

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- SURVEY: "ALTA/ACSM LAND TITLE SURVEY" FOR CHICK-FIL-A PREPARED BY CONTROL POINT ASSOCIATES, INC., SOUTHBOROUGH, MA, SCALE: 1"=40, DATED 10/26/12, REVISED THROUGH 10/10/14 OR LATEST EDITION, 2 SHEETS.
- GEOTECH: "GEOTECHNICAL ENGINEERING REPORT PREPARED FOR PROPOSED CHICK-FIL-A #3126 PREPARED BY TERRACON CONSULTANTS, INC. DATED OCTOBER 5, 2012 OR LATEST EDITION.
- ENVIRONMENTAL: PHASE I ENVIRONMENTAL SITE ASSESSMENT PREPARED FOR PROPOSED CHICK-FIL-A #3126 PREPARED BY TERRACON CONSULTANTS, INC. DATED OCTOBER 5, 2012 OR LATEST EDITION.
- WETLAND: "WETLAND SITE INVESTIGATION" PREPARED BY LUCAS ENVIRONMENTAL, LLC DATED 10/15/12 OR LATEST EDITION.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (ADA) ADA PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE 42 U.S.C. § 12017 et seq. AND 42 U.S.C. § 11913 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

6. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

7. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPEATED DUE TO DIMENSIONS OR VERIFIED INCORRECTLY ON THE PLANS PRIOR TO CONTRACTOR NOTIFYING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

8. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

9. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS. BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SUPPRESSION (WHEN APPLICABLE), CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

10. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

11. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (IT TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

12. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

14. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

15. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK, DEPICED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

16. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT, THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.

17. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGI). ALL CONTRACTORS MUST HAVE THEIR CGI POLICIES ENDORSED TO NAME BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF HIS INSURANCE HEREUNDER.

18. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY TO THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT BE CONSIDERED THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

19. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT OR NEAR THE PROJECT SITE, SHALL RELIEVE THE DESIGN CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

20. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATION OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

21. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

22. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

23. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

24. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND DESIGN AND, FURTHER, ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

25. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

26. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

27. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

28. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FIFTEEN (15) ACRES) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUB CONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES AS APPROPRIATE.

29. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SEWER AND SANITARY SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT POINT OF CONNECTION AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND TO ENSURE THAT DEEPER DEPTHS ARE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLANS UTILITY CONNECTION POINTS DEPEND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND TO ENSURE THAT DEEPER DEPTHS ARE ACHIEVED, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLANS UTILITY CONNECTION POINTS DEPEND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTINUOUS RECORD AND THROUGH RECORD OF CONSTRUCTION OF THE SANITARY SEWER AND ALL UNDERGROUND STRUCTURES. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONDUCT AND ENSURE 6" ABOVE EXISTING LOCAL CUTTERS AND CURBS, 1.5" ABOVE LOCAL CONCRETE SURFACES, AND 1.5" MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY NOTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION. MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. REFER TO THIS SHEET FOR ADDITIONAL NOTES.

20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

21. CONTRACTOR MUST BE REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

22. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

23. STORM DRAINAGE PIPELINE(S) INDICATED OTHERWISE. ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS II WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M24 AND TYPE C (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASGET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SD 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

24. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) S3 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SD 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM BANK/SHORE, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

28. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPE MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

29. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSING UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

30. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CAST DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

31. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL AGENCY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

32. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOCKAGES CAN BE ADDRESSED.

33. FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATIONS ARE SCHEMATIC FOR GENIE BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF BLOCK AND/OR SIX (6) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

34. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

35. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND, FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

REFER TO LANDSCAPE NOTES & DETAILS FOR TYPICAL LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN PLAN FOR TYPICAL LIGHTING NOTES AND TABLES

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 10/26/12, REVISED THROUGH 10/10/14

2. THE DEMOLITION PLAN SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FORTO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

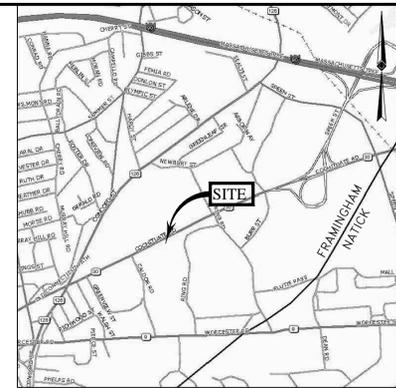
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDERS) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDON



VICINITY MAP
© 2004 DeLorme, Street Atlas USA

MAP 344, BLOCK 108
PORTION OF LOT 20
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

$R=187.00'$
 $\Delta=086^{\circ}40'58''$
 $L=185.00'$
 $CHB=565^{\circ}47'38''E$
 $CHD=177.55'$

$R=43.00'$
 $\Delta=076^{\circ}23'00''$
 $L=57.33'$
 $CHB=555^{\circ}56'37''E$
 $CHD=53.17'$

$R=1081.24'$
 $\Delta=010^{\circ}24'05''$
 $L=196.29'$
 $CHB=522^{\circ}57'10''E$
 $CHD=196.02'$

$R=245.00'$
 $\Delta=027^{\circ}13'20''$
 $L=116.40'$
 $CHB=514^{\circ}32'32''E$
 $CHD=115.31'$

MAP 344, BLOCK 108
PORTION OF LOT 20
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

$R=117.68'$
 $\Delta=010^{\circ}11'31''$
 $L=20.93'$
 $CHB=504^{\circ}09'53''W$
 $CHD=20.91'$

$R=597.45'$
 $\Delta=014^{\circ}19'31''$
 $L=149.38'$
 $CHB=516^{\circ}25'24''W$
 $CHD=148.99'$

$R=193.00'$
 $\Delta=022^{\circ}16'28''$
 $L=76.15'$
 $CHB=512^{\circ}16'56''W$
 $CHD=75.66'$

COCHITUATE ROAD
(A.K.A. ROUTE 30)
(PUBLIC - VARIABLE WIDTH)
(094 ALLOCATION - LAYOUT NO. 7166)

SHOPPERS WORLD
WEST DRIVE

SHOPPERS WORLD
WEST DRIVE

PROPOSED LEASE LINE
AREA=26,315 SF (0.60 AC)

EXISTING MASONRY BLOCK BUILDING
"KOHL'S"
BUILDING FOOTPRINT AREA=103,369± SQ. FT.

MAP 344, BLOCK 108
PORTION OF LOT 20
A.K.A. KOHL'S PARCEL
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

MAP 344, BLOCK 108
PORTION OF LOT 20
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

MAP 344, BLOCK 108
LOT 18E
N/F LANDS OF
MCDONALD'S REALTY TRUST, III
LCC #0220889
BK. 1234, PG. 139

MAP 344, BLOCK 108, LOT 18E
N/F LANDS OF
MCDONALD'S REALTY TRUST, III

MAP 344, BLOCK 108
LOT 18B
N/F LANDS OF
FAITH ANN MCCARTHY AND
PATRICIA C. ANDLAUER
LCC #140344
BK. 831, PG. 194

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS DIG-SAFE SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20123707007

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	508-370-7397
NSTAR GAS	781-400-5729
VERIZON	508-879-2916
FRAMINGHAM DPW	508-532-5000
COMCAST-PEMBROKE	508-506-1942
LEVEL 3 COMMUNICATIONS	860-349-7019
MCI	339-686-7399
RCN	603-579-9773
NSTAR ELECTRIC	781-400-5729
KINDER MORGAN GAS	713-369-9000
ON TARGET LOCATING	508-429-1002
INNOVATIVE DATA MANAGEMENT	888-604-5577

THIS SURVEY IS CERTIFIED TO:
CHICK-FIL-A, INC.
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5(PARTIAL), 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 16, 17, 18, & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 28, 2012.

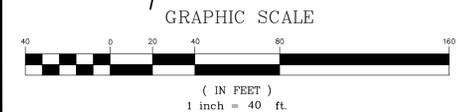
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

A. JOHN LLOYD
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #38385

DATE

ALTA/ACSM LAND TITLE SURVEY	
Chick-fil-A	
1 WORCESTER ROAD PORTION OF LOT 20, BLOCK 108, MAP 344 CITY OF FRAMINGHAM, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS	
CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTH BOKROGH, MA 01772 508.948.3000 - 508.948.3003 FAX WARREN, NJ 08068.0099 CHALFONT, PA 215.712.9800	
FIELD DATE 9-28-12	FIELD BOOK NO. 14 05
FIELD BOOK PG. 71-72	FIELD CREW B.S.B. MS/TG
REVIEWED: R.G.B.	APPROVED: A.J.L.
DATE 10-26-12	SCALE 1"=40'
FILE NO. CM11081	DWG. NO. 1 OF 2

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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISBURSE THE EARTH'S SURFACE ANYWHERE IN THE STATE.

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE
4	REVISED PER TITLE UPDATE	N/A	J.L.S.	A.J.L.	11-22-14
3	REVISED PER ENGINEERS COMMENTS	N/A	J.L.L.	A.J.L.	10-21-14
2	REVISED TO SHOW ADDITIONAL LOCATIONS	N/A	J.L.S.	A.J.L.	10-10-14
1	ADDED PROPOSED LEASE AREA	N/A	J.L.S.	J.L.L.	4-29-14

METES AND BOUNDS DESCRIPTION
PROPOSED LEASE AREA
(PORTION OF LOT 20, BLOCK 108, MAP 344)
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MASSACHUSETTS

THAT PROPERTY IN THE CITY OF FRAMINGHAM, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS BEING AN INTERIOR PORTION OF LOT 20, BLOCK 108 AS SHOWN ON THE CITY OF FRAMINGHAM TAX ASSESSORS MAP 344 (N/F DOR MDT SHOPPERS WORLD, LLC), THE PROPERTY IS ALSO IDENTIFIED ON A PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHIK-FIL-A, 1 WORCESTER ROAD, PORTION OF LOT 20, BLOCK 108, MAP 344, CITY OF FRAMINGHAM, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED OCTOBER 26, 2012, LAST REVISED APRIL 29, 2014, BEING SHOWN ENCLOSED BY A PROPOSED LEASE LINE ON SAID PLAN, IN THE VICINITY OF AND SOUTHWESTERLY FROM THE INTERSECTION OF SHOPPERS WORLD WEST DRIVE AND COCHITUATE ROAD AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN ANGLE POINT IN THE NORTHWESTERLY BOUNDARY OF THE SUBJECT LEASE AREA SAID POINT BEING SOUTH 57 DEGREES - 10 MINUTES - 05 SECONDS WEST A DISTANCE OF 128.22 FEET FROM A STONE BOUND WITH A DRILL HOLE ON THE WESTERLY LINE OF SHOPPERS WORLD WEST DRIVE, THENCE, RUNNING THROUGH SAID LOT 20 THE FOLLOWING FOURTEEN (14) COURSES:

1. SOUTH 88 DEGREES - 06 MINUTES - 36 SECONDS EAST, A DISTANCE OF 36.53 FEET TO A POINT, THENCE;
2. SOUTH 63 DEGREES - 06 MINUTES - 14 SECONDS EAST, A DISTANCE OF 71.80 FEET TO A POINT, THENCE;
3. SOUTH 43 DEGREES - 06 MINUTES - 36 SECONDS EAST, A DISTANCE OF 41.70 FEET TO A POINT, THENCE;
4. SOUTH 17 DEGREES - 33 MINUTES - 02 SECONDS WEST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
5. SOUTH 58 DEGREES - 35 MINUTES - 33 SECONDS WEST, A DISTANCE OF 42.89 FEET TO A POINT, THENCE;
6. SOUTH 51 DEGREES - 48 MINUTES - 10 SECONDS WEST, A DISTANCE OF 96.65 FEET TO A POINT, THENCE;
7. SOUTH 74 DEGREES - 35 MINUTES - 21 SECONDS WEST, A DISTANCE OF 7.75 FEET TO A POINT, THENCE;
8. SOUTH 51 DEGREES - 18 MINUTES - 24 SECONDS WEST, A DISTANCE OF 34.50 FEET TO A POINT, THENCE;
9. SOUTH 38 DEGREES - 41 MINUTES - 36 SECONDS EAST, A DISTANCE OF 15.14 FEET TO A POINT, THENCE;
10. SOUTH 51 DEGREES - 18 MINUTES - 24 SECONDS WEST, A DISTANCE OF 26.00 FEET TO A POINT, THENCE;
11. NORTH 38 DEGREES - 41 MINUTES - 36 SECONDS WEST, A DISTANCE OF 36.41 FEET TO A POINT, THENCE;
12. NORTH 51 DEGREES - 28 MINUTES - 43 SECONDS EAST, A DISTANCE OF 35.65 FEET TO A POINT, THENCE;
13. NORTH 38 DEGREES - 26 MINUTES - 04 SECONDS WEST, A DISTANCE OF 137.58 FEET TO A POINT, THENCE;
14. NORTH 62 DEGREES - 29 MINUTES - 43 SECONDS EAST, A DISTANCE OF 130.41 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 26,315 SQUARE FEET OR 0.604 ACRES, MORE OR LESS

SCHEDULE A
THIS RECORD DESCRIPTION OF A LEASE AREA DOES NOT APPEAR TO CORRESPOND TO THE SUBJECT PARCEL OF THIS SURVEY (MAP 344, BLOCK 108, PORTION OF LOT 20, "KOHL'S PARCEL"), AS SHOWN ON REF. #4.

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
A CERTAIN PARCEL OF LAND SITUATED IN THE TOWN OF FRAMINGHAM, COUNTY OF MIDDLESEX, COMMONWEALTH OF MASSACHUSETTS, SAID PARCEL AS SHOWN ON A PLAN ENTITLED "LAND TITLE SURVEY PLAN OF LAND IN FRAMINGHAM, MASS., RECORD OWNER, THE EQUITABLE ASSURANCE SOCIETY OF UNITED STATES, GROUND LESSEE: SEBAGO REALTY TRUST, PREPARED BY: SCHOFIELD BROTHERS, INC., "PLAN DATE: NOVEMBER 18, 1988, REVISIONS: DECEMBER 5, 1988, SCALE: 1"= 40', SAID PARCEL LYING SOUTHERLY OF COCHITUATE ROAD (ALSO KNOWN AS ROUTE 30) BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMMENCING AT A TIPPED LAND COURT BOUND AS SHOWN ON SAID PLAN; THENCE,
N 38° 21' 29" W A DISTANCE OF ONE HUNDRED NINETEEN AND 71/100 (119.71) FEET TO THE POINT OF BEGINNING; THENCE,
BY LAND NOW OR FORMERLY OF COMANDER CORPORATION AND ELEANOR REALTY COMPANY AND BY LAND NOW OR FORMERLY OF TRUSTEES OF FARLEY REVOCABLE TRUST, SEVEN HUNDRED EIGHTY-FOUR AND 18/100 (784.18) FEET; TO A POINT; THENCE,
N 51° 38' 31" E BY LAND NOW OR FORMERLY OF EQUITABLE LIFE ASSURANCE SOCIETY OF THE UNITED STATES (HEREINAFTER IN THIS DESCRIPTION CALLED EQUITABLE), ONE HUNDRED THIRTY FOUR AND 30/100 (134.30) FEET; TO A POINT; THENCE,
N 38° 21' 29" W BY LAND NOW OR FORMERLY OF EQUITABLE, SIXTY-SEVEN (67.00) FEET; TO A POINT; THENCE
N 51° 38' 31" E BY THE EQUITABLE, ONE HUNDRED SEVENTY-SEVEN AND 80/100 (177.80) FEET; TO A CUP TACK AS SHOWN ON SAID PLAN; THENCE,
N 38° 21' 29" W BY THE EQUITABLE, FIFTY-SEVEN AND 02/100 (57.02) FEET; TO A POINT; THENCE
N 64° 13' 30" E BY LAND NOW OR FORMERLY OF SHOPPERS WORLD, INC., EIGHTEEN AND 50/100 (18.51) FEET; TO A POINT; THENCE,
N 25° 46' 30" W BY LAND NOW OR FORMERLY OF SHOPPER'S WORLD, INC., TWENTY-SIX AND 03/100 (26.83) FEET; TO A POINT; THENCE,
N 63° 22' 00" E BY LAND NOW OR FORMERLY OF EQUITABLE, ONE HUNDRED EIGHTY-SIX AND 85/100 (186.85) FEET; TO A POINT; THENCE,
S 43° 14' 40" E BY THE EQUITABLE, ONE HUNDRED TWELVE AND 42/100 (112.42) FEET TO A POINT OF CURVATURE, THENCE;
SOUTHEASTERLY BY THE EQUITABLE, ON A CURVE TO THE LEFT HAVING A RADIUS OF THREE HUNDRED SEVENTEEN (317.00) FEET, AN ARC DISTANCE OF NINETY-SEVEN AND 15/100 (97.15) FEET, TO A NON-TANGENT POINT; THENCE,
S 67° 21' 40" E BY THE EQUITABLE, EIGHT-SIX AND 30/100 (86.30) FEET TO A POINT OF CURVATURE; THENCE,
SOUTHEASTERLY BY THE EQUITABLE, ON A CURVE TO THE RIGHT HAVING A RADIUS OF ONE HUNDRED SIXTY (160.00) FEET, AN ARC DISTANCE OF EIGHTY-TWO AND 36/100 (82.36) FEET TO A NON-TANGENT POINT; THENCE,
BY THE EQUITABLE, SEVENTY-THREE AND 42/100 (73.42) FEET TO A CUP TACK AS SHOWN ON SAID PLAN; THENCE,
S 18° 09' 15" E BY THE EQUITABLE, FORTY-THREE AND 70/100 (43.70) FEET TO A CUP TACK AS SHOWN ON SAID PLAN AT A NON-TANGENT POINT OF CURVE, THENCE,
SOUTHEASTERLY BY THE EQUITABLE, ON A CURVE TO THE RIGHT HAVING A RADIUS OF THREE HUNDRED TWENTY (320.00) FEET, AN ARC DISTANCE OF EIGHTY-FOUR AND 41/100 (84.41) FEET, TO A POINT OF TANGENCY; THENCE,
BY THE EQUITABLE, TWO HUNDRED FIFTY-SEVEN AND 75/100 (257.75) FEET TO A SPIKE AS SHOWN ON SAID PLAN AT A POINT OF CURVATURE; THENCE,
SOUTHWESTERLY BY THE EQUITABLE, ON A CURVE TO THE RIGHT HAVING A RADIUS OF THREE HUNDRED TWENTY (320.00) FEET, AN ARC DISTANCE OF ONE HUNDRED FORTY-EIGHT AND 58/100 (148.58) FEET TO A POINT OF REVERSE CURVE; THENCE,
SOUTHWESTERLY BY THE EQUITABLE, ON A CURVE TO THE LEFT HAVING A RADIUS OF THREE HUNDRED TWENTY (320.00) FEET, AN ARC DISTANCE OF ONE HUNDRED THIRTY-NINE AND 91/100 (139.91) FEET TO A POINT OF TANGENCY; THENCE,
S 00° 37' 00" W BY THE EQUITABLE, SEVENTY-FIVE AND 59/100 (75.59) FEET TO A POINT; THENCE,
S 87° 53' 50" W BY THE EQUITABLE, ONE HUNDRED SIXTY-SIX AND 47/100 (166.47) FEET, MORE OR LESS TO THE POINT OF BEGINNING.

