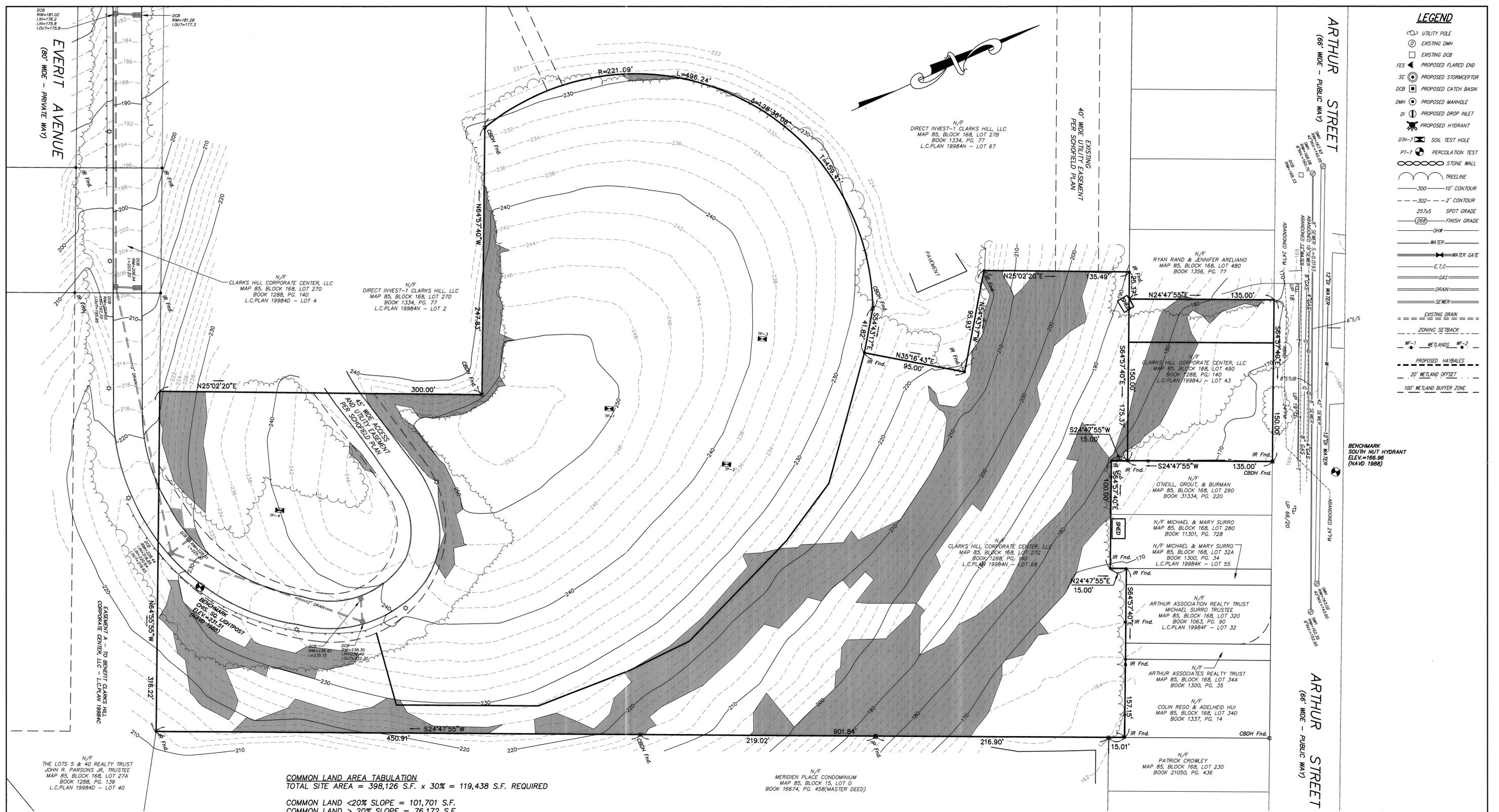
DEVELOPER & SUBDIVIDER
HERITAGE PROPERTIES
490-B BOSTON POST ROAD, SUITE 202
SUDBURY, MA 01776

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

[Signature]
DATE: 09/03/14



<p>CONNORSTONE CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 10 SOUTHWEST CUTOFF, SUITE 7 NORTHBOROUGH, MASSACHUSETTS 01532</p>	<p>DESIGNED BY: REM, VC CHECKED BY: VC COMPUTED BY: FIELD SURVEY: DRAWN BY: REM SCALE: 1"=40' SHEET 2 OF 14.</p>	<p>DEFINITIVE PLAN EXISTING CONDITIONS PLAN CLARK'S HILL VILLAGE IN FRAMINGHAM, MA</p>	<p>MAY 22, 2014 APRIL 25, 2014 FEB. 6, 2014 REVISIONS DATE: OCT. 10, 2019</p>
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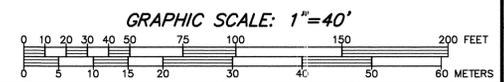
- LEGEND**
- UTILITY POLE
 - EXISTING DMH
 - EXISTING DCB
 - FES ◀ PROPOSED FLARED END
 - SC ⊙ PROPOSED STORAGECEPTOR
 - DCB ⊠ PROPOSED CATCH BASIN
 - DMH ⊙ PROPOSED MANHOLE
 - DI ⊙ PROPOSED DROP INLET
 - ⊙ PROPOSED HYDRANT
 - DTH-7 ⊠ SOIL TEST HOLE
 - PT-7 ⊙ PERCOLATION TEST
 - ○ ○ ○ ○ STONE WALL
 - ~ TREELINE
 - 300 --- 10' CONTOUR
 - 302 --- 2' CONTOUR
 - 257.5 --- SPOT GRADE
 - (268) --- FINISH GRADE
 - OHW --- OHW
 - WATER --- WATER
 - WATER GATE
 - E.T.C. --- E.T.C.
 - GAS
 - DRAIN
 - SEWER
 - EXISTING DRAIN
 - ZONING SETBACK
 - WF-1 --- WETLANDS WF-2
 - PROPOSED HAYBALES
 - 20' WETLAND OFFSET
 - 100' WETLAND BUFFER ZONE

COMMON LAND AREA TABULATION
 TOTAL SITE AREA = 398,126 S.F. x 30% = 119,438 S.F. REQUIRED
 COMMON LAND <20% SLOPE = 101,701 S.F.
 COMMON LAND > 20% SLOPE = 76,172 S.F.
 25% OF COMMON LAND ALLOWED >20% = 19,043 S.F.
 101,701 S.F. + 19,043 S.F. = 120,744 S.F. OF COMPLIANT COMMON LAND

█ = DENOTES SLOPES 20% AND GREATER.

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

DATE: 09/03/14



OWNER & APPLICANT
 CLARKS HILL CORPORATE CENTER, LLC
 1881 WORCESTER ROAD, SUITE 200
 FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER
 HERITAGE PROPERTIES
 490-B BOSTON POST ROAD, SUITE 202
 SUDBURY, MA 01776

CONNORSTONE
 CONSULTING CIVIL ENGINEERS
 AND
 LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY: REM, VC
 CHECKED BY: VC
 COMPUTED BY:
 FIELD SURVEY:
 DRAWN BY: REM
 SCALE: 1"=40'
 SHEET 3 OF 14.

DEFINITIVE PLAN
 MODERATE SLOPE WORKSHEET
 CLARK'S HILL VILLAGE
 IN
 FRAMINGHAM, MA

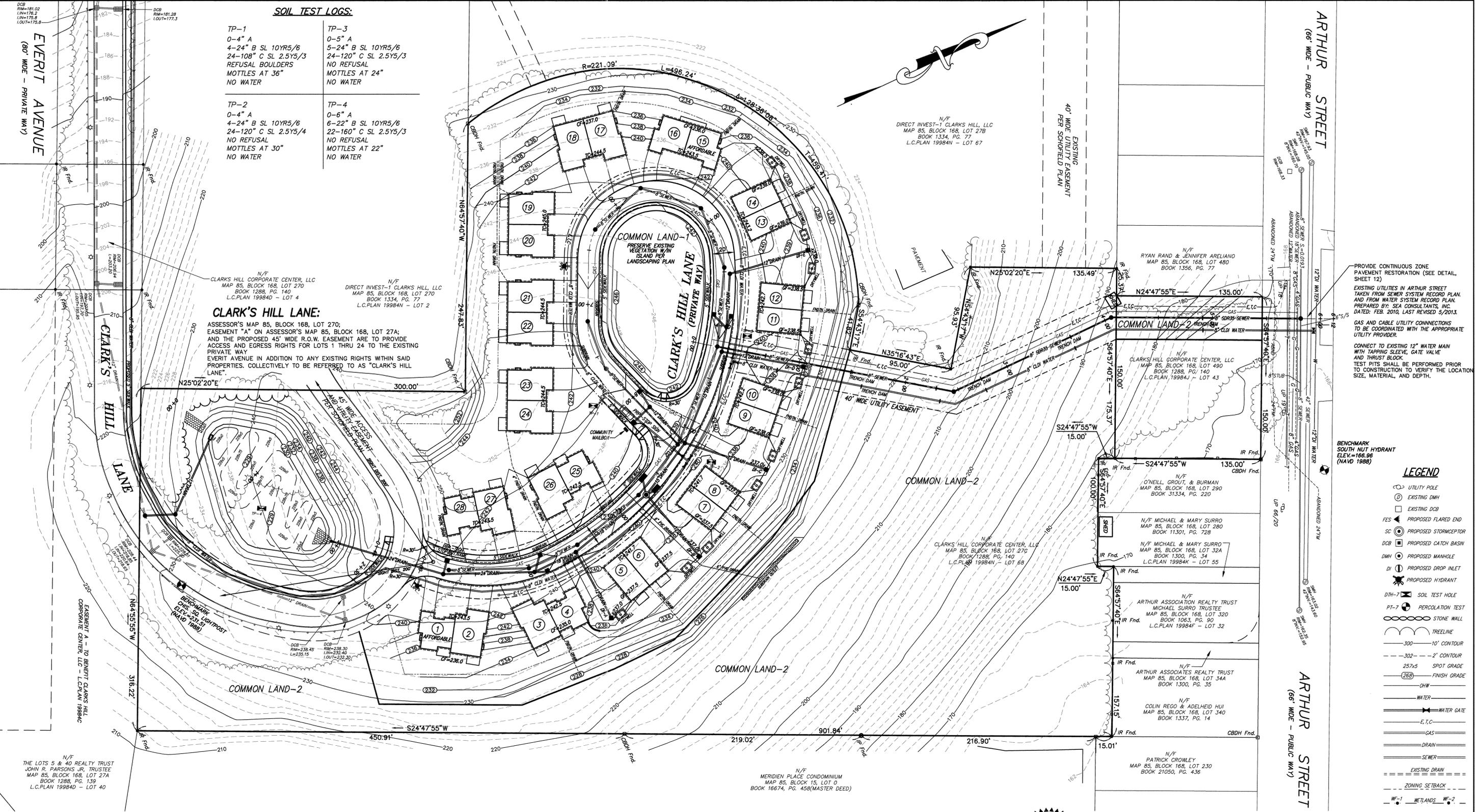
MAY 22, 2014
 APRIL 25, 2014
 REVISIONS
 DATE: OCT. 10, 2013

EVERIT AVENUE
(80' WIDE - PRIVATE WAY)

SOIL TEST LOGS:

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CLARK'S HILL LANE:
ASSESSOR'S MAP 85, BLOCK 168, LOT 270;
EASEMENT "A" ON ASSESSOR'S MAP 85, BLOCK 168, LOT 27A;
AND THE PROPOSED 45' WIDE R.O.W. EASEMENT ARE TO PROVIDE
ACCESS AND EGRESS RIGHTS FOR LOTS 1 THRU 24 TO THE EXISTING
PRIVATE WAY
EVERIT AVENUE IN ADDITION TO ANY EXISTING RIGHTS WITHIN SAID
PROPERTIES. COLLECTIVELY TO BE REFERRED TO AS "CLARK'S HILL
LANE".



PROVIDE CONTINUOUS ZONE
PAVEMENT RESTORATION (SEE DETAIL,
SHEET 12)
EXISTING UTILITIES IN ARTHUR STREET
TAKEN FROM SEWER SYSTEM RECORD PLAN
AND FROM WATER SYSTEM RECORD PLAN.
PREPARED BY: SEA CONSULTANTS, INC.
DATED: FEB. 2010, LAST REVISED 5/2013.
GAS AND CABLE UTILITY CONNECTIONS
TO BE COORDINATED WITH THE APPROPRIATE
UTILITY PROVIDER.
CONNECT TO EXISTING 12" WATER MAIN
WITH TAPPING SLEEVE, GATE VALVE
AND THRUST BLOCK.
TEST PITS SHALL BE PERFORMED PRIOR
TO CONSTRUCTION TO VERIFY THE LOCATION,
SIZE, MATERIAL, AND DEPTH.

- BENCHMARK**
SOUTH NUT HYDRANT
ELEV=168.86
(NAVD 1988)
- LEGEND**
- UTILITY POLE
 - ⊙ EXISTING DMH
 - EXISTING DCB
 - FES □ PROPOSED FLARED END
 - SC ○ PROPOSED STORMCEPTOR
 - DCB □ PROPOSED CATCH BASIN
 - DMH ○ PROPOSED MANHOLE
 - DI ○ PROPOSED DROP INLET
 - ⊙ PROPOSED HYDRANT
 - DTM-7 □ SOIL TEST HOLE
 - PT-7 ○ PERCOLATION TEST
 - ○ STONE WALL
 - TREELINE
 - 300' — 10' CONTOUR
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 - 257x5 SPOT GRADE
 - 260' FINISH GRADE
 - OHW
 - WATER
 - WATER GATE
 - E.T.C.
 - GAS
 - DRAIN
 - SEWER
 - EXISTING DRAIN
 - ZONING SETBACK
 - WF-1 WETLANDS WF-2
 - PROPOSED HAYBALES
 - 20' WETLAND OFFSET
 - 100' WETLAND BUFFER ZONE

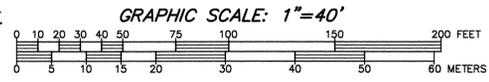
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NEIGHBORHOOD CLUSTER DEVELOPMENT
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Planning Board Approval.
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REAR = 25 feet to development lots
REAR = 30 feet to site perimeter
REAR = 30 feet to common land

OWNER & APPLICANT
CLARKS HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER
HERITAGE PROPERTIES
490-B BOSTON POST ROAD, SUITE 202
SUDBURY, MA 01776