4	REVISED PER TITLE UPDATE	N/A	J.L.S.	A.J.L.	11-22-14	
3	REVISED PER ENGINEERS COMMENTS	N/A	J.L.L.	A.J.L.	10-21-14	
2	REVISED TO SHOW ADDITIONAL LOCATIONS	N/A	J.L.S.	A.J.L.	10-10-14	
1	ADDED PROPOSED LEASE AREA	N/A	J.L.S.	J.L.L.	4-29-14	
No.	DESCRIPTION OF REVISION		FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY IS CERTIFIED TO:
CHICK-FIL-A, INC.
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", AND INCLUDES ITEMS 2, 3, 4, 5(PARTIAL), 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 16, 17, 18, & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 28, 2012.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

A. JOHN LLOYD
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #38385

DATE

ALTA/ACSM LAND TITLE SURVEY
CHICK-FIL-A
1 WORCESTER ROAD
PORTION OF LOT 20, BLOCK 108, MAP 344
CITY OF FRAMINGHAM, MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH BOKROCK, MA 01772
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 908.668.0099
CHALFONT, PA 215.712.9800

REVISED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
R.G.B.	A.J.L.	10-26-12	N/A	CM11081	2 OF 2

LEGEND

- 124 --- EXISTING CONTOUR
- - - 125 - - - EXISTING SPOT ELEVATION
- X 123.45 EXISTING TOP OF CURB ELEVATION
- X G 123.45 EXISTING GUTTER ELEVATION
- X TB 123.45 EXISTING TOP OF WALL ELEVATION
- X BB 122.95 EXISTING BOTTOM OF WALL ELEVATION
- X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- X DS 123.45 EXISTING DOOR SILL ELEVATION
- HYDRANT
- WATER VALVE
- UNKNOWN VALVE
- GAS VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- STREET LIGHT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL
- AREA LIGHT
- LAMP
- SIGN
- BOLLARD
- METAL GUIDE RAIL
- PAINTED ARROWS
- CHAIN LINK FENCE
- CONC. CONCRETE
- D.C. DEPRESSED CURB
- E.O.C. EDGE OF CONCRETE
- E.O.P. EDGE OF PAVEMENT
- L.S.A. LANDSCAPED AREA
- MC METAL COVER
- (TYP.) TYPICAL
- DMH DRAINAGE/STORM MANHOLE
- SMH SANITARY/SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- MH UNKNOWN MANHOLE
- CB CATCH BASIN OR INLET
- DELINEATION FLAG
- DECIDUOUS TREE 4" > IN CALIPER
- CONIFEROUS TREE 4" > IN CALIPER
- PARKING SPACE COUNT
- DEPRESSED CURB
- S.W.L. SOLID WHITE LINE
- S.Y.L. SOLID YELLOW LINE
- HT. HEIGHT
- BLDG. BUILDING
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- (Z) TITLE REPORT EXCEPTION

NOTES:

1. PROPERTY KNOWN AS A PORTION LOT 20, BLOCK 108, MAP 344, TOWN OF FRAMINGHAM, MIDDLESEX COUNTY, MASSACHUSETTS.
2. AREA = 471,764± S.F. OR 10.83± ACRES (KOHL'S PARCEL).
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCE. THE REFERENCED MAPS AVAILABLE AT THE TIME OF THE SURVEY, AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY THE CHICAGO TITLE INSURANCE COMPANY, FILE NO. 1151-25240, WITH AN EFFECTIVE DATE OF 9/12/14, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
GENERAL EXCEPTIONS 1-6 HAVE NOT BEEN COMMENTED ON AS PART OF THIS SURVEY.

(7) TERMS AND PROVISIONS OF A LEASE DATED JUNE 27, 1957, BETWEEN THE EQUITABLE LIFE ASSURANCE SOCIETY OF THE UNITED STATES, AS LANDLORD AND SHOPPERS' WORLD, INC., AS TENANT, NOTICE OF WHICH IS RECORDED IN BOOK 8976, PAGE 80, AND AS ASSIGNED BY ASSIGNMENT AND ASSUMPTION OF GROUND LEASE AND SUBLEASE BY AND BETWEEN SHOPPERS WORLD COMMUNITY CENTER, L.P. AND DDR MDT SHOPPERS WORLD LLC DATED JANUARY 7, 2004 AND RECORDED IN BOOK 41773, PAGE 324.
NOTE: ASSIGNMENT OF LEASE AND BILL OF SALE BETWEEN BRADLEES STORES, INC. AND KOHLS DEPARTMENTS STORES, INC., DATED NOVEMBER 14, 2001 IS UNRECORDED. AFFECTS PARCEL: NON-PLOTTABLE.

(8) TERMS AND PROVISIONS OF A LEASE DATED OCTOBER 18, 1974, BETWEEN SHOPPERS WORLD, INC., AS LANDLORD AND THE STOP & SHOP COMPANIES, INC., AS TENANT, NOTICE OF WHICH IS DATED OCTOBER, 18, 1984 AND RECORDED IN BOOK 12720, PAGE 428, AS AFFECTED BY RECOGNITION AND CONSENT AGREEMENT BY AND AMONG STOP & SHOP, THE EQUITABLE LIFE ASSURANCE SOCIETY OF THE UNITED STATES, AND SHOPPERS WORLD DATED OCTOBER 18, 1974 AND RECORDED IN BOOK 12770, PAGE 8, AS ASSIGNED BY STOP & SHOP TO TRUSTEES OF SEBAGO REALTY TRUST BY MEMORANDUM OF AGREEMENT BY AND AMONG STOP & SHOP, THE EQUITABLE LIFE ASSURANCE SOCIETY OF THE UNITED STATES, AND TRUSTEES OF SEBAGO REALTY TRUST DATED OCTOBER 30, 1975 AND RECORDED IN BOOK 12885, PAGE 314, AND AS ASSIGNED TO THE TRUSTEES OF WELLS REALTY TRUST BY ASSIGNMENT OF GROUND LEASE DATED AS OF DECEMBER 9, 1988 AND RECORDED IN BOOK 19538, PAGE 102, AND AS ASSIGNED BY ASSIGNMENT AND ASSUMPTION OF GROUND LEASE AND SUBLEASE BY AND BETWEEN SHOPPERS WORLD COMMUNITY CENTER, L.P. AND DDR MDT SHOPPERS WORLD LLC DATED JANUARY 7, 2004 AND RECORDED IN BOOK 41773, PAGE 324, AS ASSIGNED BY ASSIGNMENT AND ASSUMPTION OF SUBLEASE AND OTHER REAL PROPERTY INTERESTS DATED AS OF JANUARY 31, 2009 BY AND BETWEEN KOHLS DEPARTMENTS STORES, INC. RECORDED IN BOOK 54524, PAGE 192. AFFECTS PARCEL: NON-PLOTTABLE.

(9) RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATERS OF THE BOANISTERS BROOK SHOWN ON PLAN RECORDED IN BOOK 12885, PAGE 304, AND THEIR NATURAL FLOW. PLAN NOT PROVIDED FOR REVIEW, INCORRECT DEED REFERENCE.

(10) TERMS AND PROVISIONS OF LEASE DATED AS OF DECEMBER 9, 1988, IN WHICH TRUSTEES OF WELLS REALTY TRUST IS THE LANDLORD AND BRADLEES NEW ENGLAND, INC. IS THE TENANT, NOTICE OF WHICH IS DATED DECEMBER 9, 1988, AND RECORDED IN BOOK 19538, PAGE 162. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(11) MORTGAGE, SECURITY AGREEMENT AND FIXTURE FILING FROM DDR MDT SHOPPERS WORLD LLC TO METROPOLITAN LIFE INSURANCE COMPANY AND METLIFE BANK, N.A. DATED NOVEMBER 21, 2003 AND RECORDED IN BOOK 41512, PAGE 236, AS AFFECTED BY AMENDED AND RESTATED MORTGAGE, SECURITY AGREEMENT AND FIXTURE FILING DATED AS OF AUGUST 4, 2008 AND RECORDED IN BOOK 51542, PAGE 1, AS FURTHER AFFECTED BY MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DOCUMENTS DATED OCTOBER 20, 2009 AND RECORDED IN BOOK 53712, PAGE 346, AS AFFECTED BY AN ASSIGNMENT OF MORTGAGE FROM METLIFE BANK, N.A. TO METROPOLITAN LIFE INSURANCE COMPANY DATED MARCH 14, 2012 AND RECORDED IN BOOK 58766, PAGE 215, AS FURTHER AFFECTED BY AN ASSUMPTION AND MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DATED JUNE 20, 2012 AND RECORDED IN BOOK 59414, PAGE 510, (AFFECTS FEE SIMPLE ESTATE) NOTE: SAID ASSIGNMENT OF MORTGAGE AND ASSUMPTION AND MODIFICATION AGREEMENT AND OTHER REFERS ONLY THE TO AMENDED AND RESTATED MORTGAGE AND NOT THE ORIGINAL MORTGAGE. AFFECTS PARCEL: NON-PLOTTABLE.

(12) ASSIGNMENT OF LEASES FROM DDR MDT SHOPPERS WORLD LLC TO METROPOLITAN LIFE INSURANCE COMPANY AND METLIFE BANK, N.A. DATED NOVEMBER 21, 2003 AND RECORDED IN BOOK 41512, PAGE 287, AS AFFECTED BY AMENDED AND RESTATED ASSIGNMENT OF LEASES DATED AUGUST 1, 2008 AND RECORDED IN BOOK 51542, PAGE 80, AS FURTHER AFFECTED BY MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DOCUMENTS DATED OCTOBER 20, 2009 AND RECORDED IN BOOK 53712, PAGE 346, AS AFFECTED BY AN ASSIGNMENT OF MORTGAGE FROM METLIFE BANK, N.A. TO METROPOLITAN LIFE INSURANCE COMPANY DATED MARCH 14, 2012 AND RECORDED IN BOOK 58766, PAGE 220, AS FURTHER AFFECTED BY AN ASSUMPTION AND MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DATED JUNE 20, 2012 AND RECORDED IN BOOK 59414, PAGE 510. (AFFECTS FEE SIMPLE ESTATE) AFFECTS PARCEL: NON-PLOTTABLE.

(13) UCC-1 FINANCING STATEMENT NAMING DDR MDT SHOPPERS WORLD LLC, DEBTOR AND METROPOLITAN LIFE INSURANCE COMPANY, SECURED PARTY AND RECORDED IN BOOK 41512, PAGE 301, AS AFFECTED BY UCC CONTINUATION RECORDED IN BOOK 51496, PAGE 225. (AFFECTS FEE SIMPLE ESTATE) AFFECTS PARCEL: NON-PLOTTABLE.

(14) UCC-1 FINANCING STATEMENT NAMING DDR MDT SHOPPERS WORLD LLC, DEBTOR AND METROPOLITAN LIFE INSURANCE COMPANY, SECURED PARTY RECORDED ON AUGUST 6, 2008 IN BOOK 51542, PAGE 69, AS AFFECTED BY MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DOCUMENTS DATED OCTOBER 20, 2009 AND RECORDED IN BOOK 53712, PAGE 346, AS FURTHER AFFECTED BY AN ASSUMPTION AND MODIFICATION AGREEMENT FOR MORTGAGE AND OTHER DATED JUNE 20, 2012 AND RECORDED IN BOOK 59414, PAGE 510, AND AS FURTHER AFFECTED BY AN UCC FINANCING STATEMENT AMENDMENT WHICH CHANGES THE NAME OF THE DEBTOR TO BRE DDR SHOPPERS WORLD LLC RECORDED IN BOOK 59414, PAGE 532 AND AS FURTHER AFFECTED BY A UCC CONTINUATION RECORDED IN BOOK 61183, PAGE 529. AFFECTS PARCEL: NON-PLOTTABLE.

(15) UCC-1 FINANCING STATEMENT BY BRE DDR SHOPPERS WORLD LLC AS DEBTOR AND METROPOLITAN LIFE INSURANCE COMPANY AS SECURED PARTY RECORDED IN BOOK 59414, PAGE 532. AFFECTS PARCEL: NON-PLOTTABLE.

(16) DECLARATION OF RESTRICTION DATED JUNE 30, 2004 AND RECORDED IN BOOK 44255, PAGE 326. AFFECTS PARCEL: NON-PLOTTABLE.

(17) RESTRICTIVE COVENANTS DATED JUNE 7, 2011 AND RECORDED IN BOOK 57237, PAGE 104. (AFFECTS KOHLS SITE) AFFECTS PARCEL: NON-PLOTTABLE.

(18) MEMORANDUM OF ASSIGNMENT OF MEMORANDUM OF LEASE BY OFFICE MAX NORTH AMERICA, INC. TO PETSMAST, INC. DATED DECEMBER 22, 2005 AND RECORDED IN BOOK 47198, PAGE 1. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(19) RIGHTS OF OTHERS TO TRAVEL OVER THE RIGHT OF WAY KNOWN AS "FLUTIE PASS" AS SHOWN ON PLAN NO. 1332 OF 198, RECORDED IN BOOK 20246, PAGE 237. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(20) ORDER OF TAKING BY MIDDLESEX COUNTY COMMISSIONERS OF EASEMENTS FOR COCHITUATE ROAD AND ENTRANCE WAY INTO SHOPPING CENTER DATED JUNE 15, 1965 AND RECORDED IN BOOK 10855, PAGE 124. AFFECTS PARCEL, SHOWN ON PLAN.

(21) ORDERS OF TAKING BY THE TOWN OF FRAMINGHAM OF EASEMENTS FOR COCHITUATE ROAD, DATED APRIL 6, 1978, RECORDED IN BOOK 13461, PAGE 313 AND DATED FEBRUARY 12, 1985 AND RECORDED IN BOOK 17695, PAGE 195. AFFECTS PARCEL, SHOWN ON PLAN.

(22) ELECTRIC TRANSMISSION EASEMENT GRANTED BY JOSEPH W. LUND ET AL TRUSTEES, TO BOSTON EDISON COMPANY, DATED NOVEMBER 16, 1950 AND RECORDED IN BOOK 7674, PAGE 37, AS SUPPLEMENTED BY A TAKING BY BOSTON EDISON COMPANY DATED JANUARY 7, 1953 AND RECORDED IN BOOK 8014, PAGE 317, AS AFFECTED BY ABANDONMENT OF A PORTION BY BOSTON EDISON COMPANY TO SHOPPERS WORLD INC. DATED APRIL 5, 1957 AND RECORDED IN BOOK 8945, PAGE 107 AS AFFECTED BY A RELEASE OF EASEMENT AND RESERVATION CONTAINED IN A DOCUMENT DATED JULY 19, 1994 AND RECORDED IN BOOK 24754, PAGE 536. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(23) SEWER EASEMENT IN GRANT FROM RICHARD M. WYMAN TO THE INHABITANTS OF THE TOWN OF FRAMINGHAM FOR SEWER PURPOSES DATED MAY 19, 1938 AND RECORDED IN BOOK 6309, PAGE 63. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(24) RIGHTS AND EASEMENTS IN GRANT FROM TRUSTEES OF MIDDLESEX TRUST TO THE INHABITANTS OF THE TOWN OF FRAMINGHAM DATED FEBRUARY 27, 1951 AND RECORDED IN BOOK 7713, PAGE 428, THROUGH 430. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(25) RIGHTS, EASEMENTS, AGREEMENTS, RESERVATIONS AND TERMS AND PROVISIONS OF AN INSTRUMENT ENTITLED FLUTIE PASS EASEMENT AGREEMENT BY AND AMONG EQUITABLE LIFE ASSURANCE SOCIETY OF THE UNITED STATES SWI AND THE TOWN OF NATICK DATED JUNE 13, 1985 AND RECORDED IN BOOK 16300, PAGE 547. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(26) RIGHTS AND EASEMENTS IN GRANT FOR SW TO BOSTON EDISON COMPANY DATED APRIL 16, 1957 AND RECORDED IN BOOK 8945, PAGE 94. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(27) TAKINGS OF ELECTRIC EASEMENTS BY BOSTON EDISON COMPANY DATED DECEMBER 23, 1955 AND RECORDED IN BOOK 8640, PAGE 311, AND DATED FEBRUARY 3, 1956 AND RECORDED IN BOOK 8664, PAGE 507. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(28) MAINTENANCE RIGHTS CONCERNING A SPRING AND DISCHARGE INTO BANNISTER BROOK SET FORTH IN DEED FROM INHABITANTS OF THE TOWN OF FRAMINGHAM TO WINDSOR H. WYMAN DATED MARCH 6, 1914, AND RECORDED IN BOOK 3864, PAGE 490. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(29) GRANT OF EASEMENT FOR SEWER LINES FROM BAY STATE NURSERIES, INC. TO THE TOWN OF FRAMINGHAM DATED JULY 6, 1937 AND RECORDED IN BOOK 6176, PAGE 533. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(30) RESERVATION OF RIGHTS FOR SEWERAGE AND DRAINAGE PURPOSES IN DEED FROM THE INHABITANTS OF THE TOWN OF NATICK TO RICHARD M. WYMAN RECORDED IN BOOK 7590, PAGE 125. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(31) RIGHTS AND EASEMENT FROM SWI TO BOSTON EDISON COMPANY DATED AUGUST 24, 1964 AND RECORDED IN BOOK 10630, PAGE 417. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(32) NON-ACCESS PROVISIONS OF ORDER OF TAKING BY MASSACHUSETTS TURNPIKE AUTHORITY DATED MAY 12, 1955 RECORDED IN BOOK 8473, PAGE 357. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(33) EASEMENTS GRANTED TO BOSTON EDISON COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED JULY 6, 1994 AND RECORDED IN BOOK 24693, PAGE 203. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(34) LIMITED ACCESS PROVISIONS IN AN ORDER OF TAKING BY THE COMMONWEALTH OF MASSACHUSETTS FOR THE RELOCATION OF WORCESTER ROAD IN NATICK, MA, RECORDED IN BOOK 24725, PAGE 34. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(35) DRAINAGE EASEMENT TAKEN BY AN ORDER OF TAKING BY THE COMMONWEALTH OF MASSACHUSETTS FOR THE RELOCATION OF WORCESTER ROAD, IN FRAMINGHAM, MA RECORDED IN BOOK 24725, PAGE 94. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(36) EASEMENT GRANTED TO BOSTON EDISON COMPANY DATED JULY 15, 1994 AND RECORDED IN BOOK 24754, PAGE 539. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(37) UTILITY EASEMENTS GRANTED TO BOSTON EDISON COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY DATED JULY 28, 1994 AND RECORDED IN BOOK 24757, PAGE 396. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(38) TERMS AND PROVISIONS OF A RECIPROCAL EASEMENT AGREEMENT BY AND BETWEEN HOMART DEVELOPMENT COMPANY AND DONALD CHASEN AND CAROL A. WILLIAMS, AS TRUSTEES OF HCC NOMINEE REALTY TRUST DULY RECORDED, SAID EASEMENT DATED OCTOBER 6, 1994 AND RECORDED IN BOOK 24968, PAGE 346. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(39) RECIPROCAL GRANT OF EASEMENT BETWEEN SHOPPERS WORLD COMMUNITY CENTER, L.P., COMMUNITY CENTERS THREE, L.L.C. AND MASSACHUSETTS PORT AUTHORITY WITH MAINTENANCE OBLIGATIONS DATED JUNE 30, 2001 AND RECORDED IN BOOK 33158, PAGE 291. DOES NOT AFFECT AREA SHOWN ON SURVEY.