SPECIAL PERMIT APPROVAL UNDER
SECTIONS IV.H.2., IV.O., IV.R., AND V.E.
FRAMINGHAM PLANNING BOARD

[Signature]
DATE: 09/03/14

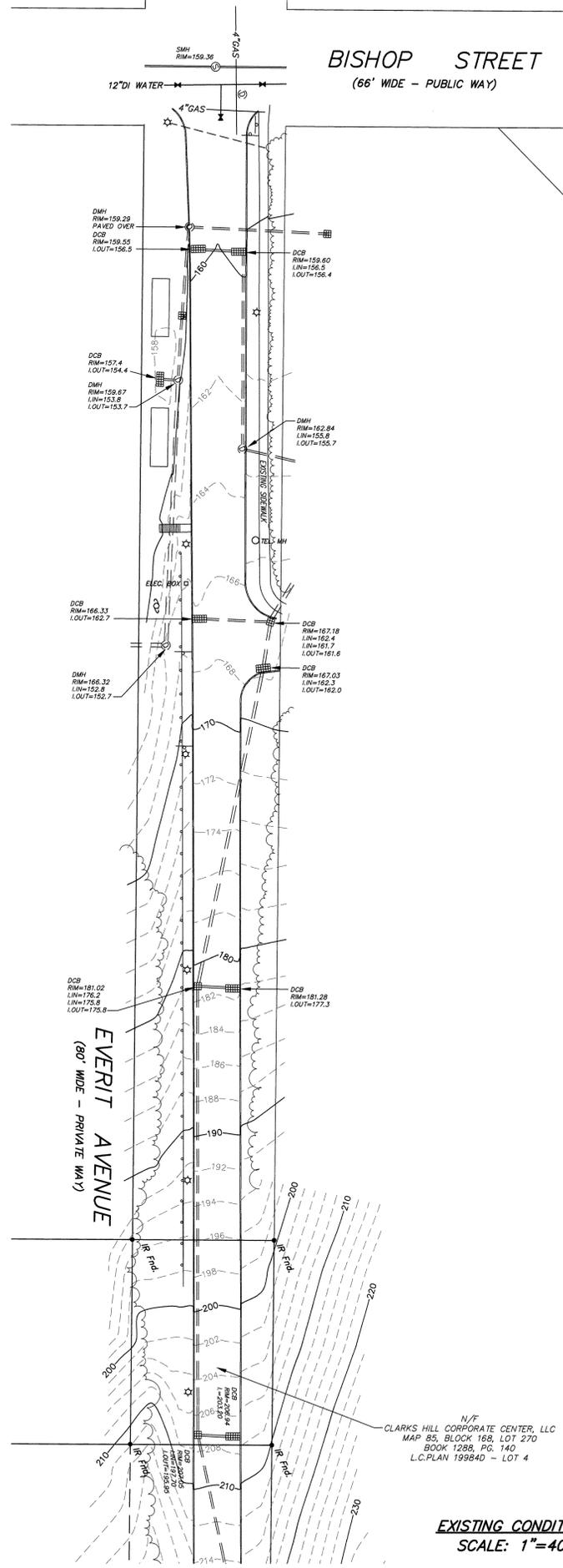


CONNORSTONE
CONSULTING CIVIL ENGINEERS
AND
LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY: REM, VC
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: 1"=40'
SHEET 4 OF 14.

DEFINITIVE PLAN
TOPOGRAPHY PLAN
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

MAY 22, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013

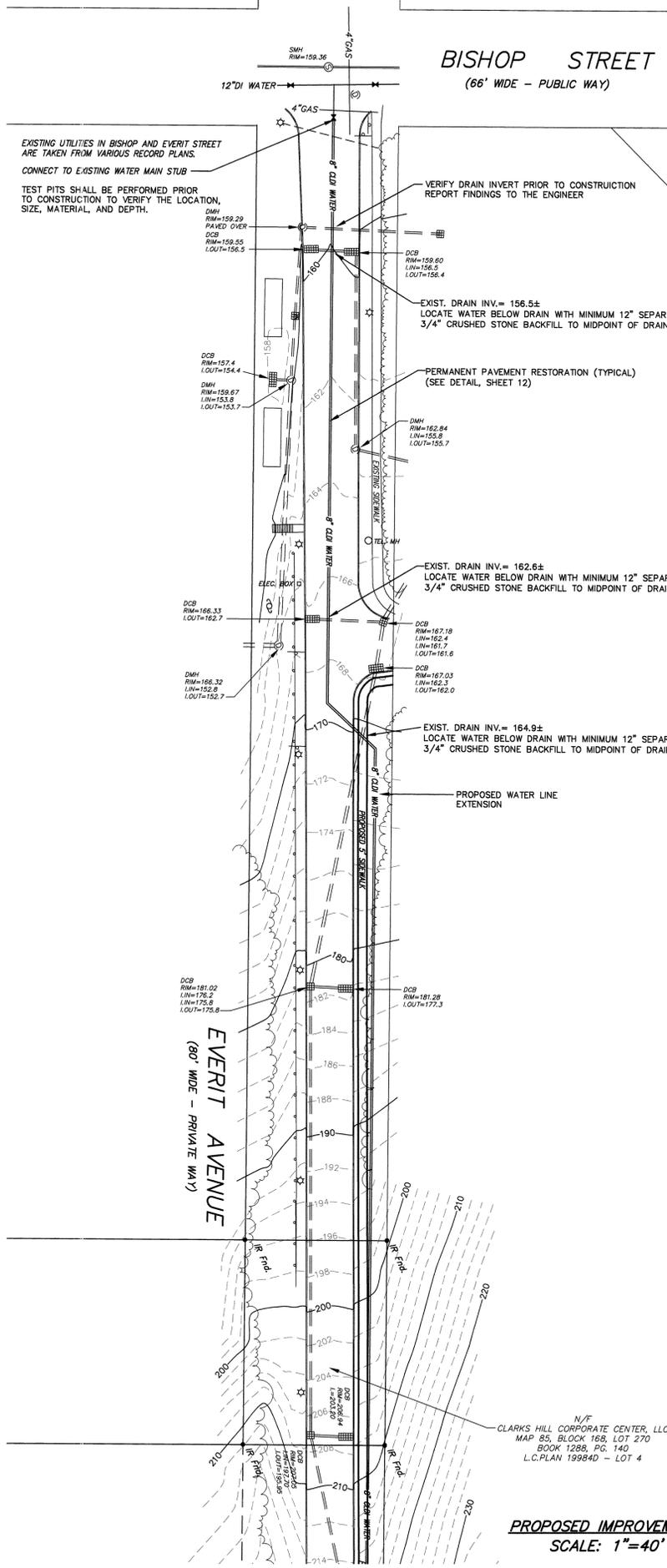


BISHOP STREET
(66' WIDE - PUBLIC WAY)

EVERIT AVENUE
(60' WIDE - PRIVATE WAY)

N/F
CLARKS HILL CORPORATE CENTER, LLC
MAP 85, BLOCK 168, LOT 270
BOOK 1286, PG. 140
L.C.PLAN 19984D - LOT 4

EXISTING CONDITIONS
SCALE: 1"=40'

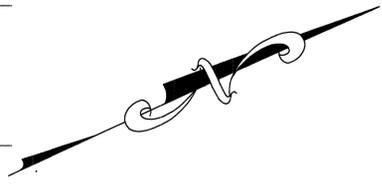


BISHOP STREET
(66' WIDE - PUBLIC WAY)

EVERIT AVENUE
(60' WIDE - PRIVATE WAY)

N/F
CLARKS HILL CORPORATE CENTER, LLC
MAP 85, BLOCK 168, LOT 270
BOOK 1286, PG. 140
L.C.PLAN 19984D - LOT 4

PROPOSED IMPROVEMENTS
SCALE: 1"=40'



EXISTING UTILITIES IN BISHOP AND EVERIT STREET ARE TAKEN FROM VARIOUS RECORD PLANS.
CONNECT TO EXISTING WATER MAIN STUB
TEST PITS SHALL BE PERFORMED PRIOR TO CONSTRUCTION TO VERIFY THE LOCATION, SIZE, MATERIAL, AND DEPTH.

VERIFY DRAIN INVERT PRIOR TO CONSTRUCTION REPORT FINDINGS TO THE ENGINEER

EXIST. DRAIN INV. = 156.5±
LOCATE WATER BELOW DRAIN WITH MINIMUM 12" SEPARATION
3/4" CRUSHED STONE BACKFILL TO MIDPOINT OF DRAIN.

PERMANENT PAVEMENT RESTORATION (TYPICAL) (SEE DETAIL, SHEET 12)

EXIST. DRAIN INV. = 162.6±
LOCATE WATER BELOW DRAIN WITH MINIMUM 12" SEPARATION
3/4" CRUSHED STONE BACKFILL TO MIDPOINT OF DRAIN.

EXIST. DRAIN INV. = 164.9±
LOCATE WATER BELOW DRAIN WITH MINIMUM 12" SEPARATION
3/4" CRUSHED STONE BACKFILL TO MIDPOINT OF DRAIN.

PROPOSED WATER LINE EXTENSION

TOWN OF FRAMINGHAM PUBLIC WORKS DEPARTMENT, ENGINEERING DEPARTMENT, AND PLANNING BOARD SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY ROADWAY OR MUNICIPAL SERVICE CONSTRUCTION. NO PORTIONS OF ANY UTILITIES SHALL BE BACKFILLED UNTIL APPROVAL FOR SUCH BACKFILLING IS OBTAINED IN WRITING FROM THE PUBLIC WORKS AND ENGINEERING DEPARTMENTS. SUCH APPROVAL DOES NOT CONSTITUTE ACCEPTANCE OF SUCH UTILITIES BY TOWN OF FRAMINGHAM.

LEGEND

- UTILITY POLE
- ⊙ EXISTING DMH
- EXISTING DCB
- FES ◀ PROPOSED FLARED END
- SC ⊙ PROPOSED STORMCEPTOR
- DCB ⊙ PROPOSED CATCH BASIN
- DMH ⊙ PROPOSED MANHOLE
- DI ⊙ PROPOSED DROP INLET
- ⊙ PROPOSED HYDRANT
- DTH-7 ⊙ SOIL TEST HOLE
- PT-7 ⊙ PERCOLATION TEST
- STONE WALL
- TREELINE
- 300 — 10' CONTOUR
- 302 — 2' CONTOUR
- 257.5 SPOT GRADE
- 268 FINISH GRADE
- OHW —
- WATER —
- WATER GATE —
- E, T, C —
- GAS —
- DRAIN —
- SEWER —
- EXISTING DRAIN —
- ZONING SETBACK —
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- 20' WETLAND OFFSET —
- 100' WETLAND BUFFER ZONE —

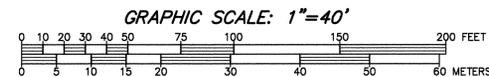
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[Signature]
[Signature]
[Signature]

DATE: 07/23/14

OWNER & APPLICANT
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1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER
HERITAGE PROPERTIES
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SUDBURY, MA 01776



DEFINITIVE PLAN
TOPOGRAPHY PLAN
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

CONNORSTONE
CONSULTING CIVIL ENGINEERS
AND
LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
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COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: 1"=40'
SHEET 5 OF 14.

EVERIT AVENUE
(80' WIDE - PRIVATE WAY)

DRIVEWAY CURB OPENING TABLE:
CURB OPENINGS LISTED ARE AT THE STREET LINE.

22' WIDE DRIVEWAY OPENINGS:	LOTS 1 & 22
20' WIDE DRIVEWAY OPENINGS:	LOTS 2, 3, 4, 6, 7, 8, 9, 10, 13, 16, 17, 18, 20, 21
16' WIDE DRIVEWAY OPENINGS:	LOT 5
12' WIDE DRIVEWAY OPENINGS:	LOTS 11, 12, 14, 15, 19

CLARK'S HILL LANE:
ASSESSOR'S MAP 85, BLOCK 168, LOT 270;
EASEMENT "A" ON ASSESSOR'S MAP 85, BLOCK 168, LOT 27A;
AND THE PROPOSED 45' WIDE R.O.W. EASEMENT ARE TO PROVIDE
ACCESS AND EGRESS RIGHTS FOR LOTS 1 THRU 24 TO THE EXISTING
PRIVATE WAY
EVERIT AVENUE IN ADDITION TO ANY EXISTING RIGHTS WITHIN SAID
PROPERTIES. COLLECTIVELY TO BE REFERRED TO AS "CLARK'S HILL
LANE".

CLARK'S HILL CORPORATE CENTER, LLC
MAP 85, BLOCK 168, LOT 270
BOOK 1288, PG. 140
L.C.PLAN 19984D - LOT 4

DIRECT INVEST-1 CLARK'S HILL, LLC
MAP 85, BLOCK 168, LOT 270
BOOK 1334, PG. 77
L.C.PLAN 19984N - LOT 2

SPILLWAY ELEV. 233.0

OUTLET CONTROL STRUCTURE
TOP CONC./RIM=232.75
4" DIA. ORIFICE INV.=229.5
6" DIA. ORIFICE INV.=230.5
8" DIA. ORIFICE INV.=231.5
12" INV. OUT=227.00

ALL UTILITY BOXES/TRANSFORMERS
SHALL BE SCREENED ON 3 SIDES
WITH SHRUBS (18" MIN. AT TIME OF PLANTING)

DMH-A, RIM=230.0
12" IN=224.4
12" OUT=221.4

DMH-B, RIM=226.44
PRP. 12" IN=220.15
12" IN=216.1 (MATCH EXIST.)
12" OUT=215.9 (MATCH EXIST.)

CONSTRUCTED
STORMWATER WETLAND

COMMON LAND-2

COMMON LAND-1
PRESERVE EXISTING
VEGETATION W/IN
LANDSCAPING PLAN

DMH 4+00, 5' RT
RIM=239.97
(2) 12" IN=235.50 (CB)
12" IN=234.40 (DMH)
12" OUT=234.30

DCB 8+00, LT
RIM=239.65
12" OUT=234.90

DMH 8+17, 5' LT
RIM=239.30
(2) 12" IN=234.50 (DMH)
12" OUT=234.40

OB 8+17
RIM=238.8
12" OUT=234.9

COMMON LAND-2

DMH 1+45
RIM=239.60
12" IN=233.60
18" IN=232.60
4" IN=234.75
12" OUT=234.50

DI-A
RIM=237.0
4" IN=234.75
12" OUT=234.50

DMH 0+21, 5' RT
RIM=241.45
12" IN=236.80
24" IN=231.65
24" OUT=231.55

DCB 0+21, LT
RIM=241.30
12" OUT=237.30

DMH 1+04, 5' RT
RIM=240.20
(2) 12" IN=235.50
18" IN=232.30
24" OUT=232.05

DMH 1+15, L&R
RIM=239.90
12" OUT=235.90

DMH 2+25, 6' DIAMETER
RIM=238.50
(2) 12" IN=233.40 (CB)
15" IN=233.20 (DMH)
12" IN=233.70 (DI)
18" OUT=233.00

DI-B
RIM=237.0
(2) 4" IN=234.75
12" OUT=234.50

DMH 2+87, 5' RT
RIM=238.85
15" IN=233.6 (DMH)
3+77
12" IN=233.7 (DI-C)
12" IN=233.8 (DMH)
8+17

8" x 8" x 8" TEE
3-8" GATE VALES W/ BOX

DMH 2+26, 5' RT
RIM=238.50
15" IN=233.6 (DMH)
3+77
12" IN=233.7 (DI-C)
12" IN=233.8 (DMH)
8+17

8" x 8" x 8" TEE
3-8" GATE VALES W/ BOX

DMH 4+48, 5' RT
RIM=240.48
12" IN=234.80
12" OUT=234.80

DI-E
RIM=238.0
(2) 4" IN=235.75
12" OUT=235.5

DCB 4+10, L&R
RIM=239.90
12" OUT=238.90

DMH 3+77, 5' RT
RIM=239.75
12" IN=234.25 (DI)
12" IN=234.15 (DMH)
15" OUT=234.05

DMH 2+87, 5' RT
RIM=238.85
15" IN=233.6 (DMH)
3+77
12" IN=233.7 (DI-C)
12" IN=233.8 (DMH)
8+17

8" x 8" x 8" TEE
3-8" GATE VALES W/ BOX

DMH 2+26, 6' DIAMETER
RIM=238.50
(2) 12" IN=233.40 (CB)
15" IN=233.20 (DMH)
12" IN=233.70 (DI)
18" OUT=233.00

DI-B
RIM=237.0
(2) 4" IN=234.75
12" OUT=234.50

DMH 1+45
RIM=239.60
12" IN=233.60
18" IN=232.60
4" IN=234.75
12" OUT=234.50

DI-A
RIM=237.0
4" IN=234.75
12" OUT=234.50

DMH 0+21, 5' RT
RIM=241.45
12" IN=236.80
24" IN=231.65
24" OUT=231.55

DCB 0+21, LT
RIM=241.30
12" OUT=237.30

DMH 1+04, 5' RT
RIM=240.20
(2) 12" IN=235.50
18" IN=232.30
24" OUT=232.05

DMH 1+15, L&R
RIM=239.90
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18" OUT=233.00

DI-B
RIM=237.0
(2) 4" IN=234.75
12" OUT=234.50

DMH 2+87, 5' RT
RIM=238.85
15" IN=233.6 (DMH)
3+77
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3-8" GATE VALES W/ BOX

DMH 4+48, 5' RT
RIM=240.48
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12" OUT=234.80

DI-E
RIM=238.0
(2) 4" IN=235.75
12" OUT=235.5

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RIM=239.90
12" OUT=238.90

DMH 3+77, 5' RT
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RIM=240.48
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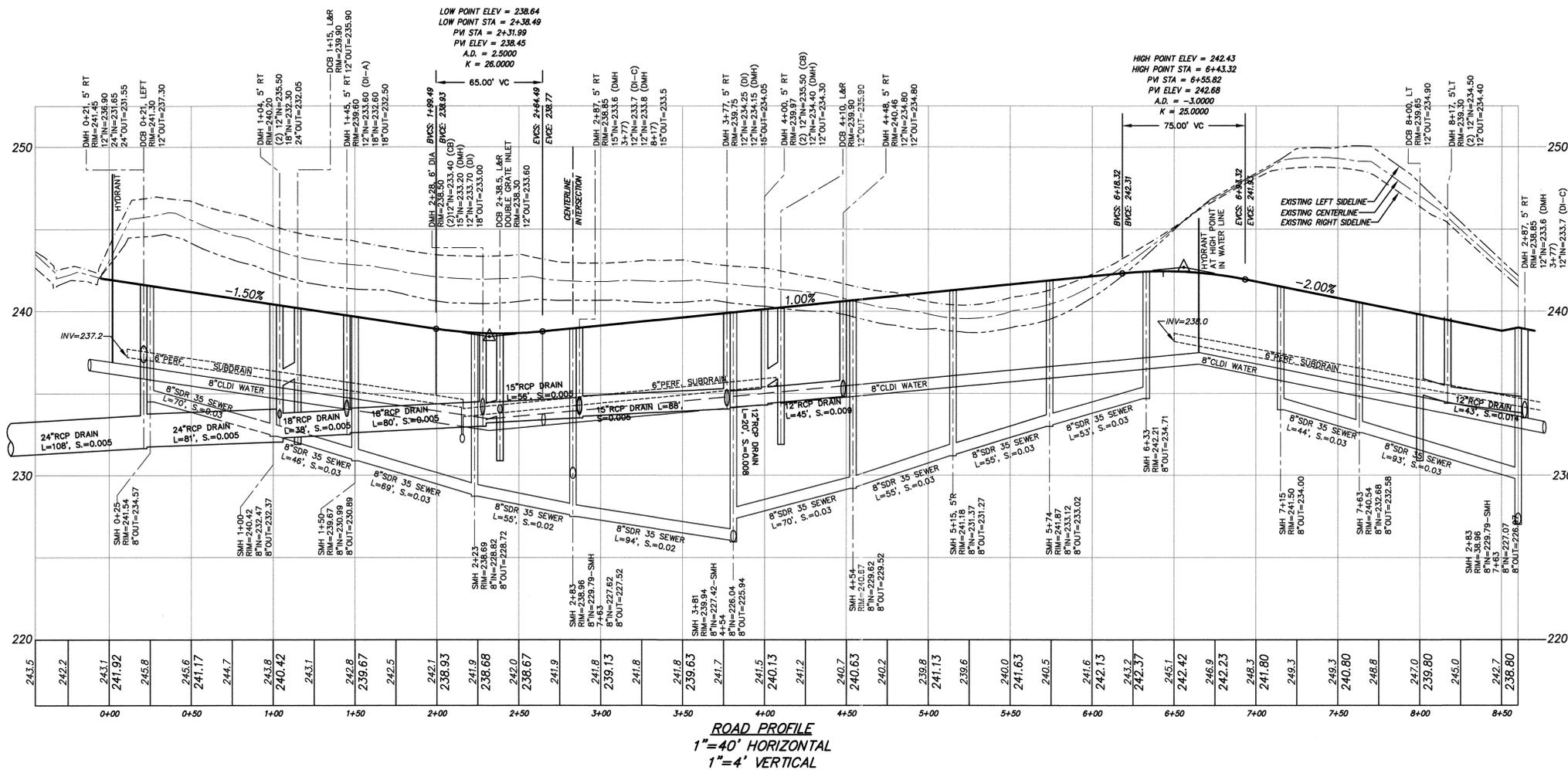
CONSTRUCTION NOTES:

- EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR UTILITY CONNECTIONS.
- ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS FRAMINGHAM DEPARTMENT OF PUBLIC WORKS, OR IN THE ABSENCE OF SUCH STANDARDS, THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) CONSTRUCTION STANDARDS AND THE MHD STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED FRAMINGHAM DRAIN LAYER.
- THE WATER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE RULES AND REGULATIONS OF THE FRAMINGHAM DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED BY THE LOCAL AUTHORITY, WATER MAINS SHALL BE 8-INCH DOUBLE CEMENT LINED DUCTILE IRON PIPE, CLASS 52.
- THE SEWER SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH THE RULES AND REGULATIONS OF THE FRAMINGHAM DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED BY THE LOCAL AUTHORITY, SEWER MAINS SHALL BE 8" SDR 35 PVC. PRIOR TO INSTALLATION OF SEWER CONNECTIONS WITHIN ARTHUR STREET, THE CONTRACTOR SHALL SUBMIT A PLAN FOR TEMPORARY SEWER BYPASS AND DEWATERING (IF REQUIRED) TO THE DPW AND ENGINEER FOR REVIEW AND APPROVAL.
- THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO KEEP ACCURATE AS-BUILT MEASUREMENTS / RECORDS OF ALL UNDERGROUND OR CONCEALED WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. A STREET OPENING PERMIT (SOP) SHALL BE REQUIRED FOR ALL SURFACE OPENINGS AND TRENCHES WITHIN THE RIGHT OF WAY. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE SOP AND THE TOWN OF FRAMINGHAM SOP POLICY. PERMIT TO BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- ALL SIGN SIZES AND MATERIAL SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS, FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.
- ALL RAMP, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1-47).
- ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120, 140, 150, AND 170.

CONSTRUCTION PROCEDURE

IT IS ASSUMED THAT UNDER NORMAL CONDITIONS WORK WILL PROCEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE. MAJOR SHIFTS IN THE SCHEDULE MUST BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS OR THEIR DESIGNATE.

- HOURS OF OPERATION: MON-SAT. 7:00 - 5:00
- SITE PREPARATION:
 - INSTALL PERIMETER EROSION CONTROLS
 - ROUGH GRADE ENTRANCE OFF NIXON ROAD AND INSTALL CRUSHED STONE CONSTRUCTION ENTRANCE
 - REMOVE EXISTING BUILDINGS AND STRUCTURES.
 - CUT AND REMOVE TREES
 - INSTALL TEMPORARY SEDIMENT BASIN INCLUDING OUTLET STRUCTURE AND DIVERSION BERMS/SWALES
 - PREPARE STOCKPILE AREAS.
- EACH OF THE FOLLOWING STEPS MUST BE APPROVED BY THE PUBLIC WORKS INSPECTOR ON THE JOB.
 - CLEARING AND CLEANING; INCLUDING EXCAVATING OR STRIPPING POOR MATERIAL
 - PREPARATION OF SUB-BASE INCLUDING NECESSARY CUTS AND FILLS.
 - INSTALLATIONS OF DRAINAGE MAINS.
 - INSTALLATION OF OTHER UNDERGROUND UTILITIES.
 - INSTALLATION OF ROAD SUBDRAIN WHERE CONDITIONS WARRANT.
 - INSTALL FIRE CISTERN, WELL, SUCTION LINE, AND HYDRANT.
 - APPLICATION OF MATERIAL SUB-BASE.
 - GRAVEL APPROVED BY TOWN ENGINEER.
 - APPLICATION OF GRAVEL IN OR ABOVE SUB-BASE (FOR ROADWAY AND CISTERN ACCESS DRIVEWAY).
 - COMPACTION TESTING.
 - CERTIFICATION OF GRAVEL GRADES BY PROFESSIONAL ENGINEER OR SURVEYOR.
 - APPLICATION OF GRAVEL IN SIDEWALKS.
 - APPLICATION OF BASE COURSE.
 - INSTALLATION OF GRANITE CURBING.
 - REMOVAL OR APPLICATION OF MATERIAL FOR SLOPES.
 - APPLICATION OF BITUMINOUS CONCRETE BASE AND TOP COURSES FOR SIDEWALKS AND APRONS.
 - APPLICATION OF BITUMINOUS CONCRETE TOP COURSES FOR ROADWAY, AND RESTORATION OF THE PUBLIC WAY PER DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.
 - APPLICATION OF LOAM FOR LAWNS AND SLOPES.
 - INSTALLATION OF STONE BOUNDS AND LOT CORNER POINTS.
 - INSTALLATION OF STREET LIGHTS.
- CONSTRUCTION ACCESS ROUTE WILL BE EVERT AVENUE



ROAD PROFILE
1"=40' HORIZONTAL
1"=4' VERTICAL

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

[Signatures]
DATE: 09/03/14

TOWN OF FRAMINGHAM PUBLIC WORKS DEPARTMENT, ENGINEERING DEPARTMENT, AND PLANNING BOARD SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY ROADWAY OR MUNICIPAL SERVICE CONSTRUCTION. NO PORTIONS OF ANY UTILITIES SHALL BE BACKFILLED UNTIL APPROVAL FOR SUCH BACKFILLING IS OBTAINED IN WRITING FROM THE PUBLIC WORKS AND ENGINEERING DEPARTMENTS. SUCH APPROVAL DOES NOT CONSTITUTE ACCEPTANCE OF SUCH UTILITIES BY TOWN OF FRAMINGHAM.

OWNER & APPLICANT
CLARKS HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER
HERITAGE PROPERTIES
490-B BOSTON POST ROAD, SUITE 202
SUDBURY, MA 01776

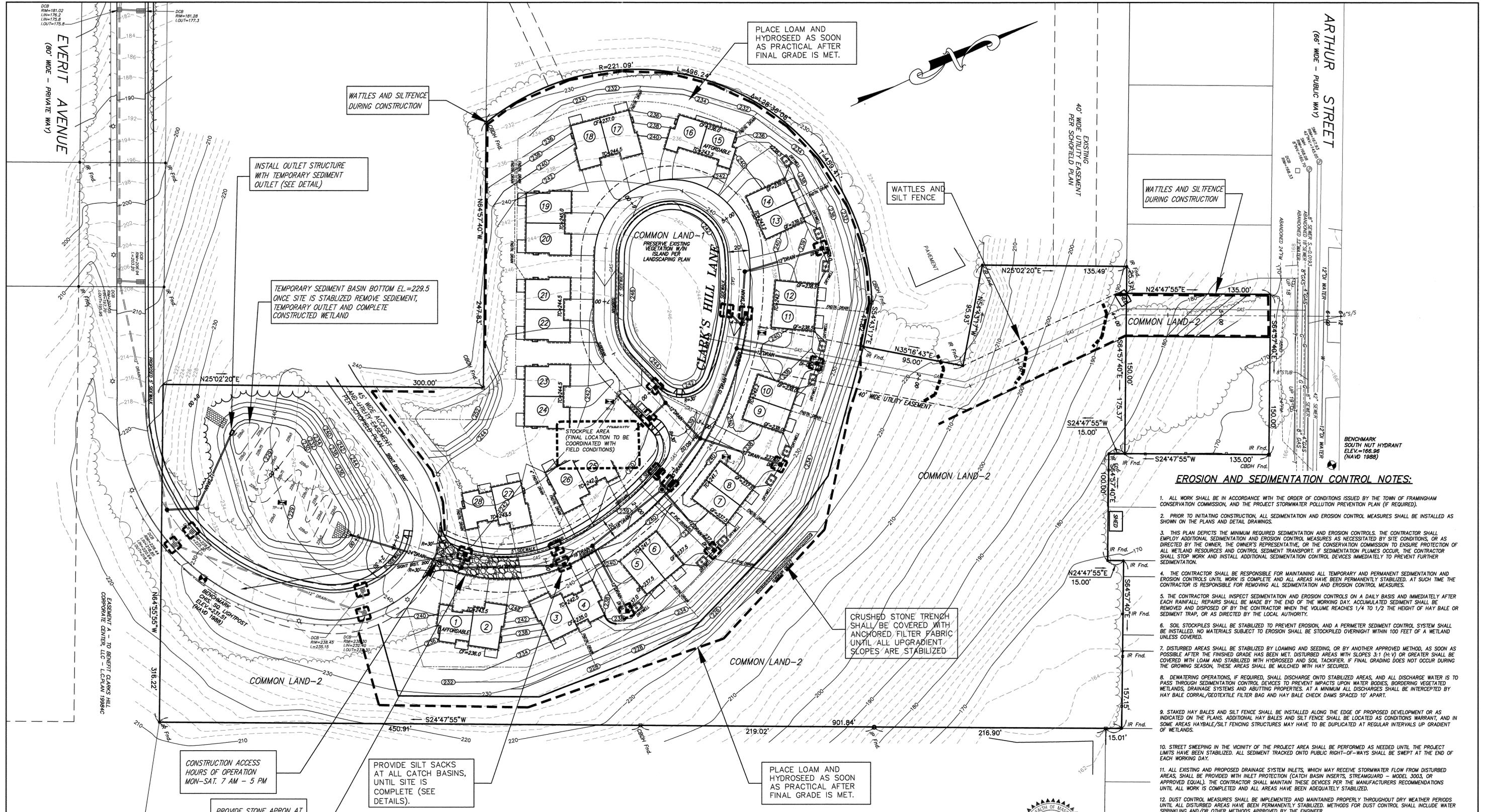


CONNORSTONE
CONSULTING CIVIL ENGINEERS
AND
LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY: REM, VC
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: AS SHOWN
SHEET 7 OF 14.