(40) RESTRICTION AGREEMENT BETWEEN SHOPPERS WORLD COMMUNITY CENTER, L.P. AND THE STOP AND SHOP SUPERMARKET COMPANY DATED DECEMBER 20, 2002 AND RECORDED IN BOOK 37596, PAGE 436. DOES NOT AFFECT AREA SHOWN ON SURVEY.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS WITH LESS THAN A 0.2% ANNUAL CHANCE OF FLOODING) PER REF. #2.

7. UNDERGROUND TANK SIZES WERE OBTAINED FROM INFORMATION RECEIVED FROM STATION MANAGER OR EMPLOYEE. ALL SIZES AND LOCATIONS ARE APPROXIMATE & ARE SUBJECT TO FIELD VERIFICATION

8. ELEVATIONS ARE BASED UPON NGS DISK AJ4045, ELEVATION = 182.00 NAVD 88.

9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF TOWN OF FRAMINGHAM, MIDDLESEX COUNTY, MASSACHUSETTS, SHEET #344.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF FRAMINGHAM, MIDDLESEX COUNTY, PANEL 517 OF 856", COMMUNITY-PANEL NUMBER 250193 0517 E, MAP REVISED: JUNE 4, 2010.
3. 1994 MASSACHUSETTS HIGHWAY ALTERATION, LAYOUT NO. 7166, PREPARED BY HTSO.
4. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND, PLAN FOR: DEVELOPERS DIVERSIFIED REALTY CORP., OWNER: DDR MDT SHOPPERS WORLD, LLC, PREPARED BY: MILLMAN SURVEYING, INC., DATED: AUGUST 20, 2009, RECORDED AS PLAN 509 OF 2011.
5. MAP ENTITLED "APPROVAL NOT REQUIRED PLAN OF LAND ON COCHITUATE ROAD IN MIDDLESEX COUNTY, FRAMINGHAM & NATICK, MASSACHUSETTS", PREPARED BY: MCCARTHY & SULLIVAN ENGINEERING, INC., DATED: JUNE 19, 2000, RECORDED AS PLAN 279 OF 2001.
6. MAP ENTITLED "PLAN OF LAND IN FRAMINGHAM AND NATICK, MASS., OWNED BY: HOMART DEVELOPMENT CO.", DATED: JUNE 7, 1994, SURVEY BY: MCCARTHY & SULLIVAN ENGINEERING, INC.
7. MAP ENTITLED "PROPOSED KOHL'S DEPARTMENT STORE COCHITUATE ROAD FRAMINGHAM, MASSACHUSETTS", PREPARED BY: VANASSE, HANGEN BRUSTLIN, INC. DATED ISSUED: JANUARY 31, 2002, LATEST ISSUE: JUNE 4, 2002.

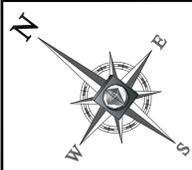
CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PROJECT OR COPY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

UTILITIES:
THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS DIG-SAFE SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 2012370707

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	508-370-7397
NSSTAR GAS	781-400-5729
VERIZON	508-879-2916
FRAMINGHAM DFW	508-532-5000
COMCAST-PEMROK	508-508-1942
LEVEL 3 COMMUNICATIONS	860-349-7019
MCI	339-686-7399
RCA	603-579-9773
781-400-5729	
NSTAR ELECTRIC	713-369-9000
KINDER MORGAN GAS	508-429-1002
ON TARGET LOCATING	586-604-5577
INNOVATIVE DATA MANAGEMENT	



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE WITHIN THE STATE.



APPROXIMATE 1985 COUNTY LAYOUT
EASEMENT PER PLAN ENTITLED
"APPROVAL NOT REQUIRED PLAN OF
LAND", PREPARED BY MILLMAN
SURVEYING, INC., DATED 08/20/2009
AND APPROVED BY THE FRAMINGHAM
PLANNING BOARD ON 06/09/2011

PARCEL 7-E-1-T
COMMONWEALTH OF
MASSACHUSETTS
HIGHWAY EASEMENT

PROPOSED SELECTIVE THINNING / PRUNING OF SAPLINGS
UNDER STORY GROWTH AND TREES WITHIN THIS AREA

COCHITUATE ROAD
A.K.A. ROUTE 88
PUBLIC HIGHWAY RIGHTS
100% ALLOCATION (ADDITIONAL RIGHTS)

MAP 344, BLOCK 108
PORTION OF LOT 20
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

MAP 344, BLOCK 108
LOT 18E
N/F LANDS OF
MCDONALD'S REALTY TRUST, III
LCC #0220889
BK. 1234, PG. 139

MAP 344, BLOCK 108, LOT 18E
N/F LANDS OF
MCDONALD'S REALTY TRUST, III

MAP 344, BLOCK 108
LOT 18B
N/F LANDS OF
FAITH ANN MCCARTHY AND
PATRICIA C. ANDLAUER
LCC #140344
BK. 831, PG. 194

MAP 344, BLOCK 108
PORTION OF LOT 20
A.K.A. KOHL'S PARCEL
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

MAP 344, BLOCK 108
PORTION OF LOT 20
N/F DDR MDT SHOPPERS
WORLD LLC
DEED BOOK 41512, PAGE 196

LAND USE / ZONING INFORMATION & NOTES

- APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON RD
ATLANTA, GA 30349
- OWNER:
DDR MDT SHOPPERS WORLD LLC
C/O DEVELOPERS DIVERSIFIED RLTY LLC
3300 ENTERPRISE PARKWAY
BEACHWOOD, OH 44122
- PARCEL:
MAP #344, BLOCK 108, PORTION OF LOT 20
1 WORCESTER ROAD
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MASSACHUSETTS

ZONING ANALYSIS TABLE			
ZONING DISTRICT	GENERAL BUSINESS ZONING DISTRICT REGIONAL CENTER OVERLAY DISTRICT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	6,000 SF	471,764 SF (10.83 AC.)	NO CHANGE
MIN. FRONT SETBACK	25 FT	151.1 FT	NO CHANGE
MIN. SIDE SETBACK	15 FT	111.9 FT	NO CHANGE
MIN. REAR SETBACK	NIS	52.8 FT	NO CHANGE
MAX. BUILDING HEIGHT	80 FT	<80 FT	25 FT
MAX. F.A.R.	0.32	0.22	0.23
MIN. OPEN SPACE	20%	24.1%	24.3%
PARKING SPACES	538	546 (1)	520 (R)
PARKING CRITERIA (R-15)	1 PARKING SPACE PER 200 SF GROSS FLOOR AREA KOHL'S: ±87,644 SF = 438.22 (1) PIER 1: ±15,000 SF = 75 (1) CHECKOUT: ±4,815 SF = 23.90 TOTAL: ±107,459 SF = 537.29 OR 538 SPACES REQUIRED		
ACCESSIBLE PARKING SPACES	11	13	15
ACCESSIBLE PARKING CRITERIA (STANDARD SPACE: 8'x18' W/ 5' ACCESS AISLE) (VAN ACCESSIBLE SPACE: 8'x18' W/ 6' ACCESS AISLE)	TOTAL PARKING 501 TO 1000 = 2 PERCENT OF TOTAL ACCESSIBLE SPACES VAN ACCESSIBLE SPACES= 11.6 SPACES		

NIS - NOT SPECIFIED
(R) - RELIEF REQUIRED
(1) - REFLECTS PROPOSED CONDITION OF PLAN ENTITLED "SITE PLAN" PREPARED BY BOHLER ENGINEERING, DATED 10/21/14



REVISIONS

#	DATE	COMMENT	BY
1	02/03/15	MISC. COMMENTS	CFD
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W.D. GOEBEL

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STORE #3126
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1 WORCESTER ROAD
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

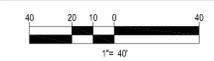
SHEET TITLE
**OVERALL
SITE
PLAN**
DWG EDITION 02.4
 Preliminary
 80% Submittal
 For Construction

Job No. : W111040
Store : 3126
Date : 10/21/14
Drawn By : CFD/DML
Checked By : JGS

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THIS PLAN TO BE UTILIZED FOR SITE
ZONING COMPLIANCE PURPOSES ONLY

SEE GENERAL NOTES
SHEET FOR NOTES

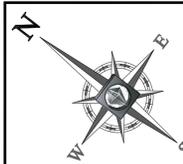


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SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
 - 2 DRIVE-THRU GRAPHICS
 - 3 STOP LINE GRAPHIC
 - 4 PAINTED HANDICAP PARKING SYMBOL
 - 5 DIRECTIONAL SIGNAGE
ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION
 - 6A STOP SIGN
 - 6B ACCESSIBLE PARKING SIGN
 - 6C "DO NOT ENTER" SIGN
 - 6D CHANNEL LETTER SIGN (INT. ILLUMINATED 60" - "CHICK-FIL-A" - 36.44 SF)
 - 7 STANDARD PARKING STALL (9x20')
 - 8 SIDEWALK ACCESSIBLE RAMP
 - 9 CURB RAMP
 - 10 DRIVE-THRU DIRECTIONAL ARROW
 - 11 2' CONCRETE CHAMFER
 - 12 CONCRETE LANDSCAPE AND IRRIGATION PROTECTION
 - 13 MONOLITHIC CURB & SIDEWALK
 - 14 DRIVE-THRU PLAN (SEE DETAIL)
 - 15 DRIVE-THRU ISOMETRIC (SEE DETAIL)
 - 16 CANOPY / AWNING
 - 17 STORAGE SHED
 - 18 PRE-CAST CONCRETE CURB
 - 19 STRIPED ISLAND (4' SW/S. 2 O.C. @ 45')
 - 20 REFUSE ENCLOSURE FOUNDATION
 - 21 PICK UP WINDOW BOLLARD
 - 22 TYPICAL PAVEMENT SECTION (SEE DETAIL)
 - 23 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT*
 - 24 TRANSVERSE & LONGITUDINAL DOWELED CONST. JOINT*
 - 25 S.W.L. (TYP.)
 - 26 CONCRETE APRON @ DRIVE THRU LANE
 - 27 CONCRETE PAVING @ DRIVE THRU LANE
 - 28 CLEARANCE BAR
 - 29 FLAGPOLE
EXC. SERIES 50 FOOT FLAGPOLE PACKAGE BY APPROVED VENDORS, THE FLAG COMPANY OR ATLAS FLAGS.
 - 30 TRANSFORMER ON CONC. PAD
 - 31 ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
 - 32 GREASE TRAP
 - 33 AREA LIGHT
 - 34 BIKE RACK
 - 35 MENU BOARD & CANOPY ORDERING STATION
 - 36 BOLLARD
 - 37 MENU-BOARD LOOP DETECTOR SYSTEM
 - 38 LANDSCAPED AREA
 - 39 DRIVE-THRU ORDER POINT ISLAND CURB
 - 40 SAWCUT LINE
 - 41 TRANSITION CURB
 - 42 SEASONAL OUTDOOR SEATING AREA (REFER TO ARCHITECTURAL PLANS)
 - 43 APPROXIMATE LOADING ZONE
 - 44 TRASH RECEPTACLE
 - 45 3' CURB BREAK
 - 46 SNOW STORAGE
 - 47 4" WIDE WHITE STRIPE
 - 48 5' WIDE CROSSWALK
 - 49 5' WIDE CONCRETE SIDEWALK
 - 50 DRIVE-THRU ORDER POINT BOLLARD
 - 51 PATIO FENCE RAIL
- * NOT SHOWN FOR CLARITY



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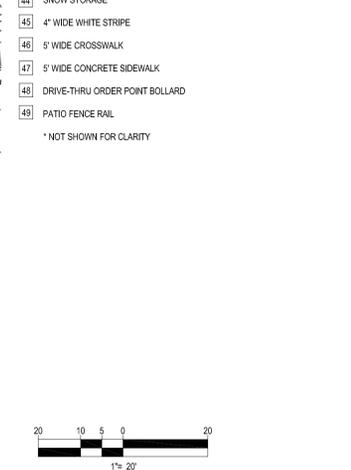
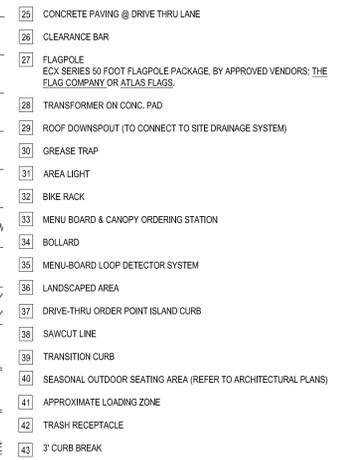
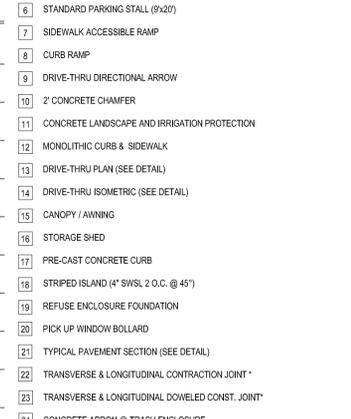
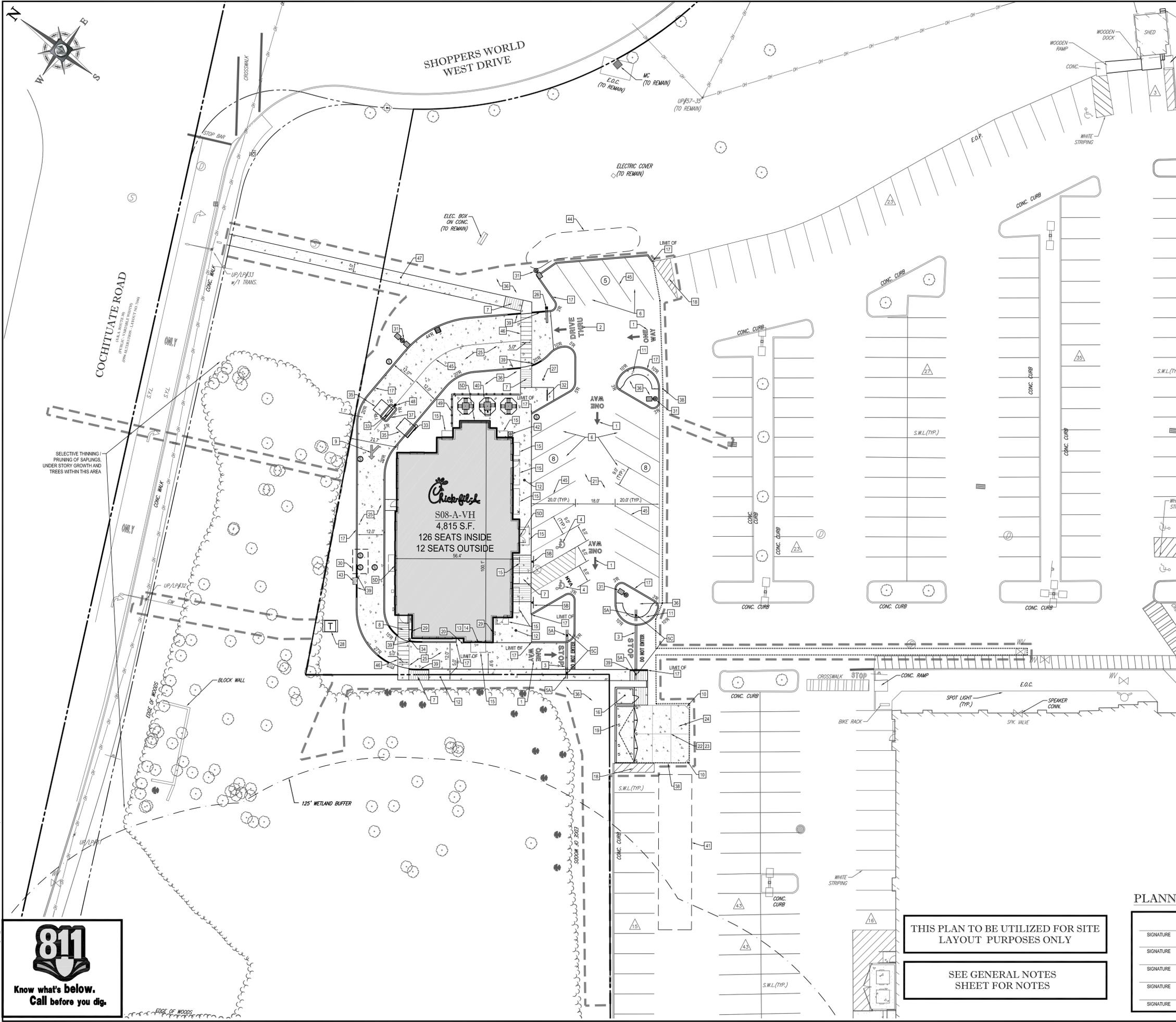
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STORE #3126
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CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