DEFINITIVE PLAN
ROAD PROFILE PLAN
CLARK'S HILL LANE
IN
FRAMINGHAM, MA

MAY 22, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013



EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ORDER OF CONDITIONS ISSUED BY THE TOWN OF FRAMINGHAM CONSERVATION COMMISSION, AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (IF REQUIRED).
2. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND DETAIL DRAWINGS.
3. THIS PLAN DEPICTS THE MINIMUM REQUIRED SEDIMENTATION AND EROSION CONTROLS. THE CONTRACTOR SHALL EMPLOY ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS NECESSITATED BY SITE CONDITIONS, OR AS DIRECTED BY THE OWNER, THE OWNER'S REPRESENTATIVE, OR THE CONSERVATION COMMISSION TO ENSURE PROTECTION OF ALL WETLAND RESOURCES AND CONTROL SEDIMENT TRANSPORT. IF SEDIMENTATION PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROL DEVICES IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY AND PERMANENT SEDIMENTATION AND EROSION CONTROLS UNTIL WORK IS COMPLETE AND ALL AREAS HAVE BEEN PERMANENTLY STABILIZED. AT SUCH TIME THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDIMENTATION AND EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL INSPECT SEDIMENTATION AND EROSION CONTROLS ON A DAILY BASIS AND IMMEDIATELY AFTER EACH RAINFALL; REPAIRS SHALL BE MADE BY THE END OF THE WORKING DAY. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR WHEN THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF HAY BALE OR SEDIMENT TRAP, OR AS DIRECTED BY THE LOCAL AUTHORITY.
6. SOIL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION, AND A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED. NO MATERIALS SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF A WETLAND UNLESS COVERED.
7. DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING, OR BY ANOTHER APPROVED METHOD, AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. DISTURBED AREAS WITH SLOPES 3:1 (H:V) OR GREATER SHALL BE COVERED WITH LOAM AND STABILIZED WITH HYDROSEED AND SOIL TACKIFIER. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY SECURED.
8. DEWATERING OPERATIONS, IF REQUIRED, SHALL DISCHARGE ONTO STABILIZED AREAS, AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BODIERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJACENT PROPERTIES. AT A MINIMUM ALL DISCHARGES SHALL BE INTERCEPTED BY HAY BALE CORRAL/GEOTEXTILE FILTER BAG AND HAY BALE CHECK DAMS SPACED 10' APART.
9. STAKED HAY BALES AND SILT FENCE SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT OR AS INDICATED ON THE PLANS. ADDITIONAL HAY BALES AND SILT FENCE SHALL BE LOCATED AS CONDITIONS WARRANT, AND IN SOME AREAS HAYBALE/SILT FENCING STRUCTURES MAY HAVE TO BE DUPLICATED AT REGULAR INTERVALS UP GRADIENT OF WETLANDS.
10. STREET SWEEPING IN THE VICINITY OF THE PROJECT AREA SHALL BE PERFORMED AS NEEDED UNTIL THE PROJECT LIMITS HAVE BEEN STABILIZED. ALL SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL EXISTING AND PROPOSED DRAINAGE SYSTEM INLETS, WHICH MAY RECEIVE STORMWATER FLOW FROM DISTURBED AREAS, SHALL BE PROVIDED WITH INLET PROTECTION (CATCH BASIN INSERTS, STREAMGUARD - MODEL 3003, OR APPROVED EQUAL). THE CONTRACTOR SHALL MAINTAIN THESE DEVICES PER THE MANUFACTURERS RECOMMENDATIONS UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN ADEQUATELY STABILIZED.
12. DUST CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED PROPERLY THROUGHOUT DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. METHODS FOR DUST CONTROL SHALL INCLUDE WATER SPRINKLING AND/OR OTHER METHODS APPROVED BY THE ENGINEER.
13. ALL VEHICLES SHALL ENTER AND EXIT THE SITE VIA THE STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 3/4" - 1 1/2" INCH CRUSHED STONE TO A DEPTH OF 12" FOR THE FIRST 25 FEET FROM EXISTING PAVED STREETS. IF THE SITE CONDITIONS ARE SUCH THAT THE GRAVEL PAD DOES NOT REMOVE THE MAJORITY OF THE MUD AND DEBRIS, THEN THE TIRES SHALL BE WASHED BEFORE ANY VEHICLES ENTER ADJACENT ROADWAYS. ALL WATER USED FOR TIRE WASHING SHALL BE COLLECTED AND TREATED PRIOR TO ENTERING THE DRAINAGE SYSTEM. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER HEAVY USE.
14. EQUIPMENT SHALL NOT BE PARKED WITHIN WETLANDS OR BUFFER AREAS.

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

[Signatures]

DATE: 09/13/14

CONSTRUCTION ACCESS HOURS OF OPERATION MON-SAT. 7 AM - 5 PM

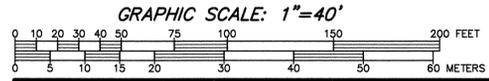
PROVIDE STONE APRON AT ENTRANCE DURING CONST. (SEE DETAIL)

PROVIDE SILT SACKS AT ALL CATCH BASINS, UNTIL SITE IS COMPLETE (SEE DETAILS).

PLACE LOAM AND HYDROSEED AS SOON AS PRACTICAL AFTER FINAL GRADE IS MET.

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 490-B BOSTON POST ROAD, SUITE 202
 SUDBURY, MA 01776



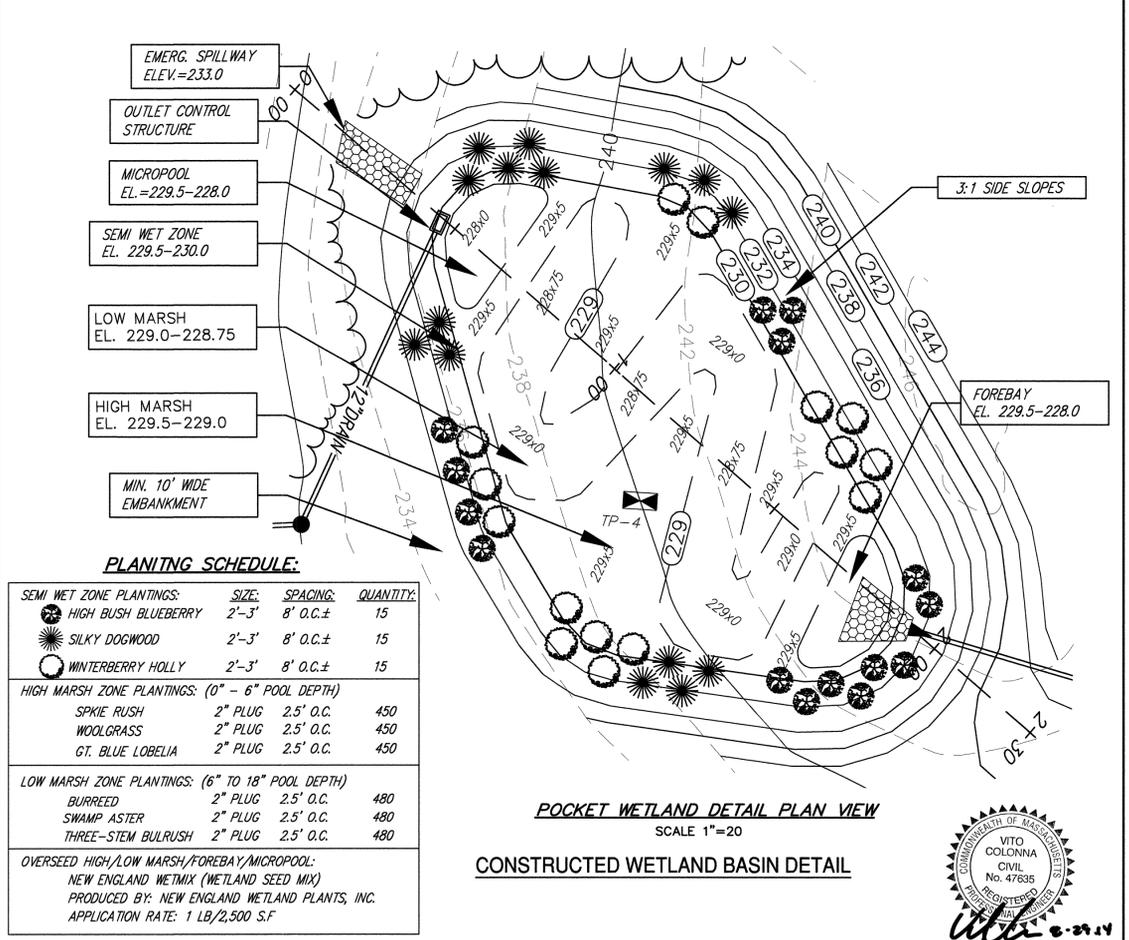
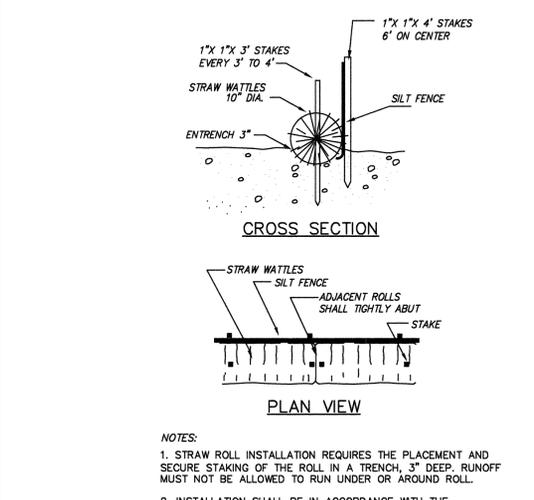
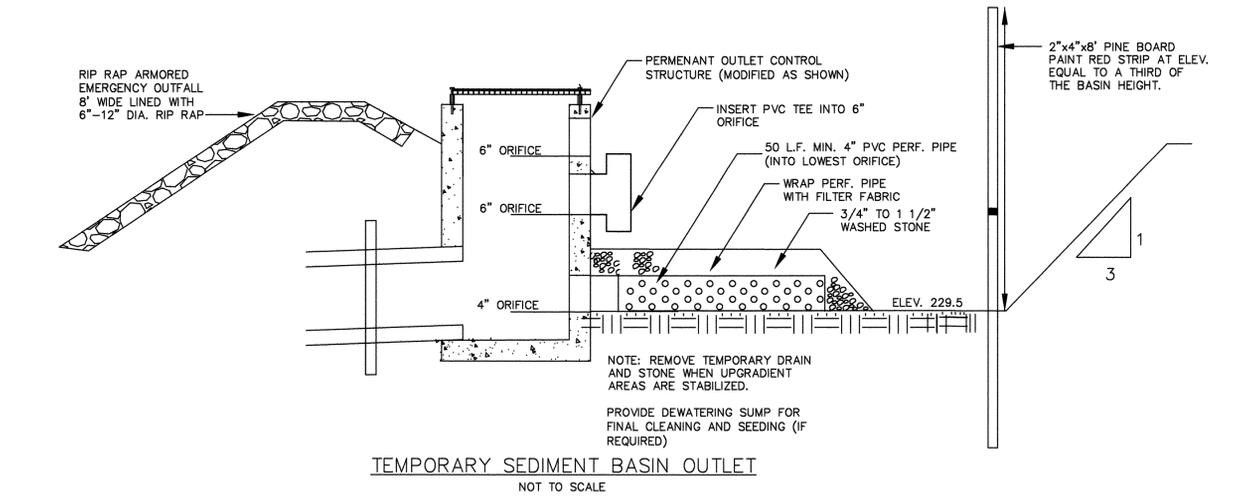
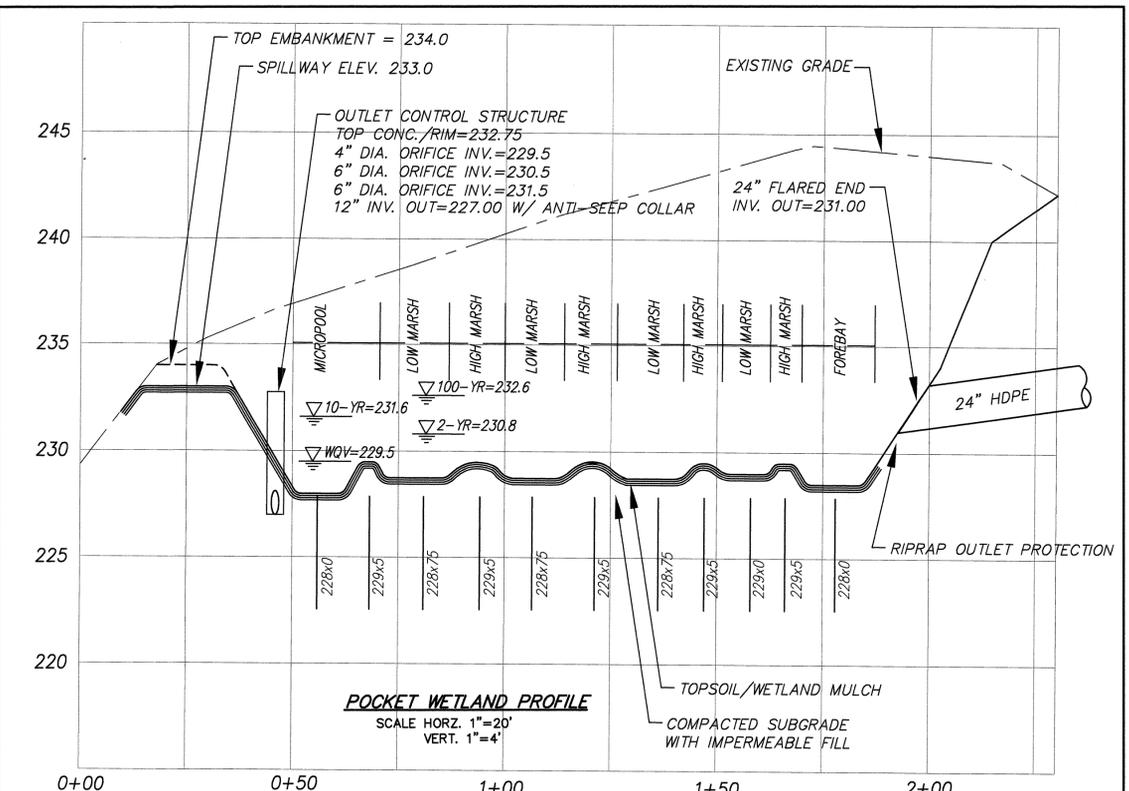
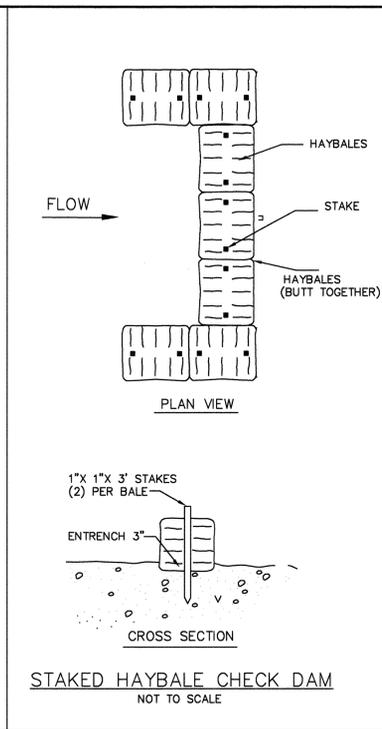
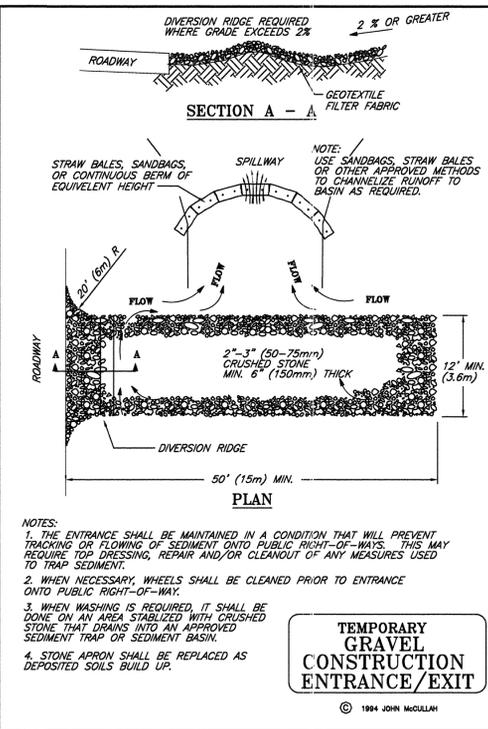
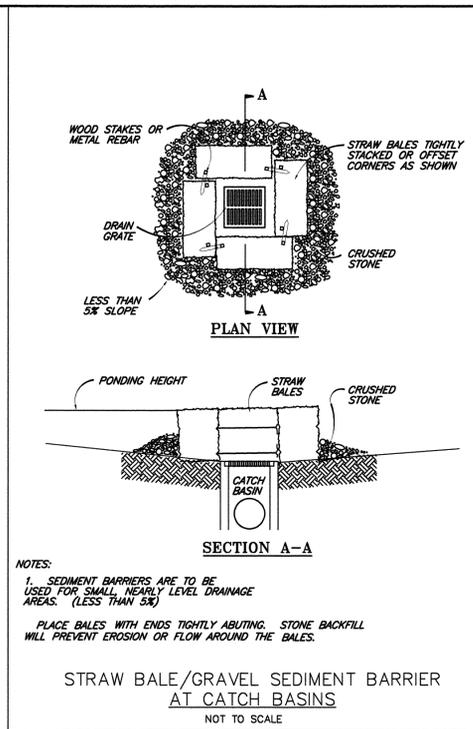
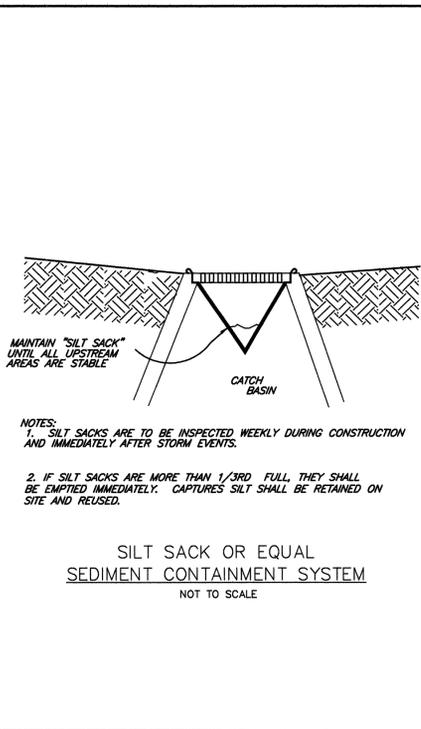
CONNORSTONE
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 NORTHBOROUGH, MASSACHUSETTS 01532