SHEET TITLE
SITE PLAN
DWG EDITION **02.4**
 Preliminary
 80% Submittal
 For Construction

Job No. : W111040
Store : 3126
Date : 10/21/14
Drawn By : CFD/DML
Checked By : JGS

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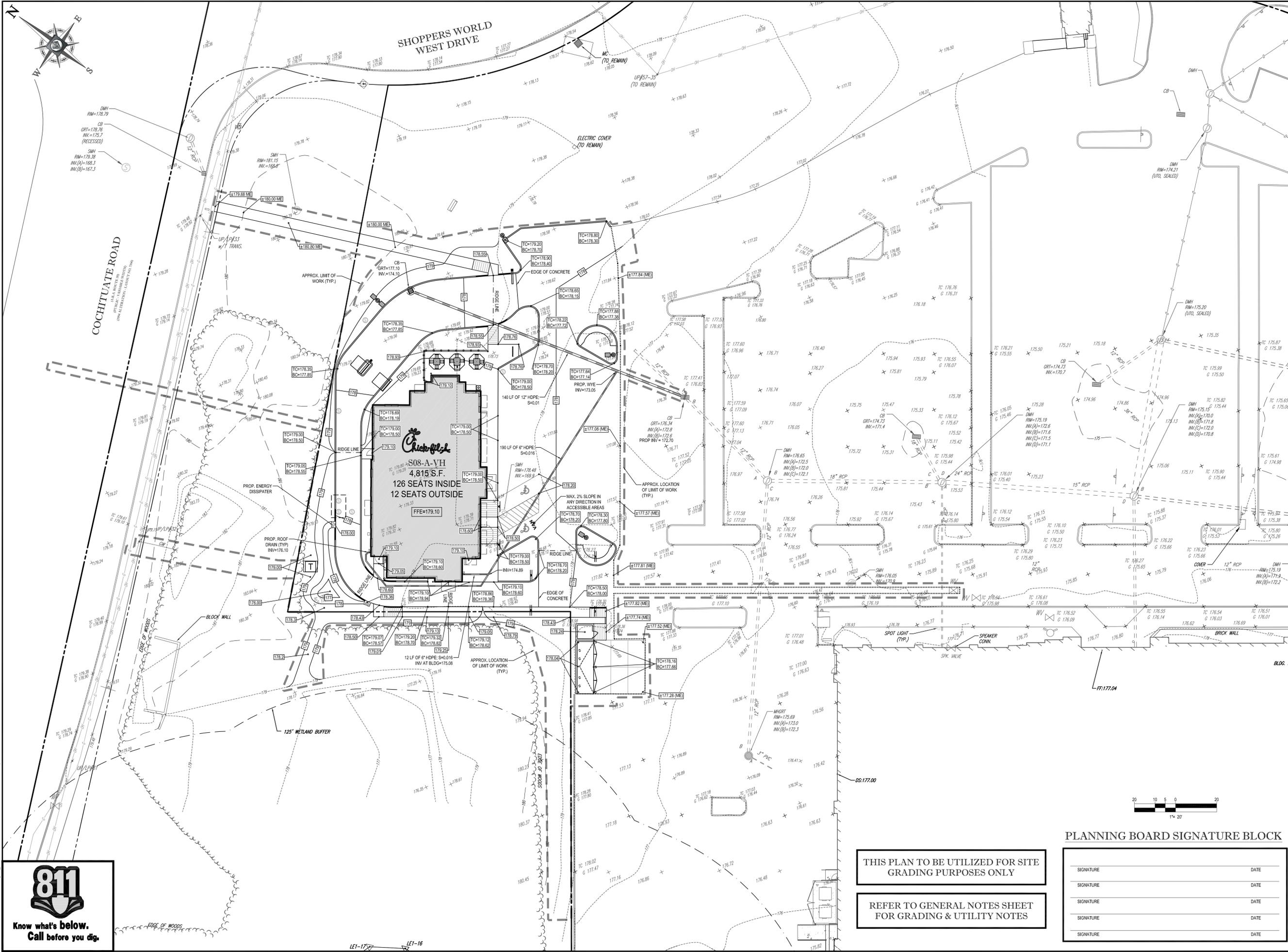
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THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SEE GENERAL NOTES SHEET FOR NOTES



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 MIDDLESEX COUNTY, MA
 MAP #344, BLOCK 108,
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SHEET TITLE
GRADING & DRAINAGE PLAN
 DWG EDITION **02.4**
 Preliminary
 80% Submittal
 For Construction

Job No. : W11040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

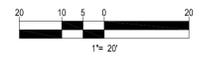
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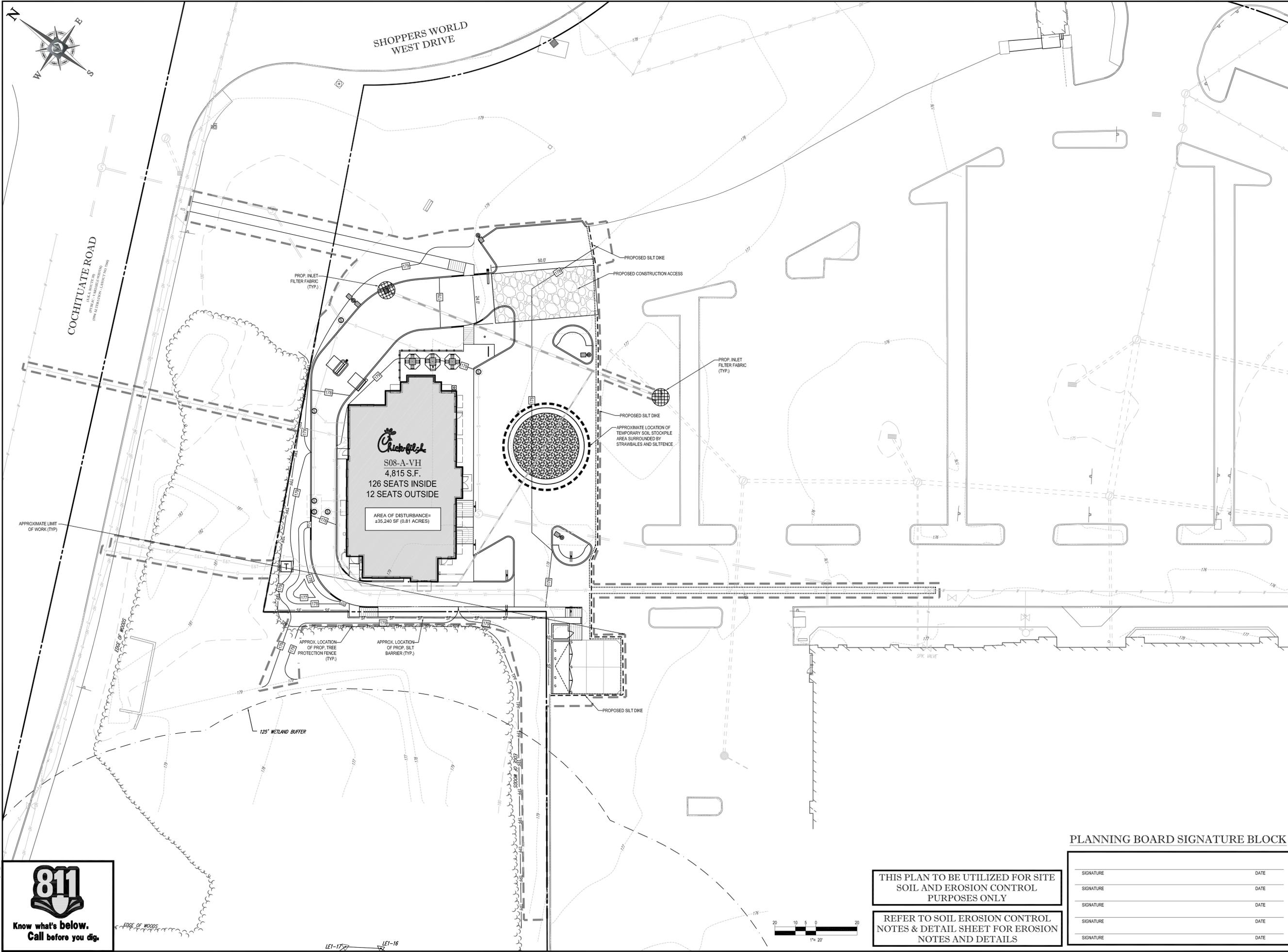
REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES

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 MAP #344, BLOCK 108,
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SHEET TITLE
**SOIL EROSION
 & SEDIMENT
 CONTROL PLAN**
 DWG EDITION 02.4
 Preliminary
 80% Submittal
 For Construction

Job No. : W111040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

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THIS PLAN TO BE UTILIZED FOR SITE
 SOIL AND EROSION CONTROL
 PURPOSES ONLY

REFER TO SOIL EROSION CONTROL
 NOTES & DETAIL SHEET FOR EROSION
 NOTES AND DETAILS

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EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE "EROSION AND SEDIMENT CONTROL HANDBOOK" PUBLISHED BY THE U.S.D.A. SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT, 1972, AS AMENDED.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 2% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.00 LB PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD./BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISC, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNPROTECTED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 - AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
 - STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
 - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

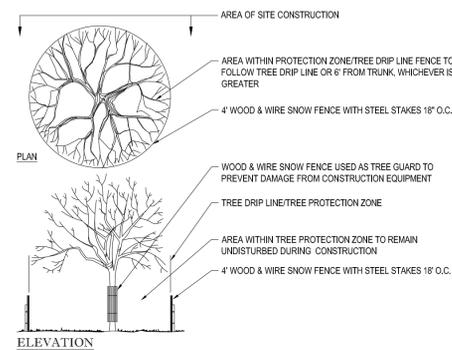
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CONSTRUCTION SEQUENCE

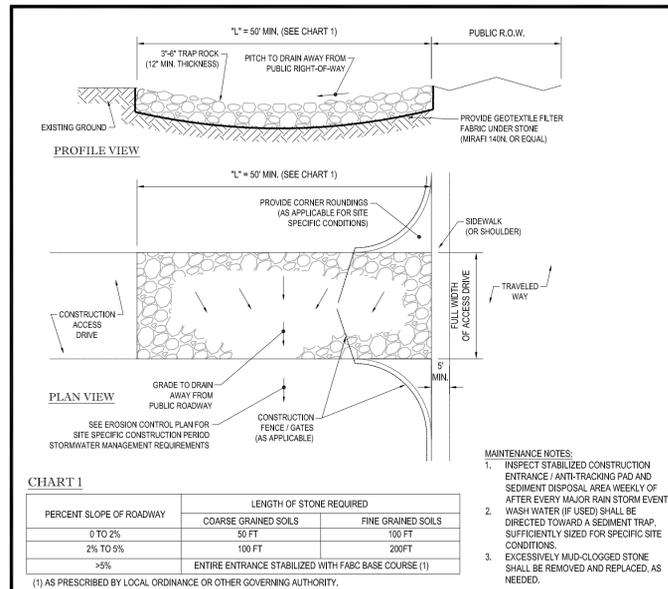
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION (AS REQUIRED TO KEEP SEDIMENT OUT OF DEVELOPMENT SYSTEM)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND REMOVAL OF TREES AND TOPSOIL
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS (AS NECESSARY)
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS PER GRADING PLAN
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



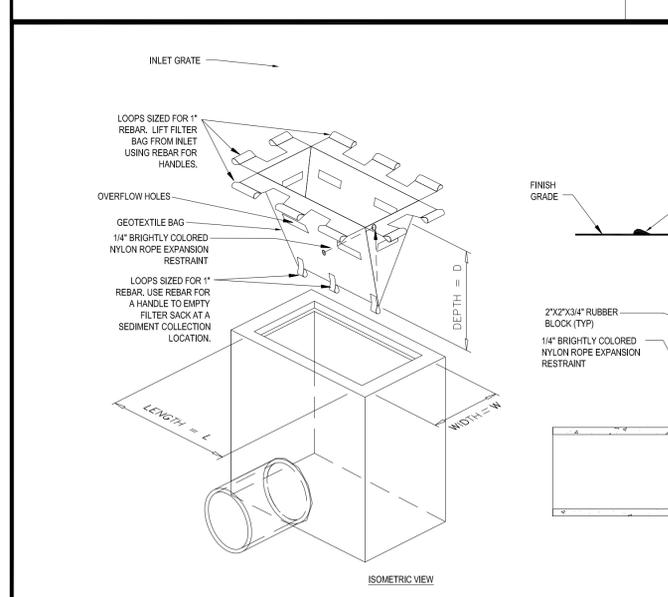
TREE PROTECTION DURING CONSTRUCTION

N.T.S.



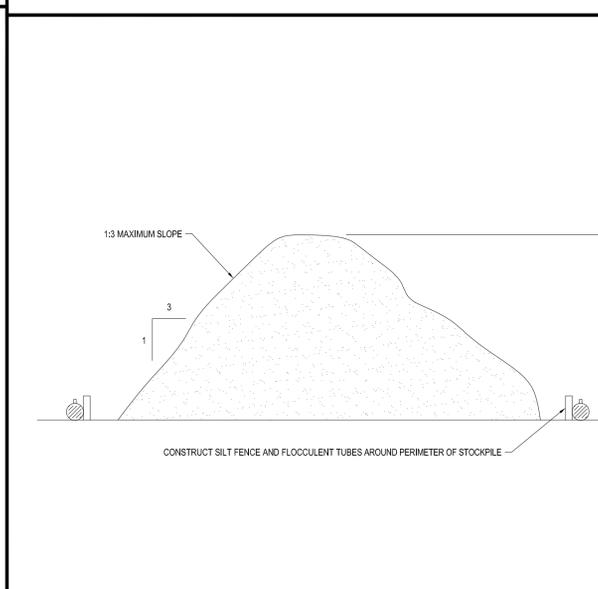
STABILIZED CONSTRUCTION EXIT

N.T.S.



FILTER SACKS (GRATED INLETS)

N.T.S.



TEMPORARY STOCKPILE DETAIL

N.T.S.

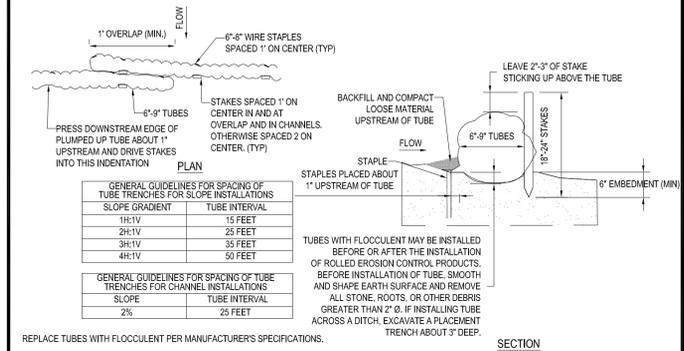
LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	60 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC.-1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC.-1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR FLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
TO BE USED IN EXISTING RIGHT OF WAY

N.T.S.



REPLACE TUBES WITH FLOCCULENT PER MANUFACTURER'S SPECIFICATIONS.

GENERAL GUIDELINES FOR SPACING OF TUBE TRENCHES FOR SLOPE INSTALLATIONS

SLOPE GRADIENT	TUBE INTERVAL
1H:1V	15 FEET
2H:1V	25 FEET
3H:1V	35 FEET
4H:1V	50 FEET

GENERAL GUIDELINES FOR SPACING OF TUBE TRENCHES FOR CHANNEL INSTALLATIONS

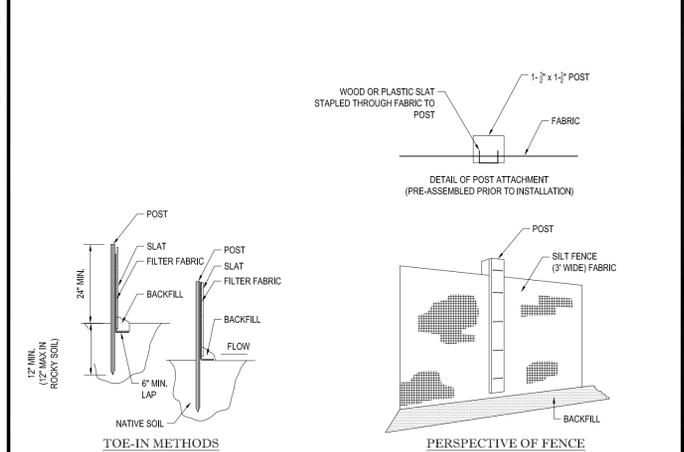
SLOPE	TUBE INTERVAL
2%	25 FEET

TUBES WITH FLOCCULENT MAY BE INSTALLED BEFORE OR AFTER THE INSTALLATION OF ROLLED EROSION CONTROL PRODUCTS. BEFORE INSTALLATION OF TUBE, SMOOTH AND SHAPE EARTH SURFACE AND REMOVE ALL STONE, ROOTS, OR OTHER DEBRIS GREATER THAN 2\"/>

FIBER FLOCCULENT TUBE

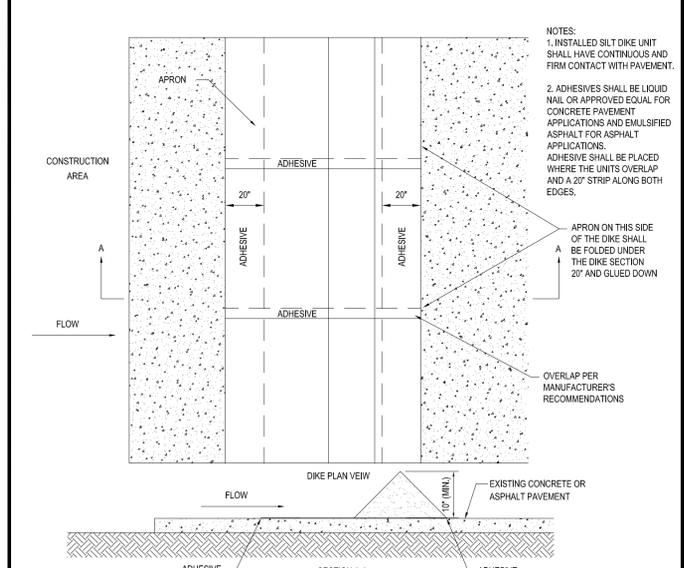
N.T.S.