DESIGNED BY: REM, VC
 CHECKED BY: VC
 COMPUTED BY:
 FIELD SURVEY:
 DRAWN BY: REM
 SCALE: 1"=40'
 SHEET 9 OF 14.

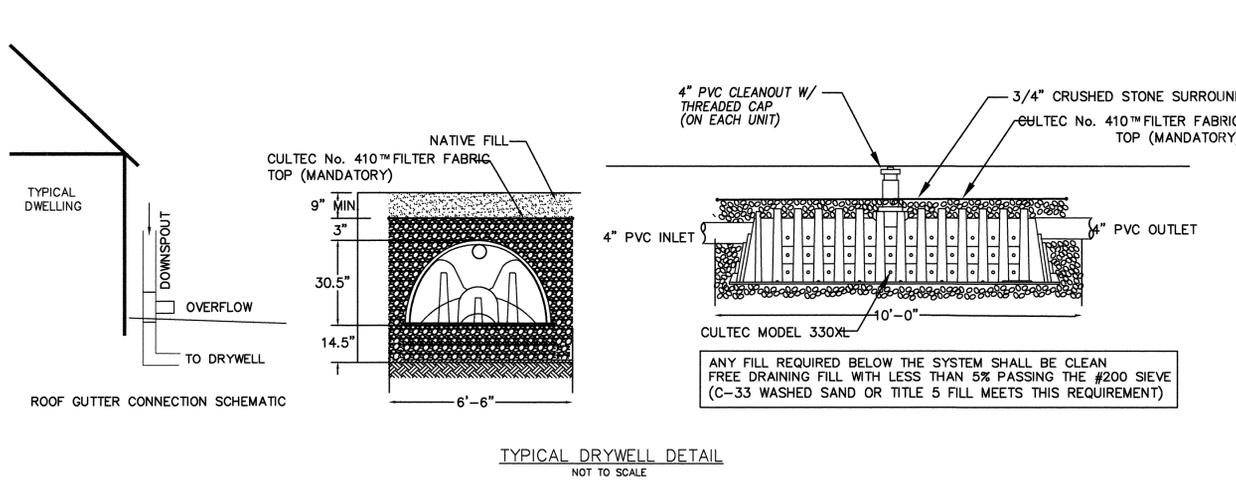
DEFINITIVE PLAN
EROSION CONTROL PLAN
CLARK'S HILL VILLAGE
 IN
FRAMINGHAM, MA

MAY 22, 2014
 APRIL 25, 2014
 FEB. 6, 2014
 REVISIONS
 DATE: OCT. 10, 2013



PLANTING SCHEDULE:

SEMI WET ZONE PLANTINGS:	SIZE:	SPACING:	QUANTITY:
HIGH BUSH BLUEBERRY	2'-3"	8' O.C.±	15
SILKY DOGWOOD	2'-3"	8' O.C.±	15
WINTERBERRY HOLLY	2'-3"	8' O.C.±	15
HIGH MARSH ZONE PLANTINGS: (0" - 6" POOL DEPTH)			
SPKIE RUSH	2" PLUG	2.5' O.C.	450
WOOLGRASS	2" PLUG	2.5' O.C.	450
GT. BLUE LOBELIA	2" PLUG	2.5' O.C.	450
LOW MARSH ZONE PLANTINGS: (6" TO 18" POOL DEPTH)			
BURREED	2" PLUG	2.5' O.C.	480
SWAMP ASTER	2" PLUG	2.5' O.C.	480
THREE-STEM BULRUSH	2" PLUG	2.5' O.C.	480
OVERSEED HIGH/LOW MARSH/FOREBAY/MICROPOOL:			
NEW ENGLAND WETMIX (WETLAND SEED MIX)			
PRODUCED BY: NEW ENGLAND WETLAND PLANTS, INC.			
APPLICATION RATE: 1 LB/2,500 S.F.			



SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

[Signatures]

DATE: 04/03/14

OWNER & APPLICANT
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1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

DEVELOPER & SUBDIVIDER
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490-B BOSTON POST ROAD, SUITE 202
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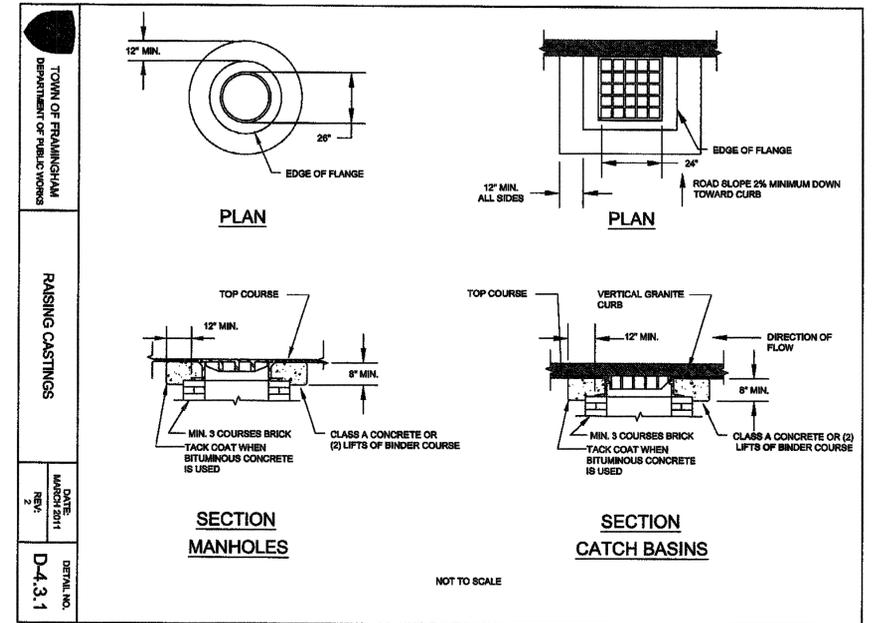
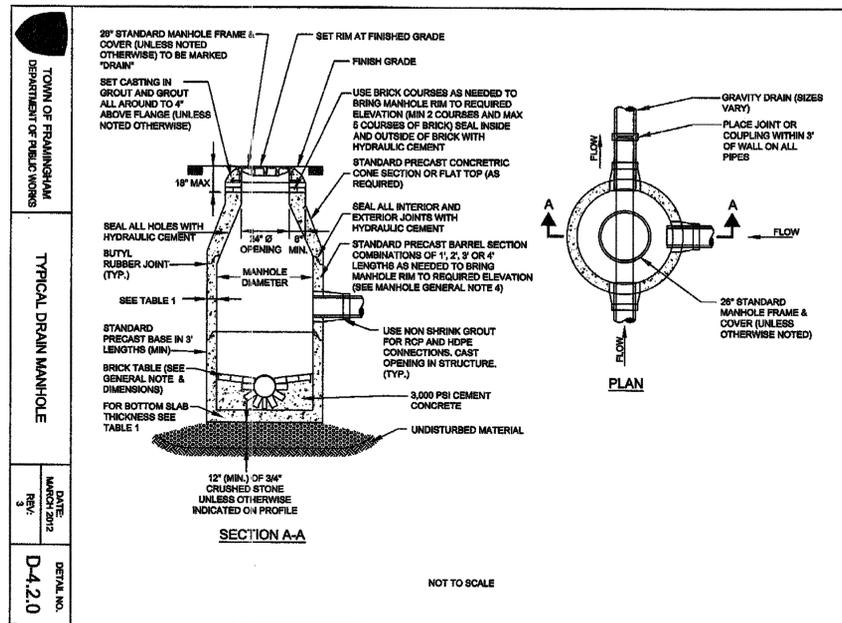
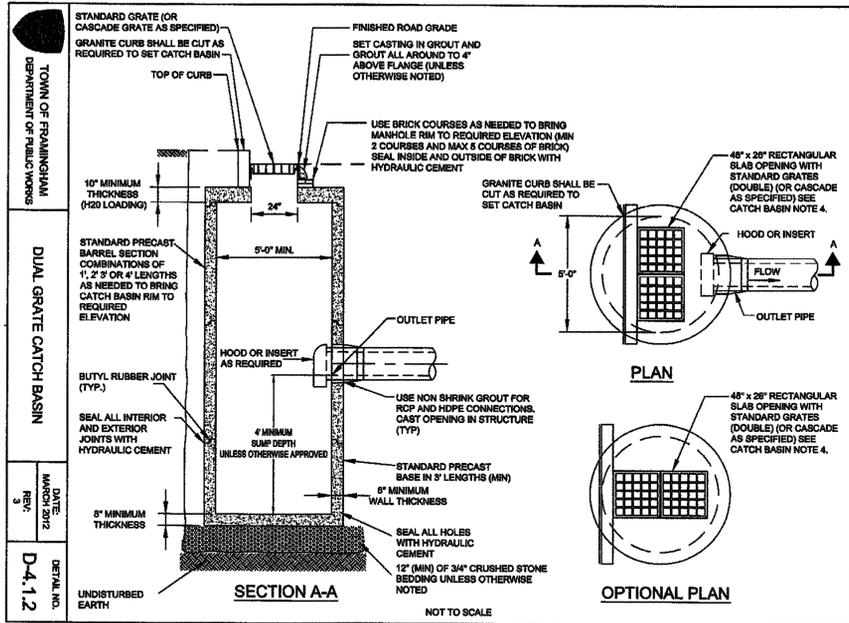
CONNORSTONE CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY: REM, VC
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: 1"=40'
SHEET 10 OF 14.

DEFINITIVE PLAN CONSTRUCTION DETAILS
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

MAY 22, 2014
APRIL 30, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013





TRENCH PAY LIMIT TABLE FOR MANHOLES AND CATCH BASINS

WALL THICKNESS	MAX TRENCH WIDTH
LESS THAN 6"	I.D. + 5'-0"
6" TO 12"	I.D. + 8'-0"
12" TO 18"	I.D. + 7'-0"
18" & GREATER	O.D. + 6'-0"

I.D. = INSIDE DIMENSION
O.D. = OUTSIDE DIMENSION

FOR TRENCHES GREATER THAN 5' DEEP ADD 3' FOR TEMPORARY SUPPORT OF EXCAVATION

GENERAL CATCH BASIN NOTES:

- FACE OF PIPE SHALL NOT PROJECT MORE THAN 4-INCHES FROM FACE OF WALL ALONG CENTERLINE OF PIPE.
- DESIGN PRECAST SECTIONS WITH FRAME AND GRATE FOR ASHTO H20 LOADING UNLESS OTHERWISE NOTED.
- PRECAST TOP SLAB OPENING CAN BE CENTERED OR OFFSET AS NECESSARY.
- GRATE VANES SHALL BE INSTALLED IN DIRECTION TO RECEIVE FLOWS.
- CATCH BASIN BASE SHALL BE SOLID (NO HOLE IN CENTER) IF THE SEASONAL HIGH GROUNDWATER TABLE IS LESS THAN 2 FEET BELOW THE BASE.