- INSTALLATION:
- EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.



TYP. SILTATION FENCE DETAIL

N.T.S.



SILT DIKE (ON EXISTING PAVEMENT)

N.T.S.



REVISIONS

#	DATE	COMMENT	BY
1	02/03/15	MISC. COMMENTS	CFD
2	03/11/15	REV. PER TOWN COMMENTS	CFD
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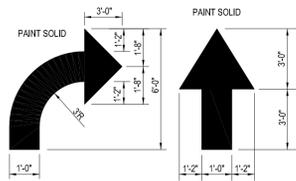
STORE #3126
S08-A-VH
1 WORCESTER ROAD
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

SHEET TITLE
SOIL EROSION CONTROL NOTES & DETAILS SHEET
DWG EDITION 02.4

- Preliminary
- 80% Submittal
- For Construction

Job No. : W111040
Store : 3126
Date : 10/21/14
Drawn By : CFD/DML
Checked By : JGS

Sheet
C-3.3

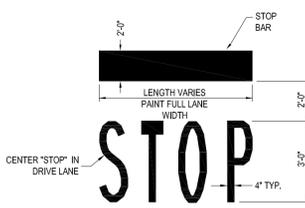


PAINT SOLID

NOTES:
 1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

DIRECTIONAL ARROW

N.T.S.

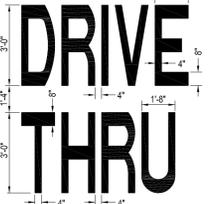


STOP BAR

NOTES:
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 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

STOP LINE GRAPHIC

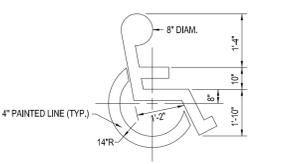
N.T.S.



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DRIVE-THRU GRAPHICS

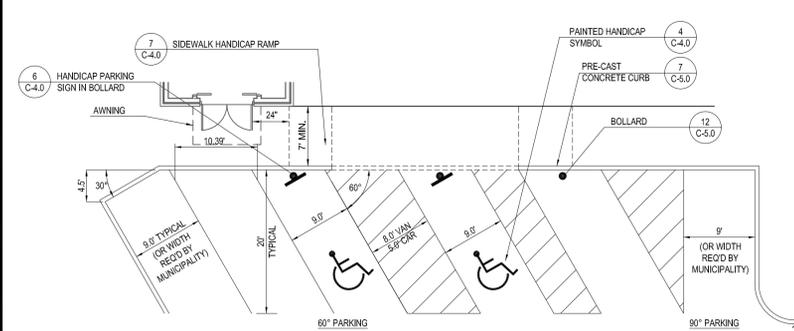
N.T.S.



NOTES:
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 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

PAINTED HANDICAP SYMBOL

N.T.S.



NOTES:
 1. HANDICAP PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A V.N. SIZE.
 2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
 3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS.
 4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
 6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
 7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.

STANDARD PARKING STALL

N.T.S.

PARKING LOT STRIPING SPECIFICATIONS:

STANDARDS:
 1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 2. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DIRT, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 3. APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT A300 WHITE OR A303 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE. ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION:

AIRLESS
 • PRESSURE 1800-2700 PSI
 • HOSE 1/2" ID
 • TIP 0.015"-0.017"
 • FILTER 60 MESH
 • REDUCTION ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

CONVENTIONAL
 • GUN BLINKS 21 (BLEEDER OR EQUIVALENT)
 • FLUID NOZZLE #88
 • AIR NOZZLE INTERNAL MIX #709
 • ATOMIZATION PRESSURE 45-80 PSI
 • FLUID PRESSURE 40-70 PSI
 • REDUCTION ONLY IF NECESSARY, UP TO 1PT/GAL VM&P NAPTHA R1K3

• MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 1/16" WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY. PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
 • GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.

REVISIONS

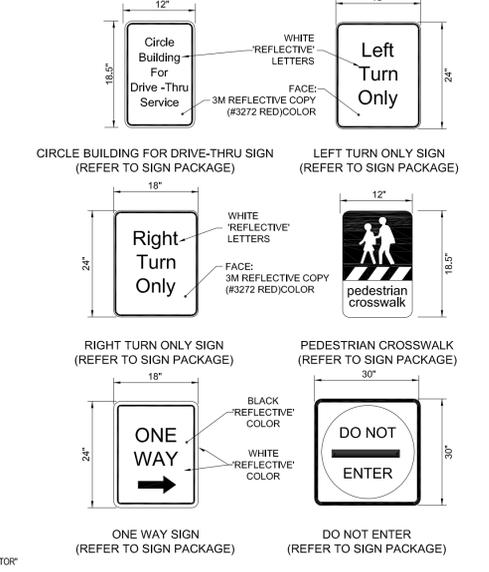
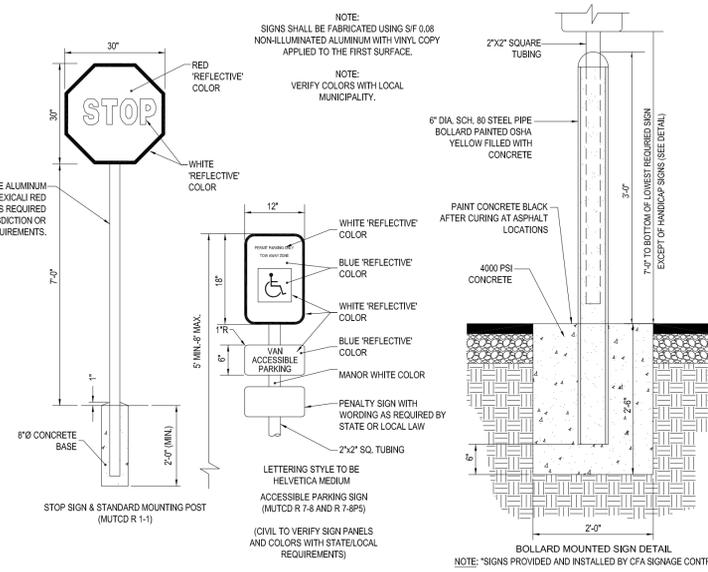
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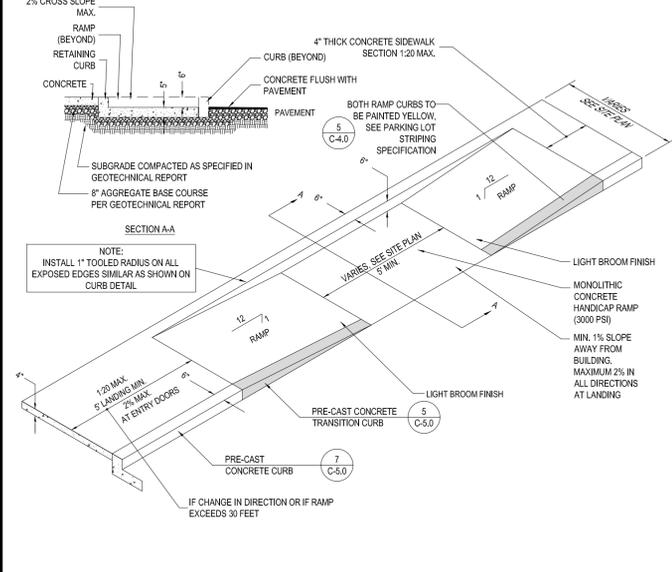
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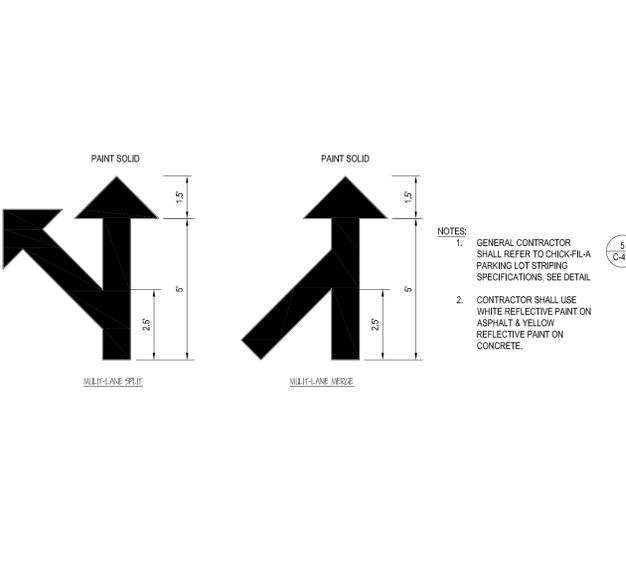
DIRECTIONAL SIGNAGE

N.T.S.



SIDEWALK HANDICAP RAMP

N.T.S.

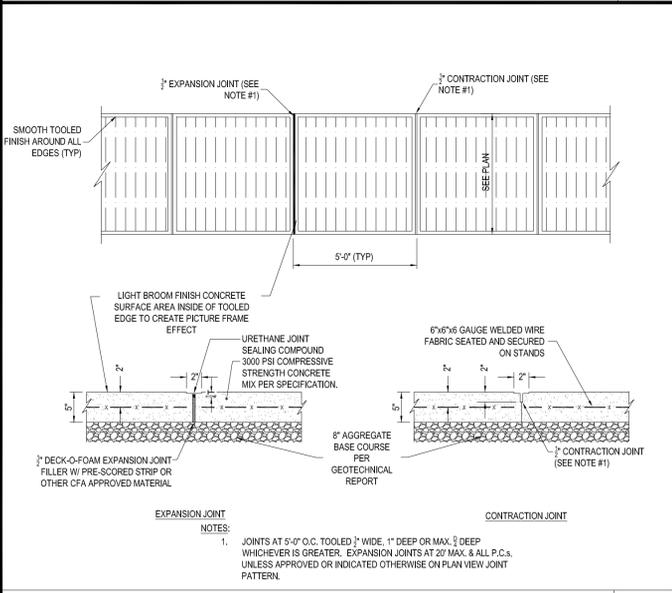


DRIVE-THRU DIRECTIONAL ARROWS

N.T.S.



LANDSCAPE & IRRIGATION PROTECTOR



TYPICAL CONCRETE SIDEWALK

N.T.S.

NOTE:
 THE INFORMATION SHOWN ON THIS DETAIL SHEET REPRESENTS PROTOTYPICAL DESIGN DETAILS PROVIDED TO OUR OFFICE BY CHICK-FIL-A. THE DETAILED INFORMATION SHOWN HEREON IS INCLUDED WITHIN THIS PLAN PACKAGE AT CHICK-FIL-A'S REQUEST AND IS PRESENTED BY BOHLER ENGINEERING AS BEING FOR INFORMATIONAL PURPOSES ONLY. THE ADEQUACY OF THE DESIGN OF THESE DETAILS HAS NOT BEEN CONFIRMED BY BOHLER ENGINEERING. BOHLER ENGINEERING HAS NOT PREPARED, RECEIVED NOR REVIEWED ANY SITE SPECIFIC DESIGN INFORMATION AS IT RELATES TO THE DEVELOPMENT OF THESE DETAILS NOR CONFIRMED THE ADEQUACY OF SAME FOR USE IN CONSTRUCTION OR COMPLIANCE WITH APPLICABLE CODES. BOHLER ENGINEERING SHALL BE HELD HARMLESS FOR THE USE AND IMPLEMENTATION OF THESE DETAILS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE GENERAL DESIGN INTENT SHOWN IS CONSTRUCTED IN SUCH A MANNER AS TO CONFORM WITH ALL APPLICABLE CODES, REQUIREMENTS, INDUSTRY STANDARDS AND THAT THE INSTALLATION OF SAME IS ADEQUATE FOR SITE, SOIL AND/OR CONSTRUCTION CONDITIONS. SHOULD CONDITIONS OR CODE REQUIREMENTS WARRANT, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE A LICENSED REGISTERED PROFESSIONAL PREPARE SITE SPECIFIC DESIGNS AND DETAILS PRIOR TO COMMENCING WORK.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE

STORE #3126
 S08-A-VH
 1 WORCESTER ROAD
 CITY OF FRAMINGHAM
 MIDDLESEX COUNTY, MA
 MAP #344, BLOCK 108,
 PORTION OF LOT 20

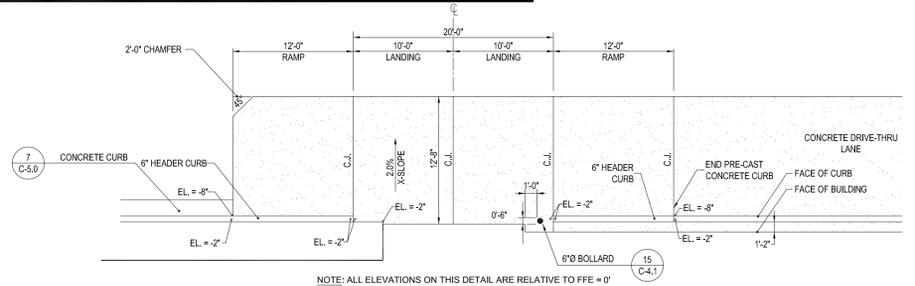
SHEET TITLE
CHICK-FIL-A STANDARD DETAILS
 DWG EDITION 02.4
 Preliminary
 80% Submittal
 For Construction

Job No. : W11040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

Sheet
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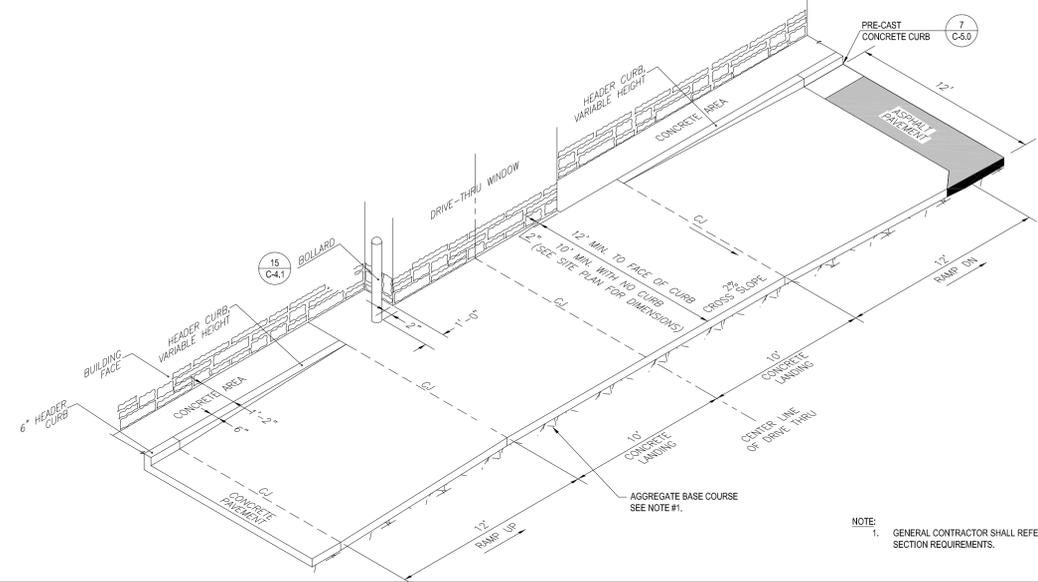
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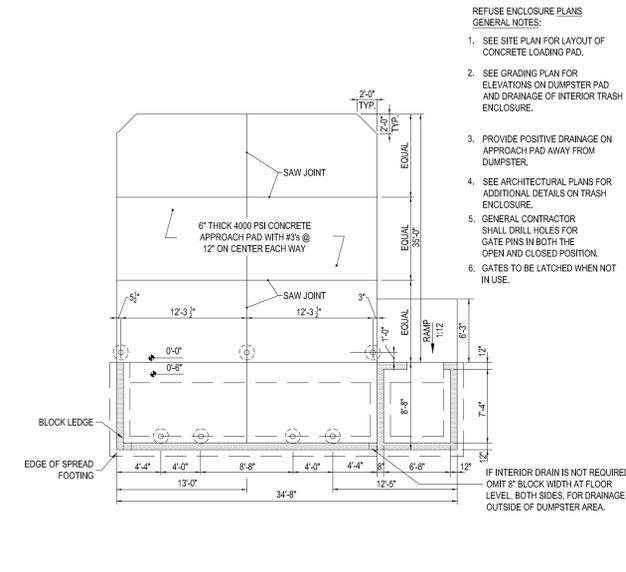
DRIVE-THRU PLAN

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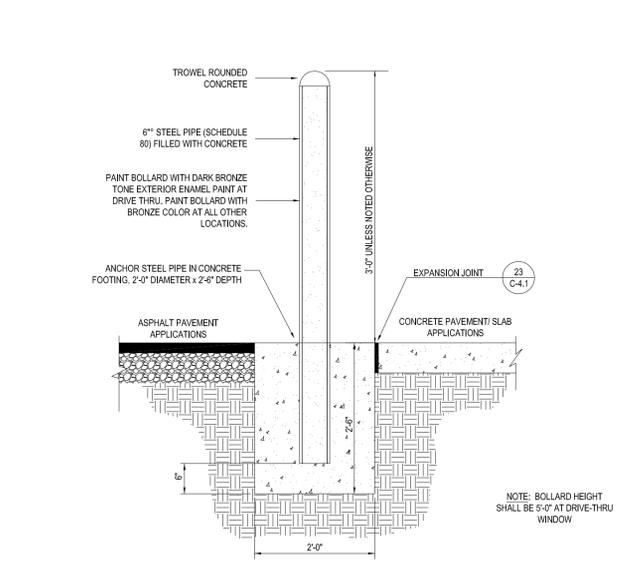