TABLE 1

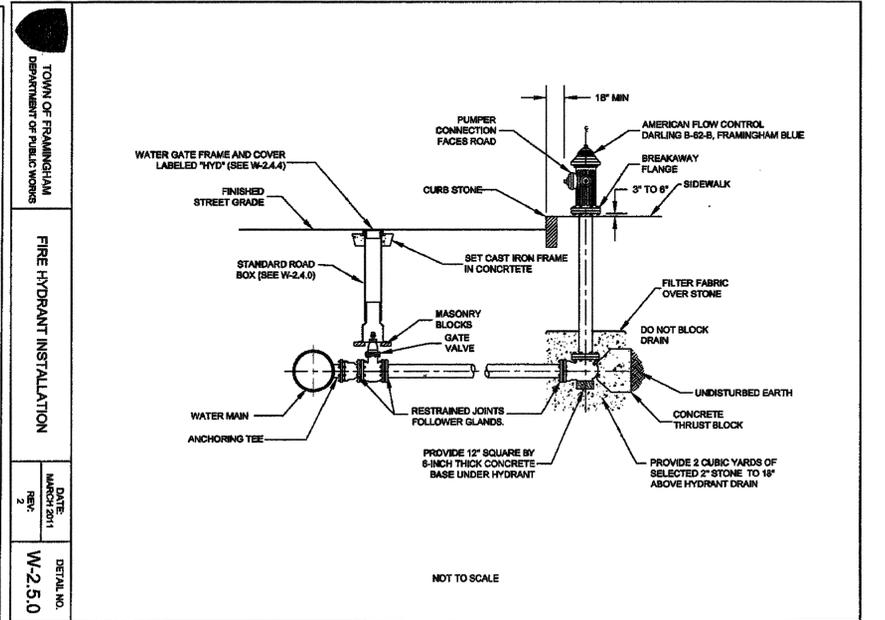
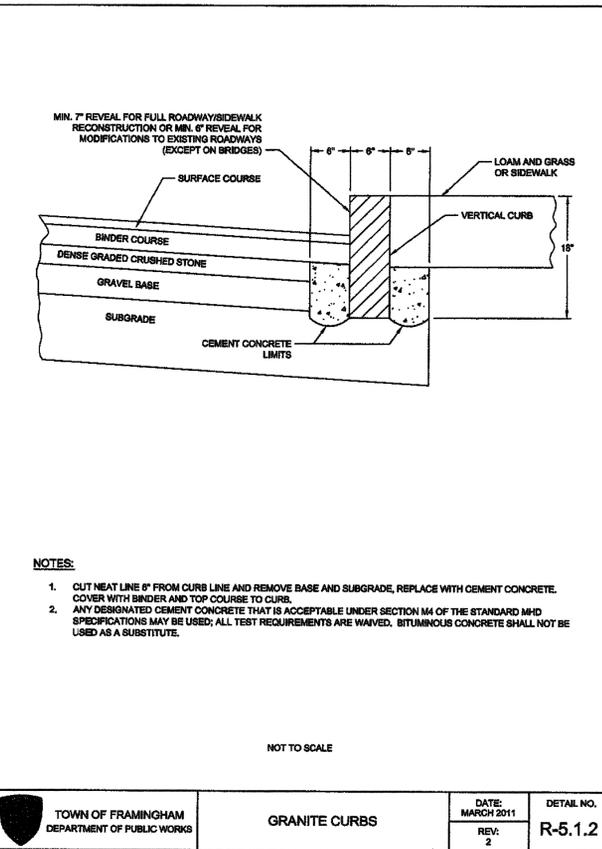
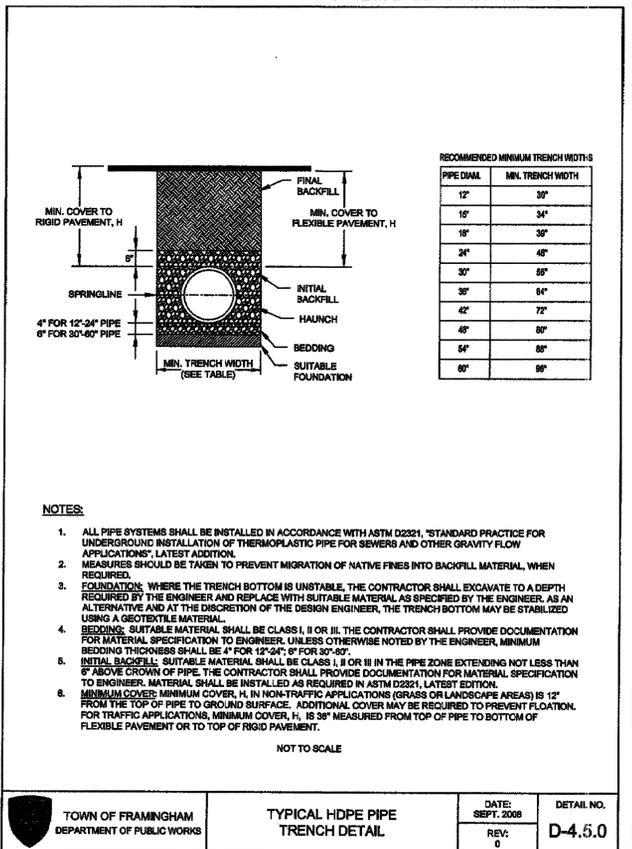
MANHOLE DIAMETER	SIDE WALL MIN. THICKNESS	BOTTOM SLAB MIN. THICKNESS	MAX PIPE DIAMETER * RCP	MAX PIPE DIAMETER * DIPPVC
4'	6"	6"	24"	30"
6'	6"	6"	36"	42"
8'	6"	6"	48"	54"
10'	6"	10"	72"	84"

* MAY VARY DEPENDING ON SIZE AND LOCATION OF ADDITIONAL PENETRATIONS OR RELATIONSHIP OF PENETRATIONS IN MANHOLE

MANHOLE GENERAL NOTES:

- DRAIN MANHOLE DIAMETER SHALL BE 4', 6', 8' OR 10' AS SHOWN ON PLAN/PROFILE VIEWS.
- DESIGN PRECAST SECTIONS WITH FRAME AND COVER FOR ASHTO H20 LOADING UNLESS OTHERWISE NOTED.
- MANHOLES LARGER THAN 4' IN DIAMETER AT THE BASE SHALL BE REDUCED IN DIAMETER TO 4' AT THE NEXT RISER SECTION UNLESS NOTED OTHERWISE ON PLANS.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS
MANHOLES & CATCH BASINS
GENERAL NOTES AND DIMENSIONS
DATE: MARCH 2011
REV: 1
DETAIL NO. D-4.1.2



OWNER & APPLICANT
CLARKS HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

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SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

DATE: 09/03/14

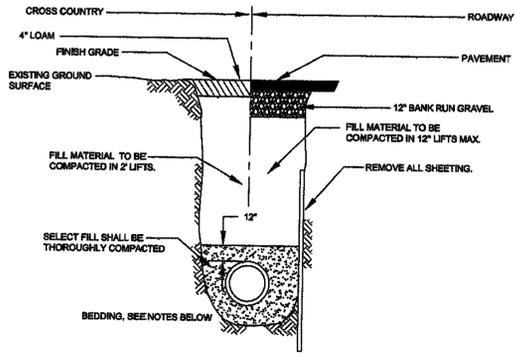


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DESIGNED BY:
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: NONE
SHEET 11 OF 14.

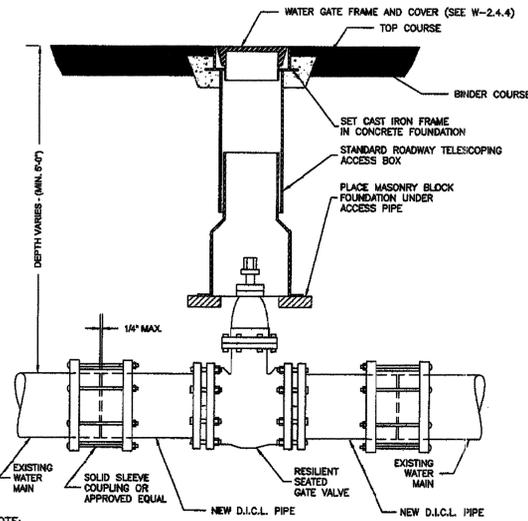
DEFINITIVE PLAN
CONSTRUCTION DETAILS
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

MAY 22, 2014
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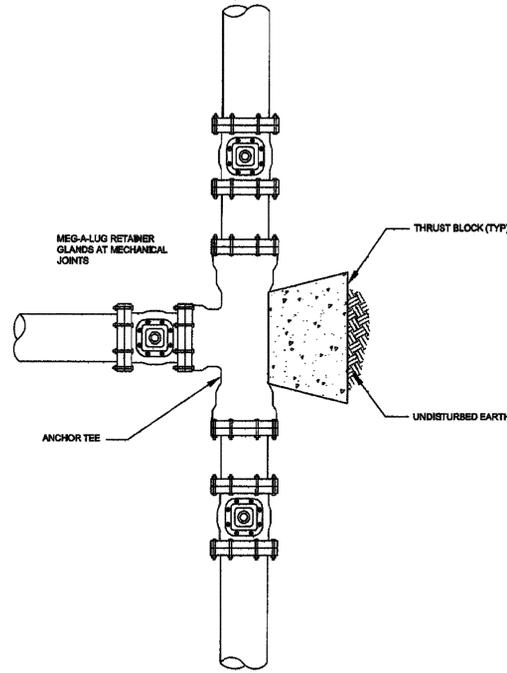
- NOTE: 5'-0" MIN. COVER
- NOT TO SCALE
- NOTES:
- TOWN OF FRAMINGHAM MAY REQUIRE FLOWABLE FILL AT ITS DISCRETION.
 - FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTENT WITH AWWA GUIDELINES.
 - FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
 - FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS WATER MAIN TRENCH DETAIL DATE: MARCH 2011 REV: 2 DETAIL NO. W-2.3.0

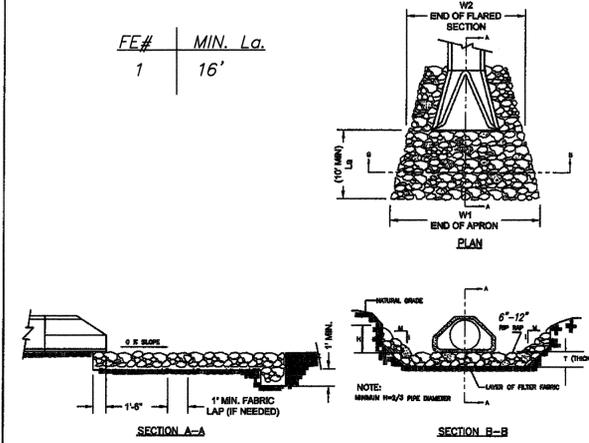


- NOTE:
- ALL EXCAVATION, BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE TOWN OF FRAMINGHAM REQUIREMENTS.
 - WATER GATE COVER SHALL HAVE A MINIMUM HEIGHT OF FOUR (4) INCHES, BRAND NAME EJ GROUP (FORMERLY LEBARON FOUNDRY CO.) OR EQUAL.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS GATE VALVE DATE: MARCH 2013 REV: 2 DETAIL NO. W-2.4.0



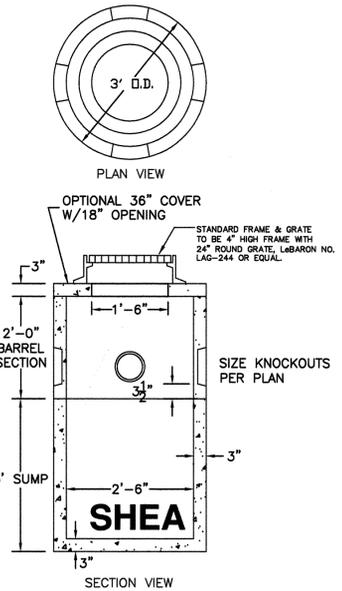
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL ANCHOR TEE INSTALLATION DATE: SEPT. 2008 REV: 0 DETAIL NO. W-2.4.1



- NOTES:
- CLASS OR MEDIAN SIZE OF RIPRAP AND LENGTH, WIDTH AND DEPTH OF APRON TO BE DESIGNED BY THE ENGINEER.
 - REFER TO THE CONSTRUCTION STANDARDS FOR RIPRAP STANDARDS.
 - RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 2:1 AND A HEIGHT NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
 - THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
 - THE WIDTH W-1 OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1.
 - ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
 - THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
 - NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
 - FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
 - ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS RIP RAP APRON AT PIPE OUTFALLS DATE: SEPT. 2008 REV: 0 DETAIL NO. D-4.4.0

SECTIONS	ITEM NO
1'-0" RISER	MC-MCB1R
2'-0" RISER	MC-MCB2R
3'-0" RISER	MC-MCB3R
2'-0" SLUMP	MC-MCB2S
3'-0" SLUMP	MC-MCB3S
2'-0" BASE	MC-MCB24B
2'-0" BARREL	MC-MCB24BS
18" CONE	MC-MCBC
24" ROUND COVER	MC-MCB24RC



- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - FLAT COVER WITH CLEANOUT CAN BE USED IN PLACE OF CONE.
 - OPTIONAL ROUND CONCRETE COVER CAN BE USED IN PLACE OF CAST IRON FRAME AND COVER.

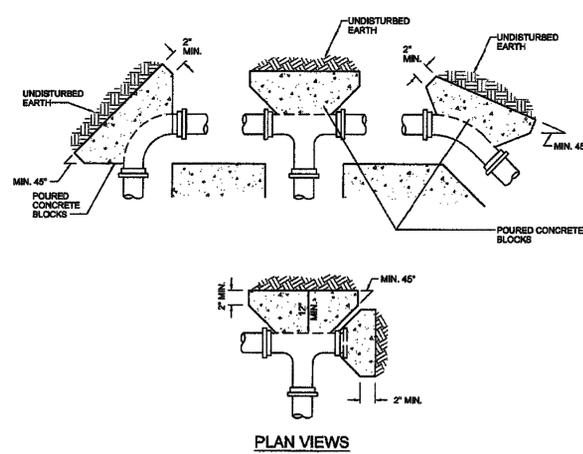
30" DIA. AREA DRAIN / DI-A THROUGH E
NOT TO SCALE

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

[Signatures]
DATE: 09/03/14

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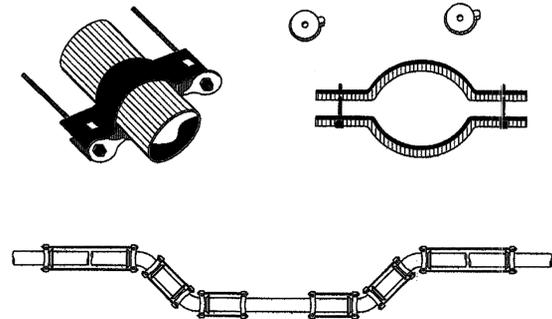
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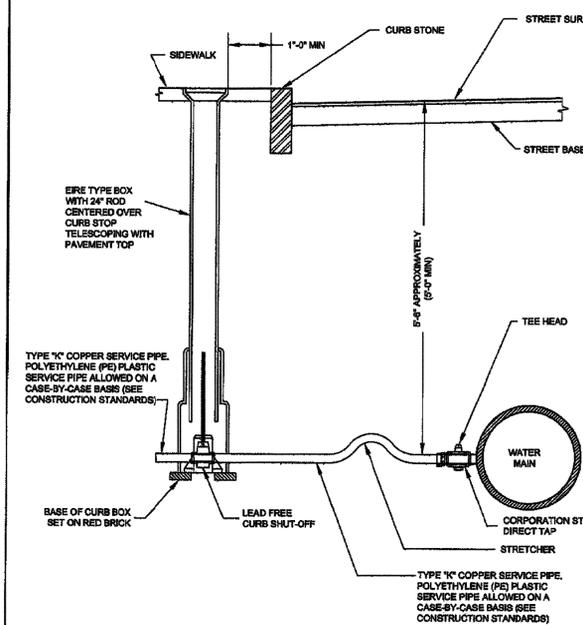
- NOTES:
- SPECIFIC THRUST BLOCK DESIGN SHALL CONFORM TO AWWA GUIDELINES.
 - PLACE 4 MIL. POLYETHYLENE BETWEEN CONCRETE AND FITTING (CONCRETE SHALL NOT INTERFERE WITH JOINT).
 - MINIMUM CONCRETE THICKNESS SHALL BE 12 INCHES.
 - THRUST BLOCK ORIENTATION SHALL BE SUCH THAT THE CENTER OF THE FITTING CORRESPONDS WITH THE CENTER OF THE THRUST BLOCK.
 - THE MINIMUM ALLOWABLE ANGLE (EITHER VERTICAL OR HORIZONTAL) SHALL BE 45 DEGREES.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL THRUST BLOCK DETAIL DATE: SEPT. 2008 REV: 0 DETAIL NO. W-2.2.2