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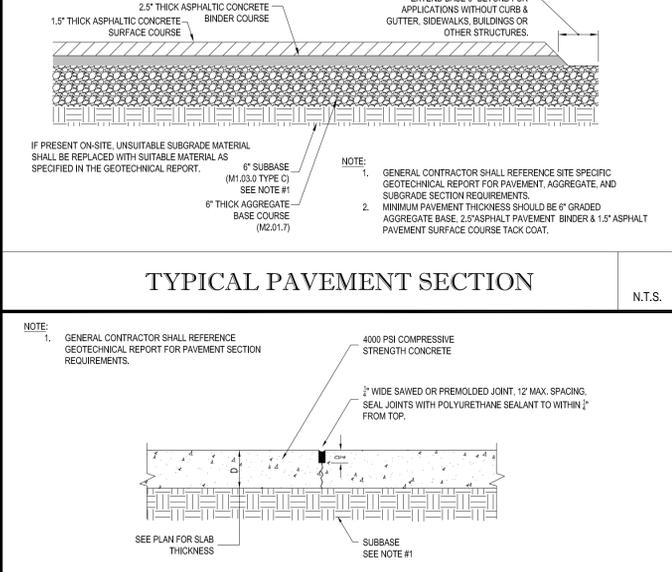


REFUSE ENCLOSURE FOUNDATION PLAN



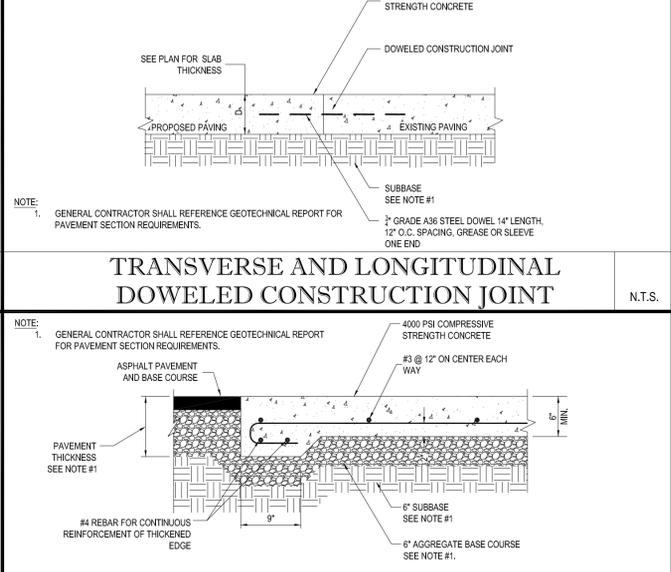
CONCRETE BOLLARD

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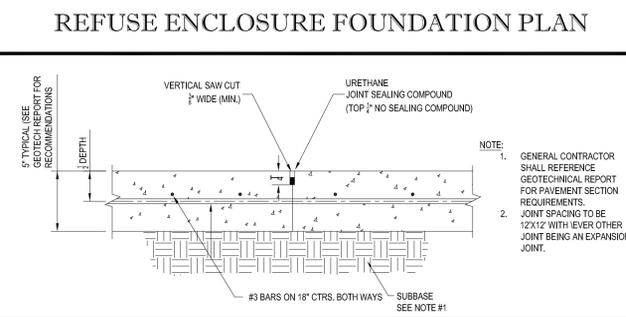
TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT

N.T.S.



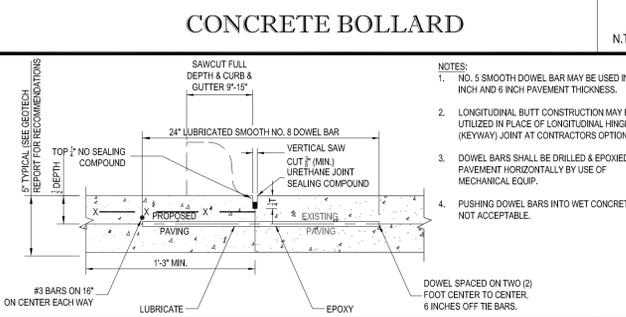
CONCRETE APRON @ TRASH ENCLOSURE

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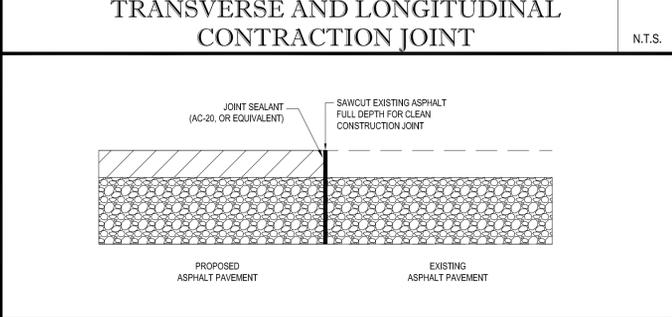
CONTRACTION JOINT

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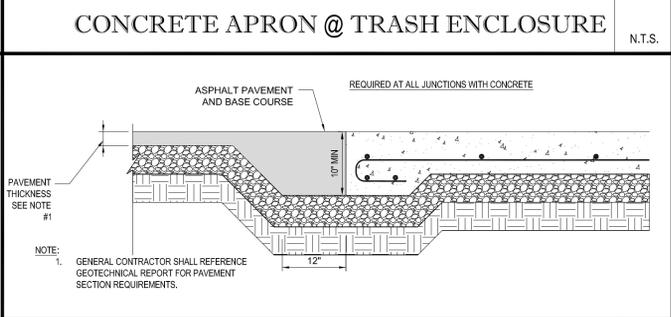
LONGITUDINAL BUTT JOINT

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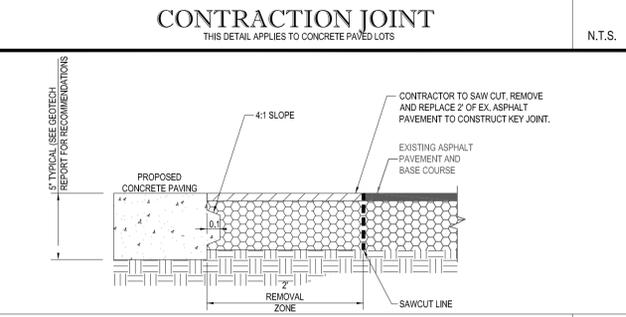
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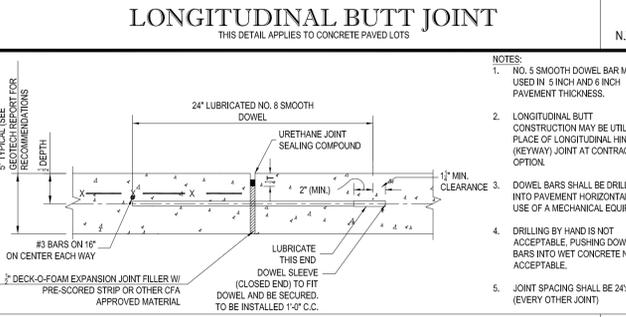
PAVEMENT EDGE DETAIL

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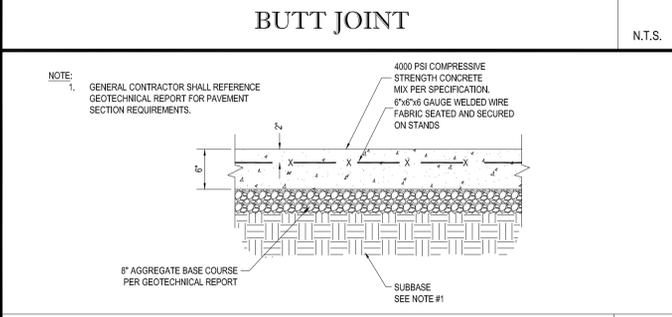
KEYED CONSTRUCTION JOINT

N.T.S.



EXPANSION JOINT

N.T.S.



CONCRETE PAVING DRIVE-THRU LANE

N.T.S.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE



REVISIONS

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STORE #3126
S08-A-VH
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 MAP #344, BLOCK 108,
 PORTION OF LOT 20

SHEET TITLE

CHICK-FIL-A STANDARD DETAILS

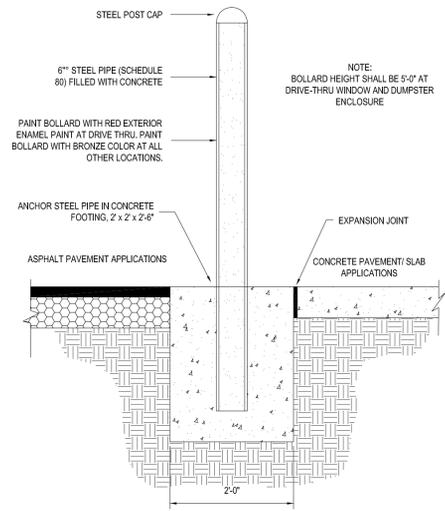
DWG EDITION **02.4**

- Preliminary
- 80% Submittal
- For Construction

Job No. : W11040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

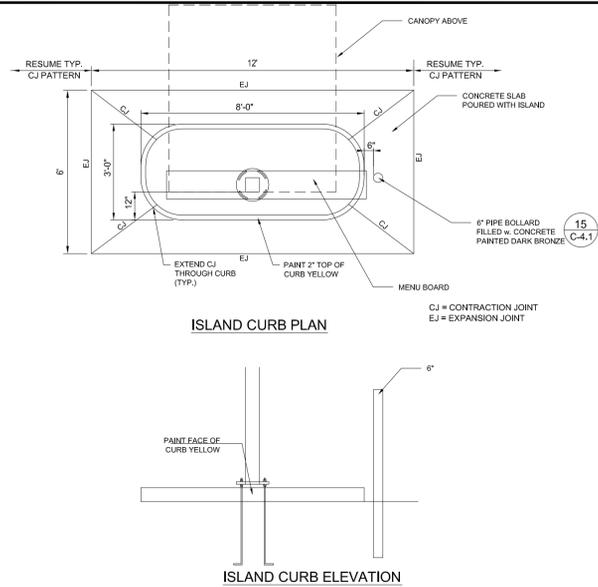
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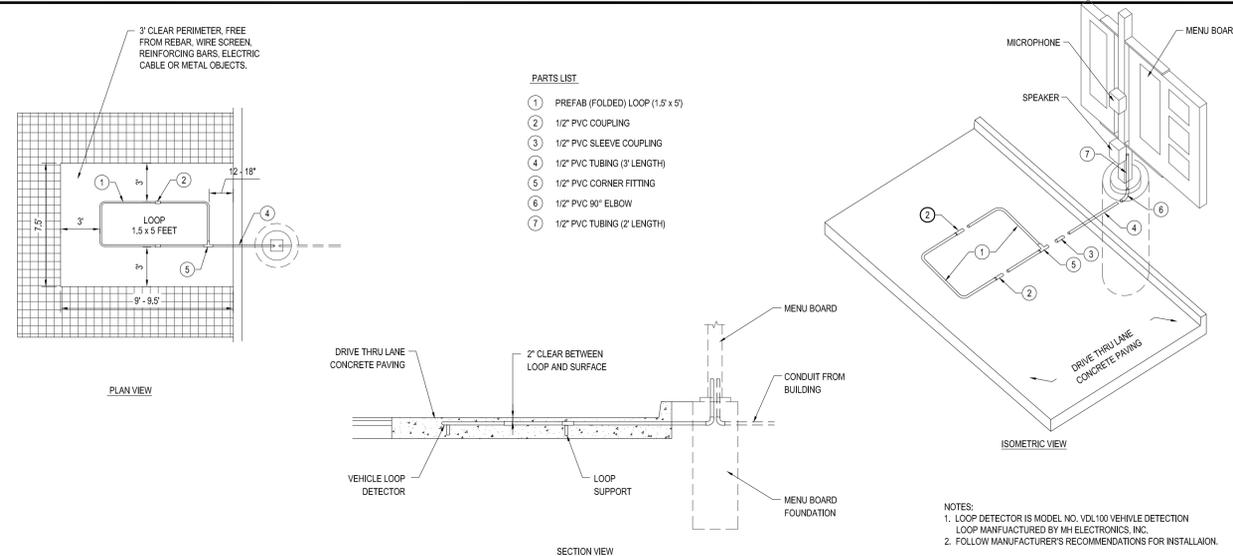
DRIVE THRU ORDER POINT BOLLARD

N.T.S.



DRIVE THRU ORDER POINT ISLAND CURB

N.T.S.

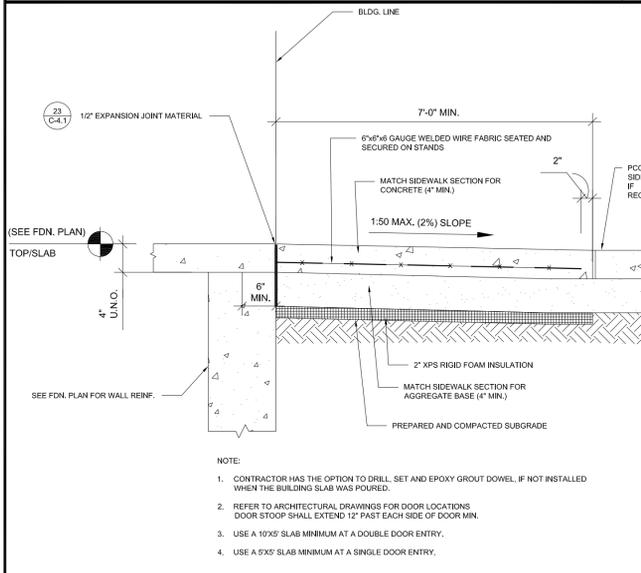


MENU BOARD LOOP DETECTION SYSTEM

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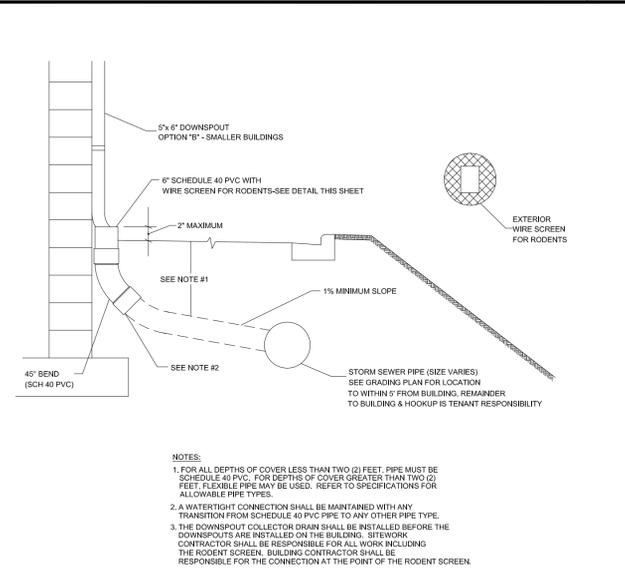
REVISIONS

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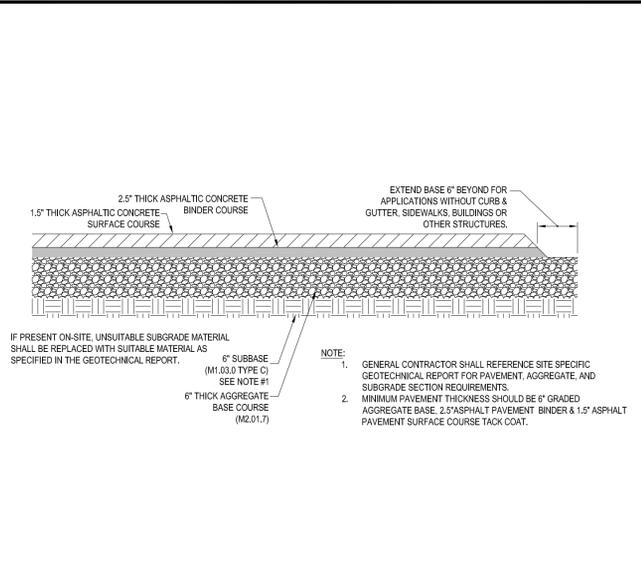
ENTRY DOOR FROST SLAB DETAIL

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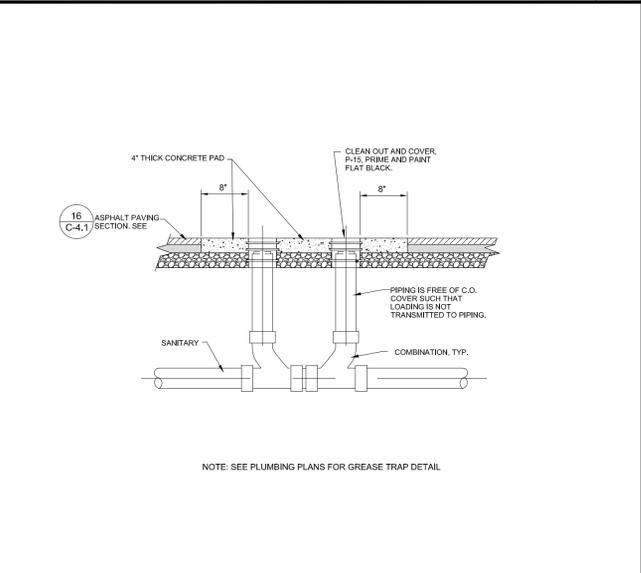
BUILDING DOWNSPOUT CONNECTION DETAIL

N.T.S.



TYPICAL PAVEMENT SECTION

N.T.S.



SAN. C.O. OUTSIDE BUILDING

N.T.S.



PATIO RAIL FENCE

N.T.S.

NOTE:

THE INFORMATION SHOWN ON THIS DETAIL SHEET REPRESENTS PROTOTYPICAL DESIGN DETAILS PROVIDED TO OUR OFFICE BY CHICK-FIL-A. THE DETAILED INFORMATION SHOWN HEREON IS INCLUDED WITHIN THIS PLAN PACKAGE AT CHICK-FIL-A'S REQUEST AND IS PRESENTED BY BOHLER ENGINEERING AS BEING FOR INFORMATIONAL PURPOSES ONLY. THE ADEQUACY OF THE DESIGN OF THESE DETAILS HAS NOT BEEN CONFIRMED BY BOHLER ENGINEERING. BOHLER ENGINEERING HAS NOT PREPARED, RECEIVED NOR REVIEWED ANY SITE SPECIFIC DESIGN INFORMATION AS IT RELATES TO THE DEVELOPMENT OF THESE DETAILS NOR CONFIRMED THE ADEQUACY OF SAME FOR USE IN CONSTRUCTION OR COMPLIANCE WITH APPLICABLE CODES. BOHLER ENGINEERING SHALL BE HELD HARMLESS FOR THE USE AND IMPLEMENTATION OF THESE DETAILS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE GENERAL DESIGN INTENT SHOWN IS CONSTRUCTED IN SUCH A MANNER AS TO CONFORM WITH ALL APPLICABLE CODES, REQUIREMENTS, INDUSTRY STANDARDS AND THAT THE INSTALLATION OF SAME IS ADEQUATE FOR SITE, SOIL AND/OR CONSTRUCTION CONDITIONS. SHOULD CONDITIONS OR CODE REQUIREMENTS WARRANT, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE A LICENSED REGISTERED PROFESSIONAL PREPARE SITE SPECIFIC DESIGNS AND DETAILS PRIOR TO COMMENCING WORK.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE

STORE #3126
S08-A-VH
1 WORCESTER ROAD
CITY OF FRAMMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

SHEET TITLE
CHICK-FIL-A
STANDARD
DETAILS
DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W111040
Store : 3126
Date : 10/21/14
Drawn By : CFD/DML
Checked By : JGS

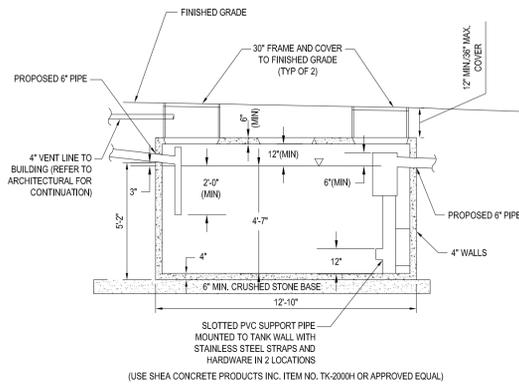
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1000 W. 10TH AVENUE, SUITE 100
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WWW.BOHLERENGINEERING.COM

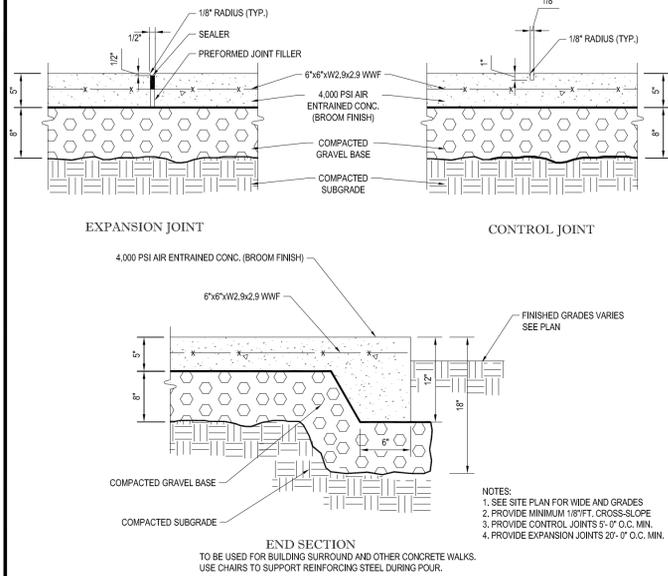
BOHLER ENGINEERING
352 TURNPIKE ROAD
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Fax: (508) 480-9000
www.BohlerEngineering.com

P:\11\W111040\DWG\W111040-C4.2.dwg, LE-C4.2 - CHICK-FIL-A Details, 4/21/2016, 10:17:14 AM, rbliberos, Xerox510, User:GSA, 10/29/2014



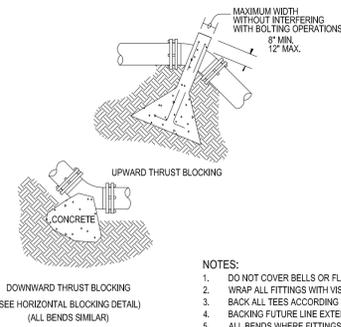
2,000 GALLON GREASE TRAP DETAIL

N.T.S.



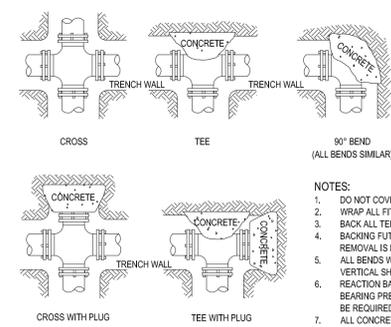
MONOLITHIC CONC. SIDEWALK DETAILS

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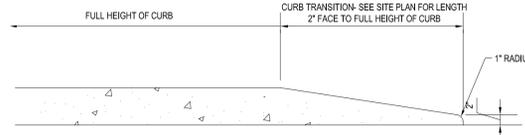
VERTICAL THRUST BLOCKING

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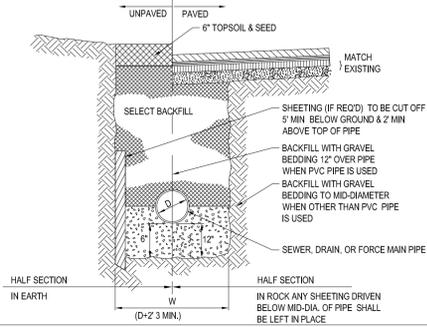
HORIZONTAL THRUST BLOCKING

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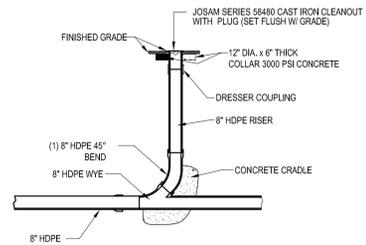
TRANSITION CURB DETAIL

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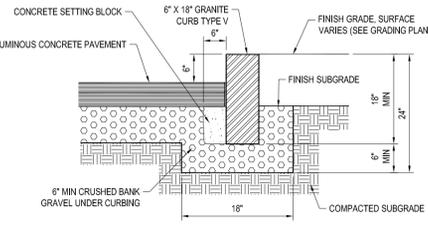
TYPICAL UTILITY TRENCH

N.T.S.



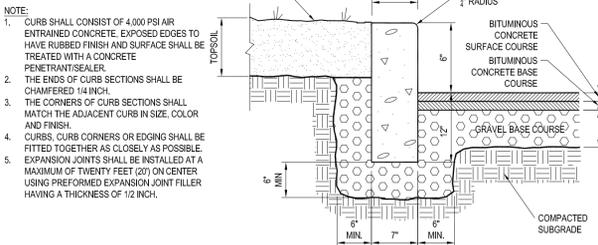
ROOF DRAIN CLEANOUT DETAIL

N.T.S.



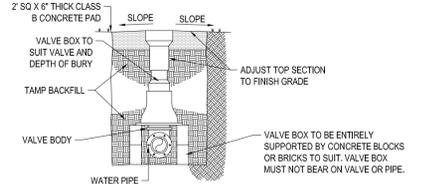
VERTICAL GRANITE CURB DETAIL

N.T.S.



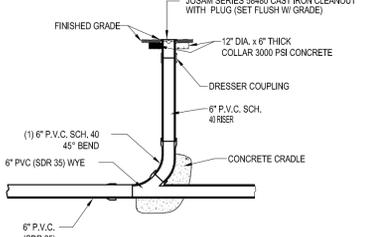
PRECAST CONCRETE CURB DETAIL

N.T.S.



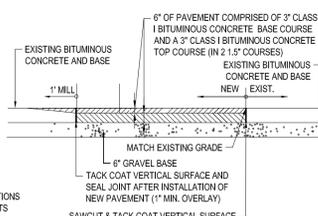
GATE VALVE DETAIL

N.T.S.



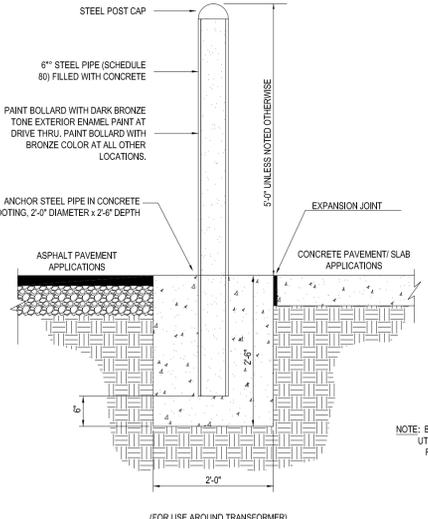
SEWER CLEANOUT DETAIL

N.T.S.



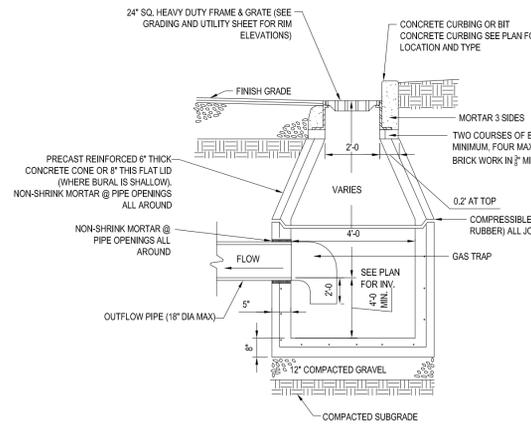
ROADWAY PATCHING DETAIL

N.T.S.



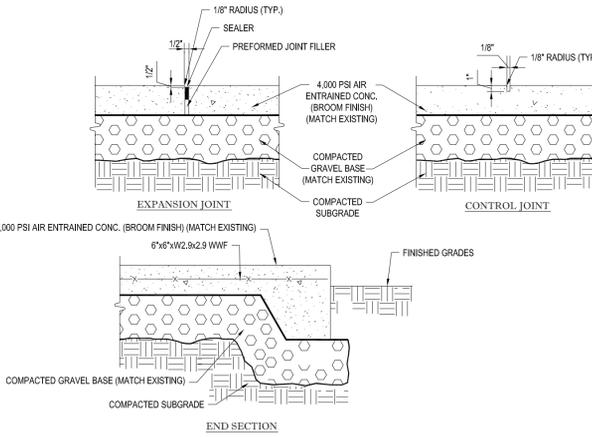
BOLLARD DETAIL

N.T.S.



PRECAST CONCRETE DEEP SUMP CATCH BASIN

N.T.S.



RIGHT-OF-WAY SIDEWALK PATCHING DETAIL

N.T.S.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE



REVISIONS

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 RESIDENTIAL BUILDINGS

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 www.BohlerEngineering.com

STORE #3126
 S08-A-VH
 1 WORCESTER ROAD
 CITY OF FRAMINGHAM
 MIDDLESEX COUNTY, MA
 MAP #344, BLOCK 108,
 PORTION OF LOT 20

SHEET TITLE
 CONSTRUCTION
 DETAIL
 SHEET

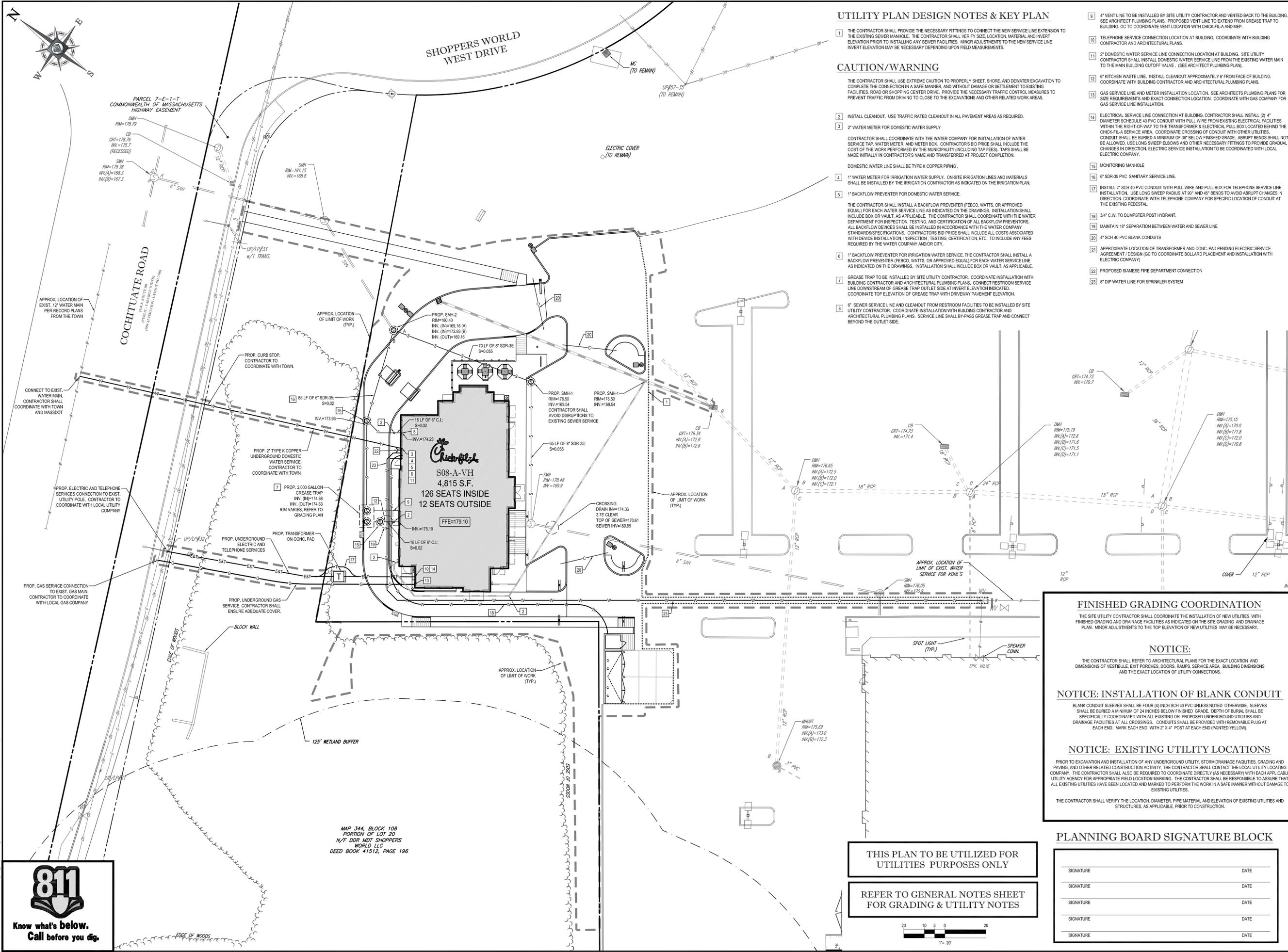
DWG EDITION 02.4

- Preliminary
- 80% Submittal
- For Construction

Job No. : W111040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

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UTILITY PLAN DESIGN NOTES & KEY PLAN

- THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER MANHOLE. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL, AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.
- INSTALL CLEANOUT. USE TRAFFIC RATED CLEANOUT IN ALL PAVEMENT AREAS AS REQUIRED.
- 2" WATER METER FOR DOMESTIC WATER SUPPLY
- CONTRACTOR SHALL COORDINATE WITH THE WATER COMPANY FOR INSTALLATION OF WATER SERVICE TAP, WATER METER, AND METER BOX. CONTRACTOR'S BID PRICE SHALL INCLUDE THE COST OF THE WORK PERFORMED BY THE MUNICIPALITY (INCLUDING TAP FEES). TAPS SHALL BE MADE INITIALLY IN CONTRACTOR'S NAME AND TRANSFERRED AT PROJECT COMPLETION.
- DOMESTIC WATER LINE SHALL BE TYPE K COPPER PIPING.
- 1" WATER METER FOR IRRIGATION WATER SUPPLY. ON-SITE IRRIGATION LINES AND MATERIALS SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR AS INDICATED ON THE IRRIGATION PLAN.
- 1" BACKFLOW PREVENTER FOR DOMESTIC WATER SERVICE.
- THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (FEBCO, WATTS, OR APPROVED EQUAL) FOR EACH WATER SERVICE LINE AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL INCLUDE BOX OR VAULT, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH THE WATER DEPARTMENT FOR INSPECTION, TESTING, AND CERTIFICATION OF ALL BACKFLOW PREVENTERS. ALL BACKFLOW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER COMPANY STANDARDS/SPECIFICATIONS. CONTRACTOR'S BID PRICE SHALL INCLUDE ALL COSTS ASSOCIATED WITH DEVICE INSTALLATION, INSPECTION, TESTING, CERTIFICATION, ETC., TO INCLUDE ANY FEES REQUIRED BY THE WATER COMPANY AND/OR CITY.
- 1" BACKFLOW PREVENTER FOR IRRIGATION WATER SERVICE. THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (FEBCO, WATTS, OR APPROVED EQUAL) FOR EACH WATER SERVICE LINE AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL INCLUDE BOX OR VAULT, AS APPLICABLE.
- GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION.
- 6" SEWER SERVICE LINE AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. SERVICE LINE SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.