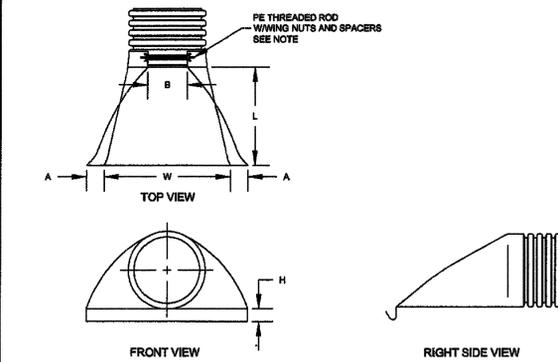
PIPE SIZE	NUMBER OF RODS PER FITTING	DIAMETER OF RODS
4" - 12"	2	3/4"
18"	4	3/4"
20" - 24"	4	1 1/2"



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL THRUST RESTRAINTS USING TIE RODS AND FRICTION CLAMPS DATE: SEPT. 2008 REV: 0 DETAIL NO. W-2.2.1



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL WATER CONNECTION FOR 1" SERVICE DATE: MARCH 2010 REV: 1 DETAIL NO. W-2.1.0



PIPE SIZE	A	B (MAX)	H	L	W
12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	28.00 IN
15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN	28.00 IN
18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN	35.00 IN
24 IN	7.50 IN	18.00 IN	6.50 IN	38.00 IN	45.00 IN
30 IN	7.50 IN	12.00 IN	8.60 IN	68.00 IN	83.00 IN
36 IN	7.50 IN	25.00 IN	8.60 IN	68.00 IN	83.00 IN

- NOTES:
- PE THREADED ROD WHIPPING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.
 - ALL DIMENSIONS ARE NOMINAL.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS FLARED HDPE END SECTIONS DATE: SEPT. 2008 REV: 0 DETAIL NO. D-4.6.0

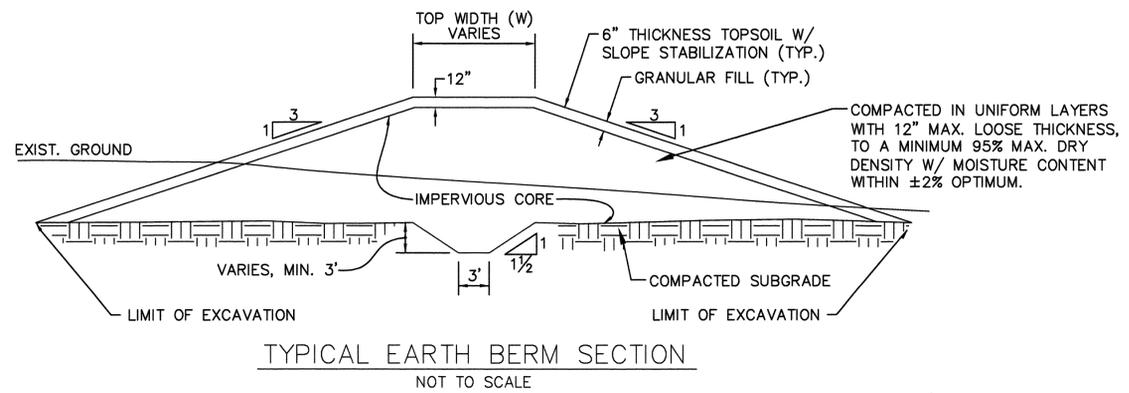


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CONSULTING CIVIL ENGINEERS
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NORTHBOROUGH, MASSACHUSETTS 01532

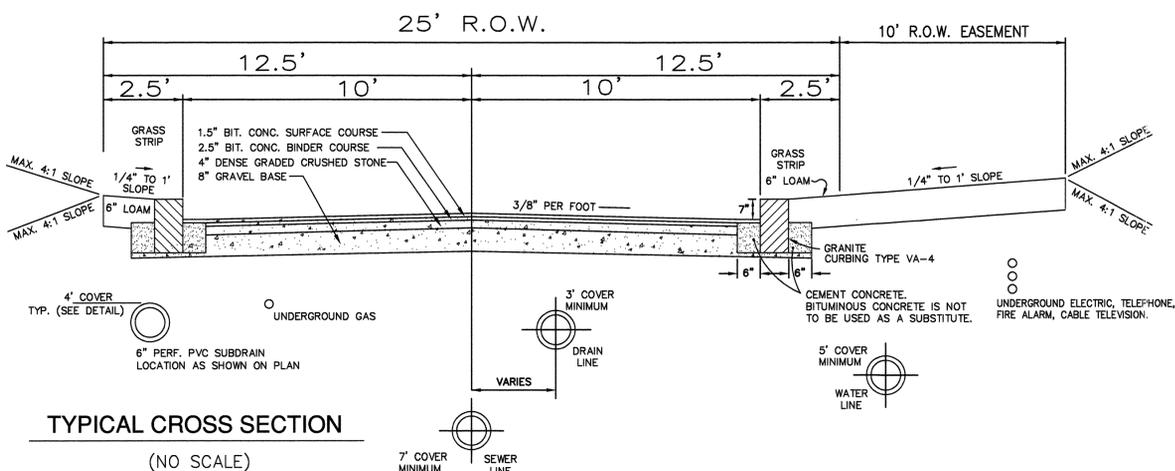
DESIGNED BY:
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: NONE
SHEET 12 OF 14.

DEFINITIVE PLAN
CONSTRUCTION DETAILS
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

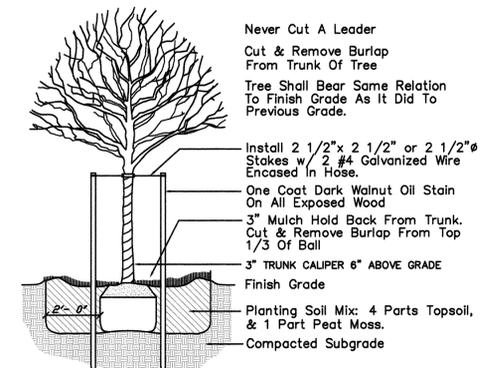
MAY 22, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013



TYPICAL EARTH BERM SECTION
NOT TO SCALE



TYPICAL CROSS SECTION
(NO SCALE)



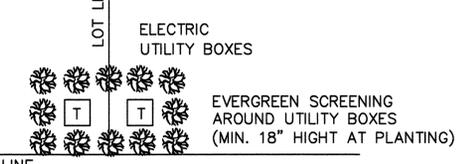
STREET TOLERANT SPECIES:
ACER SACCHARUM (SUGAR MAPLE)
ACER RUBUM (RED MAPLE)
TILIA CORDATA (LITTLELEAF LINDEN)
GINKO BILBOA (GINKO - MALE ONLY)
PLATANUS ACERIFOLIA (LONDON PLANE TREE)
RED SPINE PEAR

MINIMUM SIZE:
MIN. 12" HEIGHT
2 INCH CALIPER 4' ABOVE GRADE

FINAL SPECIES CHOSEN TO BE APPROVED BY THE PLANNING BOARD

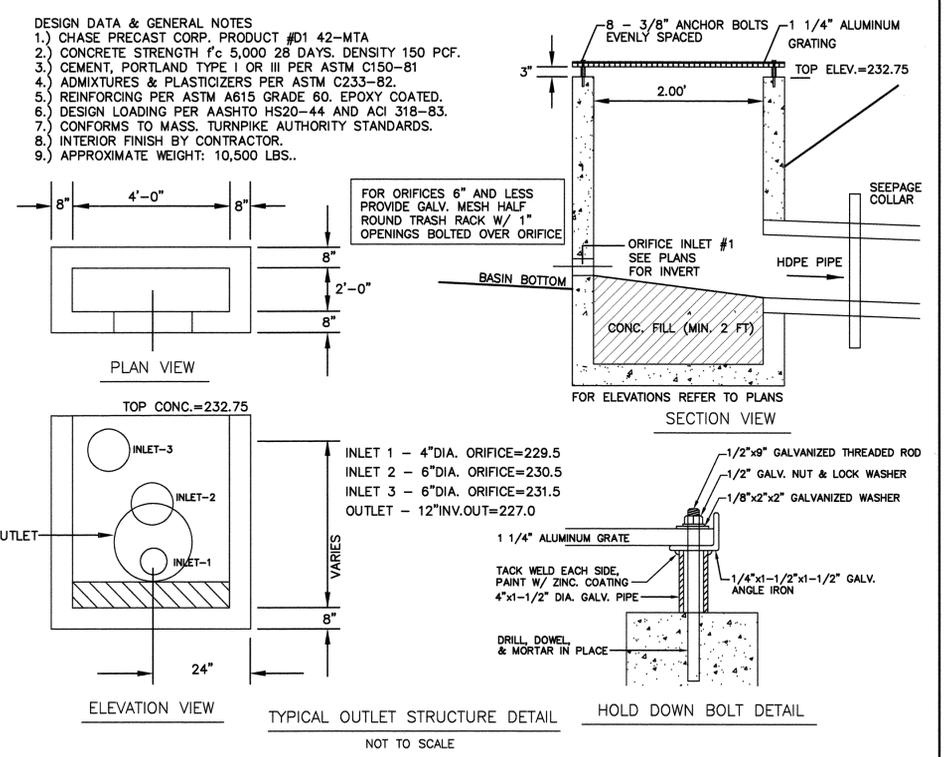
TREE PLANTING

NOT TO SCALE



UTILITY SCREEN DETAIL

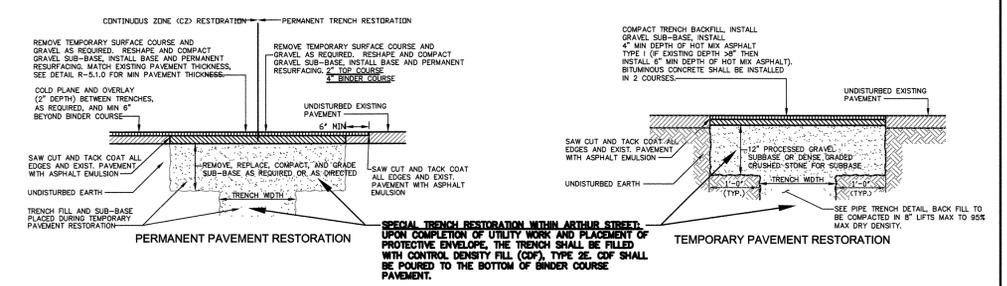
NOT TO SCALE



DESIGN DATA & GENERAL NOTES
1.) CHASE PRECAST CORP. PRODUCT #D1 42-MTA
2.) CONCRETE STRENGTH f'c 5,000 28 DAYS. DENSITY 150 PCF.
3.) CEMENT, PORTLAND TYPE I OR III PER ASTM C150-81
4.) ADMIXTURES & PLASTICIZERS PER ASTM C233-82
5.) REINFORCING PER ASTM A615 GRADE 60. EPOXY COATED.
6.) DESIGN LOADING PER AASHTO HS20-44 AND ACI 318-83.
7.) CONFORMS TO MASS. TURNPIKE AUTHORITY STANDARDS.
8.) INTERIOR FINISH BY CONTRACTOR.
9.) APPROXIMATE WEIGHT: 10,500 LBS..

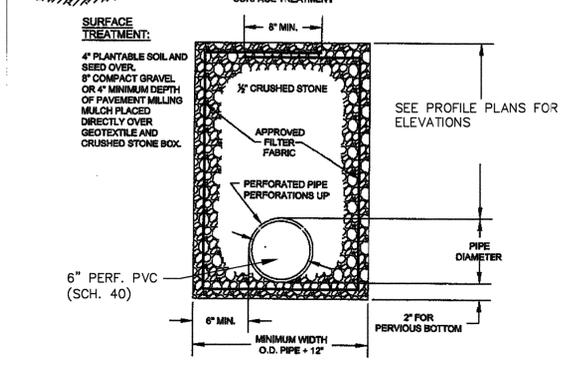
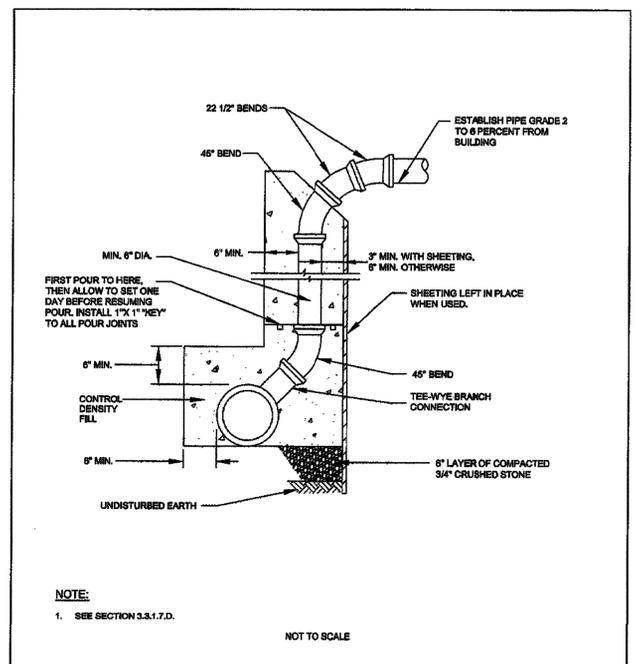
TYPICAL OUTLET STRUCTURE DETAIL

NOT TO SCALE



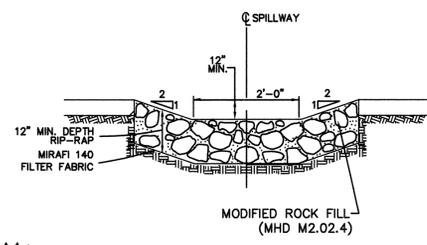
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS	PAVEMENT DETAILS FOR TRENCH RESTORATION	DATE: MARCH 2011	DETAIL NO. R-5.1.7
		REV: 1	

A STREET OPENING PERMIT (SOP) SHALL BE REQUIRED FOR ALL SURFACE OPENINGS AND TRENCHES WITHIN THE RIGHT OF WAY. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE SOP AND THE TOWN OF FRAMINGHAM SOP POLICY.



EMERGENCY SPILLWAY DETAIL

NOT TO SCALE



RIP RAP SWALE DETAIL

NOT TO SCALE

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS	CHIMNEY	DATE: MAR. 2012	DETAIL NO. S-3.1.2
		REV: 1	

NOTES:
1. PIPE UNDER R.O.W. SCHEDULE 20 OR 40 PERFORATED PVC.
2. OUTLET PIPE UNDER ROADWAY SHALL BE SCHEDULE 40.
3. PIPE SHALL BE SET AT BOTTOM OF TRENCH FOR IMPERVIOUS BOTTOM.
4. SUBDRAIN LOCATED APPROXIMATELY AT INTERSECTION OF TANGENTS.
5. SUBDRAIN (AND SPECIAL BOWROW WHERE REQUIRED) SHALL INTERSECT CRUSHED STONE FOR SUBDRAIN.
6. FILTER FABRIC SHALL BE APPROVED, MHD TYPE III WATER PERMEABLE SYNTHETIC FABRIC.

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS	SUBDRAIN	DATE: SEPT. 2009	DETAIL NO. D-4.7.0
		REV: 0	



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SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

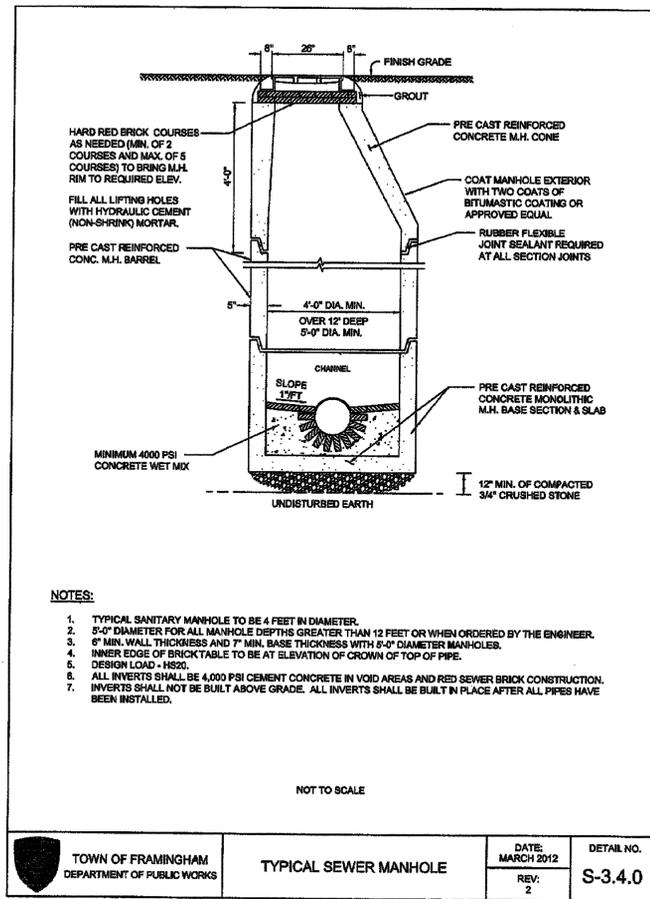
DATE: 09/03/14

OWNER & APPLICANT
CLARK'S HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701

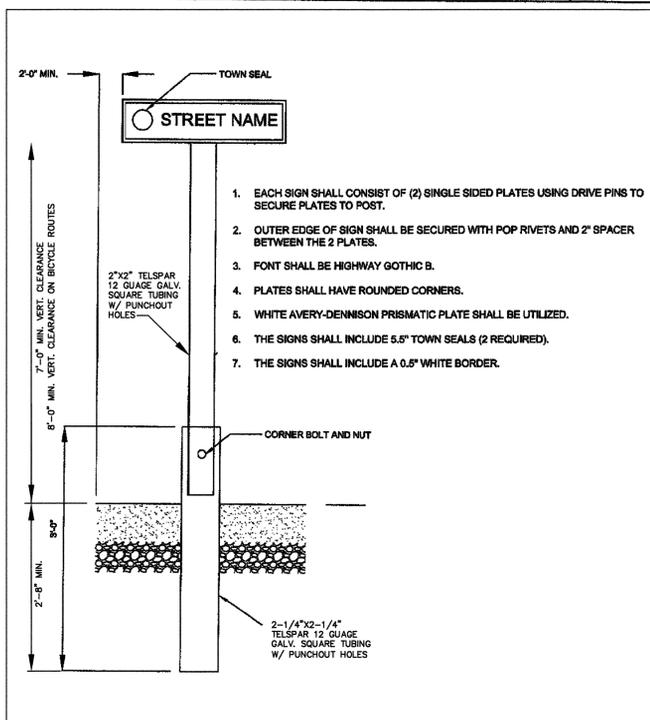
DEVELOPER & SUBDIVIDER
HERITAGE PROPERTIES
490-B BOSTON POST ROAD, SUITE 202
SUDBURY, MA 01776

DESIGNED BY:	CHECKED BY: VC
COMPUTED BY:	FIELD SURVEY:
DRAWN BY: REM	SCALE: NONE
SHEET 13 OF 14.	

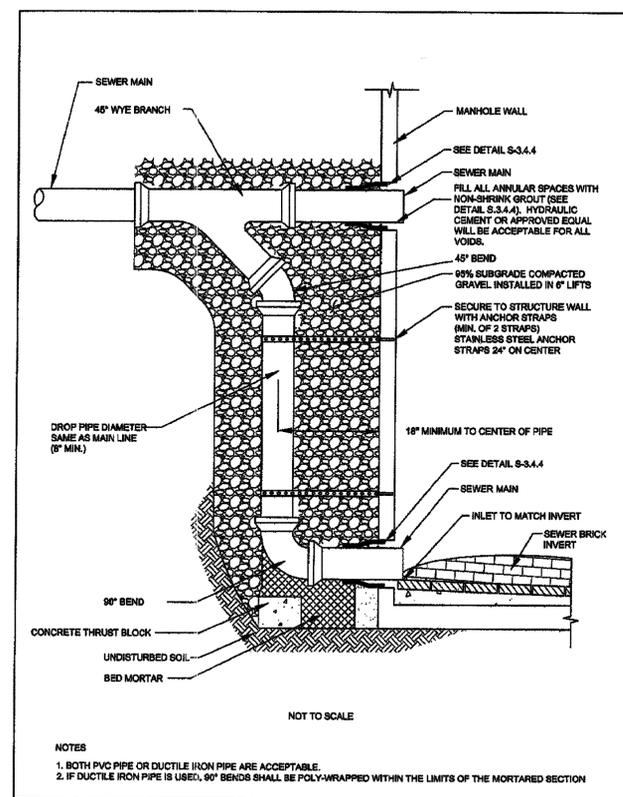
DEFINITIVE PLAN CONSTRUCTION DETAILS CLARK'S HILL VILLAGE IN FRAMINGHAM, MA	MAY 22, 2014 APRIL 25, 2014 FEB. 6, 2014 REVISIONS DATE: OCT. 10, 2013
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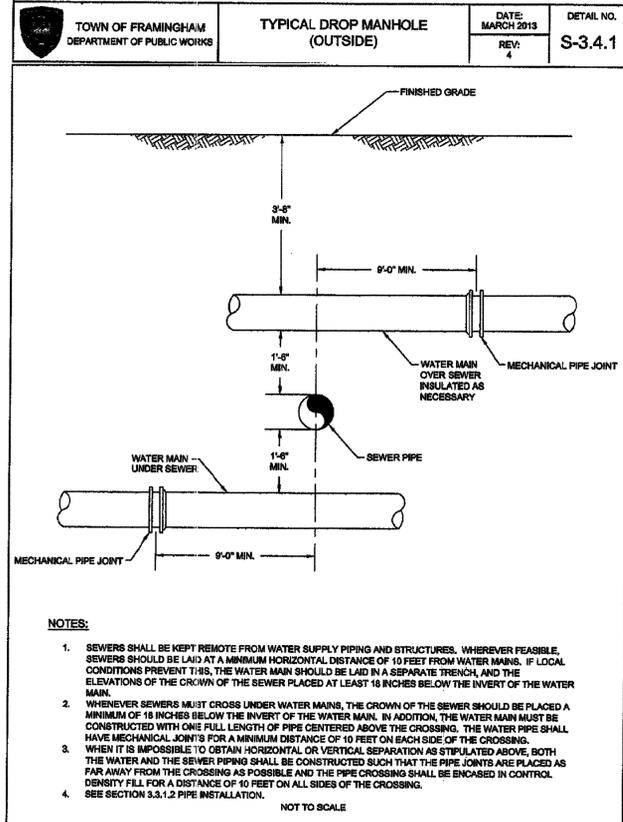
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL SEWER MANHOLE DATE: MARCH 2012 REV: 2 DETAIL NO. S-3.4.0



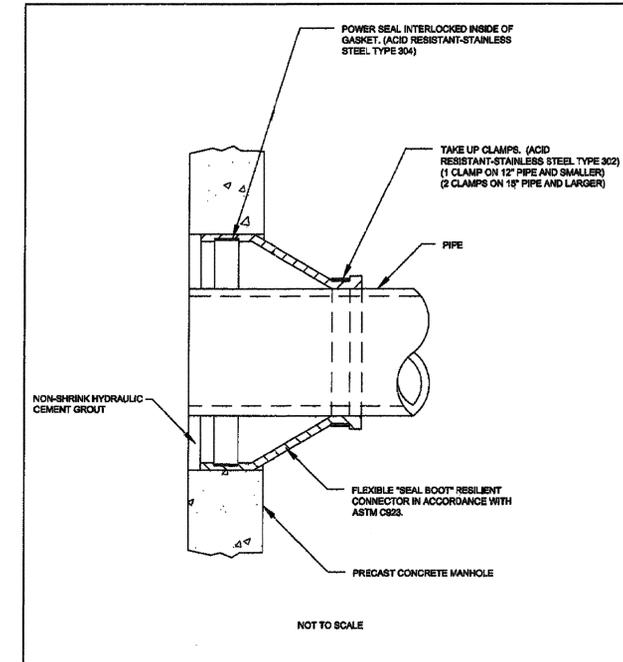
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS STREET SIGN DETAIL NON-SIDEWALK INSTALLATION DATE: MARCH 2011 REV: 0 DETAIL NO. R-5.7.5



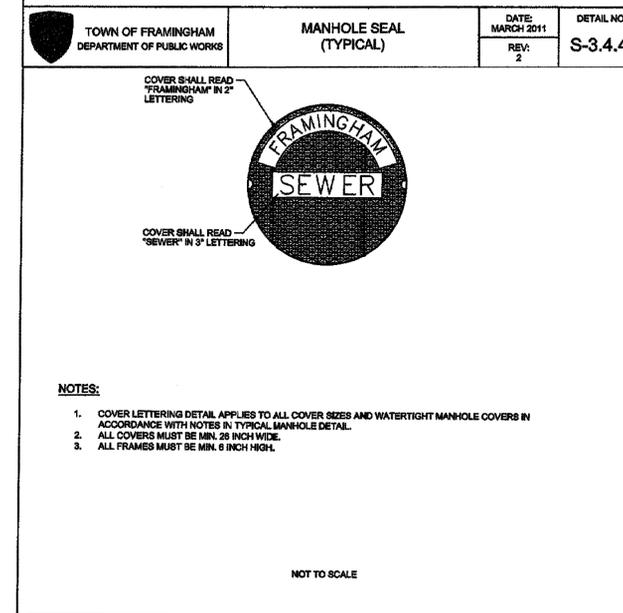
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL DROP MANHOLE (OUTSIDE) DATE: MARCH 2013 REV: 4 DETAIL NO. S-3.4.1



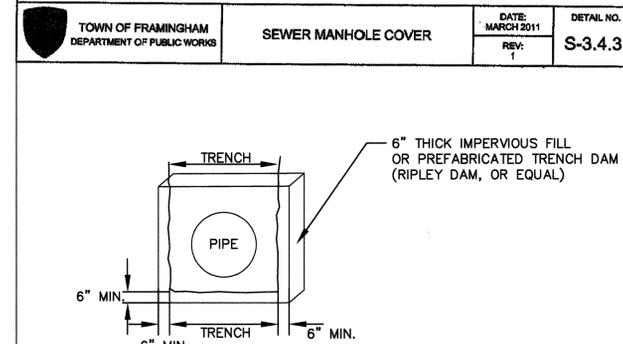
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS SEWER CROSSING DATE: MAR. 2012 REV: 1 DETAIL NO. S-3.5.0



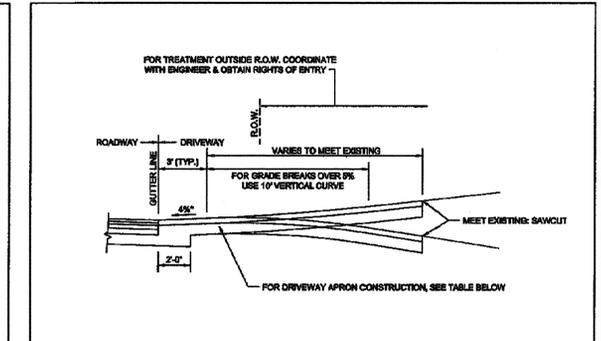
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS MANHOLE SEAL (TYPICAL) DATE: MARCH 2011 REV: 2 DETAIL NO. S-3.4.4



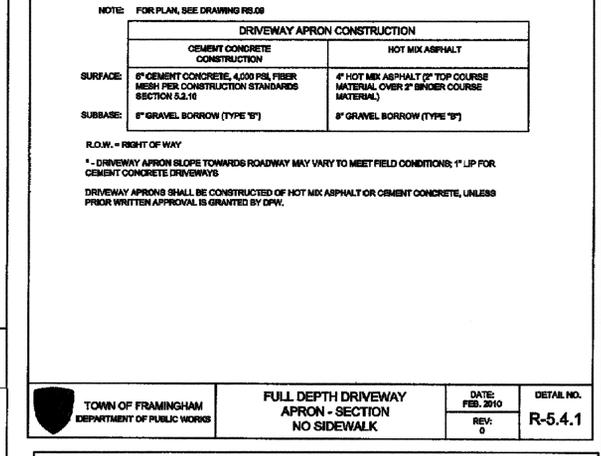
TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS SEWER MANHOLE COVER DATE: MARCH 2011 REV: 1 DETAIL NO. S-3.4.3



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TRENCH DAM DETAIL DATE: MAR. 2012 REV: 1 DETAIL NO. S-3.5.0



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS FULL DEPTH DRIVEWAY APRON - SECTION NO SIDEWALK DATE: FEB. 2010 REV: 0 DETAIL NO. R-5.4.1



TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS TYPICAL CURB CUT - RESIDENTIAL DRIVEWAYS NO SIDEWALK DATE: FEB. 2010 REV: 0 DETAIL NO. R-5.4.0

SPECIAL PERMIT APPROVAL UNDER SECTIONS IV.H.2., IV.O., IV.R., AND V.E. FRAMINGHAM PLANNING BOARD

DATE: 09/23/14



OWNER & APPLICANT
CLARKS HILL CORPORATE CENTER, LLC
1881 WORCESTER ROAD, SUITE 200
FRAMINGHAM, MA 01701



CONNORSTONE
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AND
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NORTHBOROUGH, MASSACHUSETTS 01532

DESIGNED BY:
CHECKED BY: VC
COMPUTED BY:
FIELD SURVEY:
DRAWN BY: REM
SCALE: NONE
SHEET 14 OF 14.

DEFINITIVE PLAN
CONSTRUCTION DETAILS
CLARK'S HILL VILLAGE
IN
FRAMINGHAM, MA

MAY 22, 2014
APRIL 25, 2014
FEB. 6, 2014
REVISIONS
DATE: OCT. 10, 2013