CAUTION/WARNING

- 4" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR AND VENTED BACK TO THE BUILDING. SEE ARCHITECT PLUMBING PLANS. PROPOSED VENT LINE TO EXTEND FROM GREASE TRAP TO BUILDING. GO TO COORDINATE VENT LOCATION WITH CHICK-FIL-AX MEP.
- TELEPHONE SERVICE CONNECTION LOCATION AT BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
- 2" DOMESTIC WATER SERVICE LINE CONNECTION LOCATION AT BUILDING. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE EXISTING WATER MAIN TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT PLUMBING PLAN).
- 6" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
- GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECT PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION.
- ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONTRACTOR SHALL INSTALL (2) 4" DIAMETER SCHEDULE 40 PVC CONDUIT WITH PULL WIRE FROM EXISTING ELECTRICAL FACILITIES WITHIN THE RIGHT-OF-WAY TO THE TRANSFORMER & ELECTRICAL PULL BOX LOCATED BEHIND THE CHICK-FIL-AX SERVICE AREA. COORDINATE CROSSING OF CONDUIT WITH OTHER UTILITIES. CONDUIT SHALL BE BURIED A MINIMUM OF 36" BELOW FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRIC SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRIC COMPANY.
- MONITORING MANHOLE
- 8" SDR-35 PVC SANITARY SERVICE LINE.
- INSTALL 2" SCH 40 PVC CONDUIT WITH PULL WIRE AND PULL BOX FOR TELEPHONE SERVICE LINE INSTALLATION. USE LONG SWEEP RADIUS AT 90° AND 45° BENDS TO AVOID ABRUPT CHANGES IN DIRECTION. COORDINATE WITH TELEPHONE COMPANY FOR SPECIFIC LOCATION OF CONDUIT AT THE EXISTING PESTAL.
- 3/4" C.W. TO DUMPSTER POST HYDRANT.
- MAINTAIN 18" SEPARATION BETWEEN WATER AND SEWER LINE.
- 4" SCH 40 PVC BLANK CONDUITS
- APPROXIMATE LOCATION OF TRANSFORMER AND CONC. PAD PENDING ELECTRIC SERVICE AGREEMENT / DESIGN (GO TO COORDINATE BOLLARD PLACEMENT AND INSTALLATION WITH ELECTRIC COMPANY)
- PROPOSED SIAMSE FIRE DEPARTMENT CONNECTION
- 6" DP WATER LINE FOR SPRINKLER SYSTEM



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STORE #3126
S08-A-VH
 1 WORCESTER ROAD
 CITY OF FRAMINGHAM
 MIDDLESEX COUNTY, MA
 MAP #344, BLOCK 108,
 PORTION OF LOT 20

SHEET TITLE
PLUMBING
SITE PLAN
 DWG EDITION **02.4**
 Preliminary
 80% Submittal
 For Construction

Job No. : W111040
 Store : 3126
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 Checked By : JGS

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FINISHED GRADING COORDINATION
 THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH FINISHED GRADING AND DRAINAGE FACILITIES AS INDICATED ON THE SITE GRADING AND DRAINAGE PLAN. MINOR ADJUSTMENTS TO THE TOP ELEVATION OF NEW UTILITIES MAY BE NECESSARY.

NOTICE:
 THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, DOORS, RAMPS, SERVICE AREA, BUILDING DIMENSIONS AND THE EXACT LOCATION OF UTILITY CONNECTIONS.

NOTICE: INSTALLATION OF BLANK CONDUIT
 BLANK CONDUIT SLEEVES SHALL BE FOUR (4) INCH SCH 40 PVC UNLESS NOTED OTHERWISE. SLEEVES SHALL BE BURIED A MINIMUM OF 24 INCHES BELOW FINISHED GRADE. DEPTH OF BURIAL SHALL BE SPECIFICALLY COORDINATED WITH ALL EXISTING OR PROPOSED UNDERGROUND UTILITIES AND DRAINAGE FACILITIES AT ALL CROSSINGS. CONDUITS SHALL BE PROVIDED WITH REMOVABLE PLUG AT EACH END. MARK EACH END WITH 2" X 4" POST AT EACH END (PAINTED YELLOW).

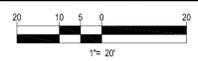
NOTICE: EXISTING UTILITY LOCATIONS
 PRIOR TO EXCAVATION AND INSTALLATION OF ANY UNDERGROUND UTILITY, STORM DRAINAGE FACILITIES, GRADING AND PAVING, AND OTHER RELATED CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING COMPANY. THE CONTRACTOR SHALL ALSO BE REQUIRED TO COORDINATE DIRECTLY (AS NECESSARY) WITH EACH APPLICABLE UTILITY AGENCY FOR APPROPRIATE FIELD LOCATION MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED TO PERFORM THE WORK IN A SAFE MANNER WITHOUT DAMAGE TO EXISTING UTILITIES.
 THE CONTRACTOR SHALL VERIFY THE LOCATION, DIAMETER, PIPE MATERIAL AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS APPLICABLE, PRIOR TO CONSTRUCTION.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE

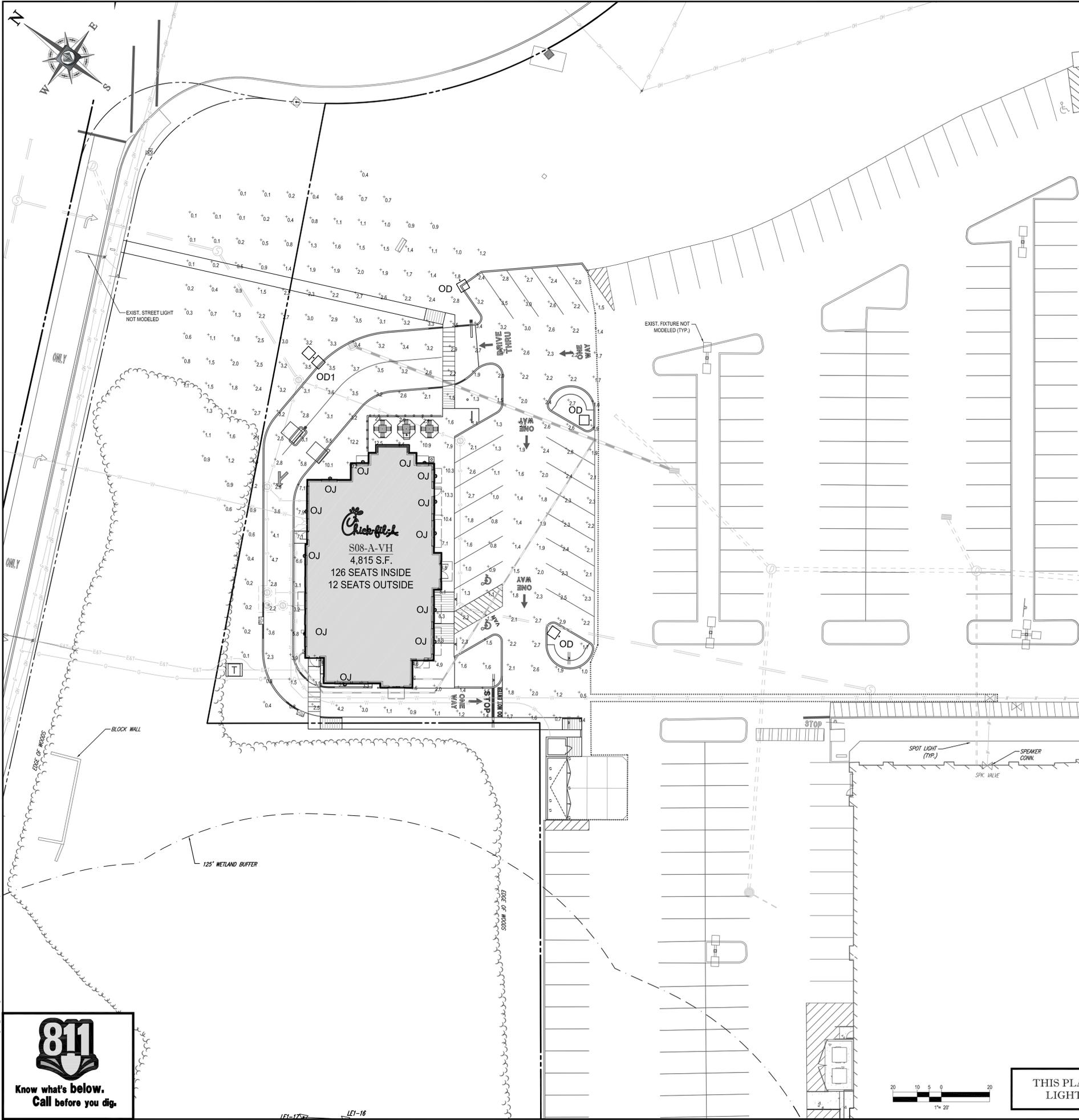
THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



MAP #344, BLOCK 108
 PORTION OF LOT 20
 N/F DPR MDT SHOPPERS
 WORLD LLC
 DEED BOOK 41512, PAGE 198

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 811 Know what's below. Call before you dig.



LIGHTING NOTES:

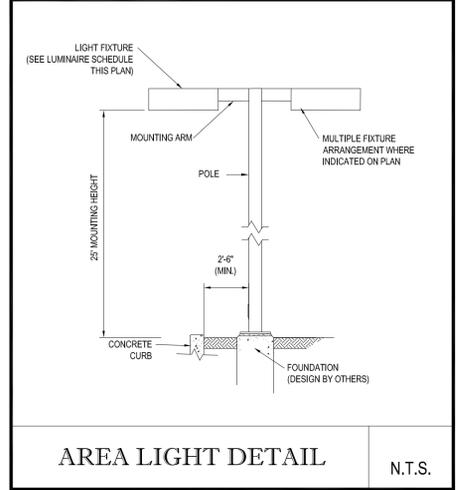
1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDELS.
4. THE LUMINAIRE, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING IF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRE, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE CONSEQUENTLY APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRE, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR. AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS, THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
11. WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
12. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Pole Heights	File	Lumens	LLF	Watts
□	OD	3	DSX0 LED 40C 1000 40K T2M MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T2M OPTIC, 4000K, @ 1000mA	LED	25'-0"	DSX0_LED_40 C_1000_40K_T 2M_MVOLT.jpg	Absolute	1.00	138
□	OJ	12	RWS-50MH-WT	18-1/8" X 9" X 7-1/8" SURFACE MOUNT LIGHTING, WIDE THROW TYPE SPECULAR REFLECTOR, FLAT CLEAR TEMPERED GLASS LENS.			RWS50WD.J ES	5400	0.81	62
□	OD1	1	DSX0 LED 40C 1000 40K T2M MVOLT	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T2M OPTIC, 4000K, @ 1000mA	LED	25'-0"	DSX0_LED_40 C_1000_40K_T 2M_MVOLT.jpg	Absolute	1.00	276

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.7 fc	14.1 fc	0.01 fc	141:0:1	27:0:1



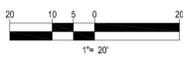
LIGHTING DESIGN REFERENCE:

PLAN REFERENCES LIGHTING DESIGN ENTITLED "PHOTOMETRIC PLAN" PREPARED BY: W-T MECHANICAL/ELECTRICAL ENGINEERING, LLC, DATED 11/25/14, REVISED THRU 03/15/15.

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



REVISIONS

#	DATE	COMMENT	BY
1	02/03/15	MISC. COMMENTS	CFD
2	03/11/15	REV. PER TOWN COMMENTS	CFD
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W.D. GOEBEL

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 RHODE ISLAND LICENSE NO. 7268
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BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9000
 Fax: (508) 480-9000
 www.BohlerEngineering.com

STORE #3126
S08-A-VH
 1 WORCESTER ROAD
 CITY OF FRAMINGHAM
 MIDDLESEX COUNTY, MA
 MAP #344, BLOCK 108,
 PORTION OF LOT 20

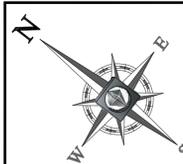
SHEET TITLE
SITE LIGHTING PLAN
 DWG EDITION **02.4**
 Preliminary
 80% Submittal
 For Construction

Job No. : W111040
 Store : 3126
 Date : 10/21/14
 Drawn By : CFD/DML
 Checked By : JGS

Sheet
ES-1.0

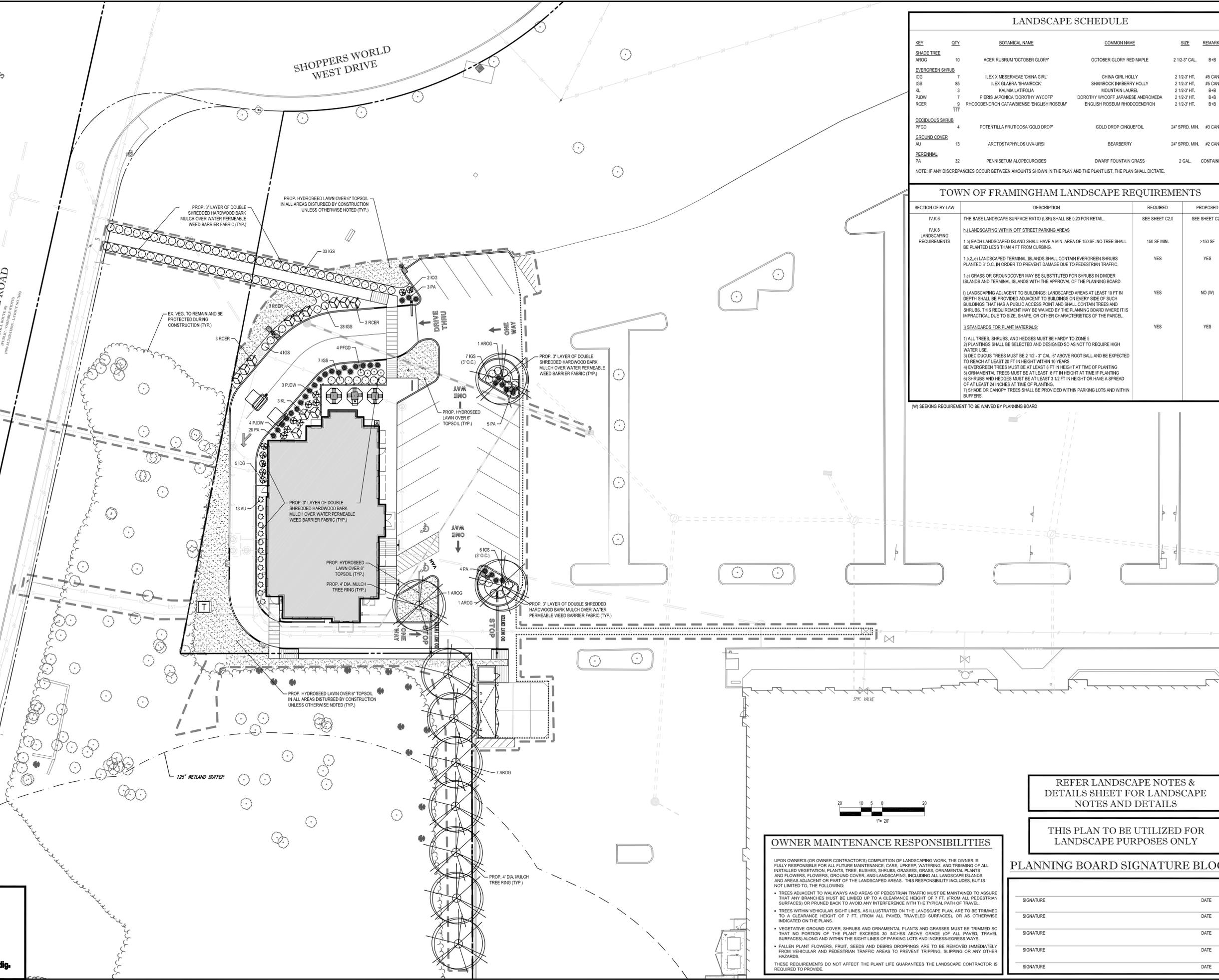
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SHOPPERS WORLD
WEST DRIVE

COCHITUATE ROAD



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE					
AROG	10	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
EVERGREEN SHRUB					
ICG	7	ILEX X MESERVAE 'CHINA GIRL'	CHINA GIRL HOLLY	2 1/2-3" HT.	#5 CAN
IGS	85	ILEX GLABRA 'SHAMROCK'	SHAMROCK HERRING HOLLY	2 1/2-3" HT.	#5 CAN
KL	3	KALMA LATIFOLIA	MOUNTAIN LAUREL	2 1/2-3" HT.	B+B
PJDW	7	PIERIS JAPONICA 'DOROTHY WYCOFF'	DOROTHY WYCOFF JAPANESE ANDROMEDA	2 1/2-3" HT.	B+B
RCER	9	RHODODENDRON CATAWBIENSE 'ENGLISH ROSEUM'	ENGLISH ROSEUM RHODODENDRON	2 1/2-3" HT.	B+B
TT7					
DECIDUOUS SHRUB					
PFGD	4	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP CINQUEFOIL	24" SPRD. MN.	#3 CAN
GROUND COVER					
AU	13	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	24" SPRD. MN.	#2 CAN
PERENNIAL					
PA	32	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

TOWN OF FRAMINGHAM LANDSCAPE REQUIREMENTS

SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
IV.K.6	THE BASE LANDSCAPE SURFACE RATIO (LSR) SHALL BE 0.20 FOR RETAIL.	SEE SHEET C2.0	SEE SHEET C2.0
IV.K.8	LANDSCAPING REQUIREMENTS		
	h.) LANDSCAPING WITHIN OFF STREET PARKING AREAS		
	1.b) EACH LANDSCAPED ISLAND SHALL HAVE A MIN. AREA OF 150 SF. NO TREE SHALL BE PLANTED LESS THAN 4 FT FROM CURBING.	150 SF MIN.	>150 SF
	1.b.2. a) LANDSCAPED TERMINAL ISLANDS SHALL CONTAIN EVERGREEN SHRUBS PLANTED 3' O.C. IN ORDER TO PREVENT DAMAGE DUE TO PEDESTRIAN TRAFFIC.	YES	YES
	1.d) GRASS OR GROUND COVER MAY BE SUBSTITUTED FOR SHRUBS IN UNDER ISLANDS AND TERMINAL ISLANDS WITH THE APPROVAL OF THE PLANNING BOARD	YES	NO (W)
	i) LANDSCAPING ADJACENT TO BUILDINGS: LANDSCAPED AREAS AT LEAST 10 FT IN DEPTH SHALL BE PROVIDED ADJACENT TO BUILDINGS ON EVERY SIDE OF SUCH BUILDINGS THAT HAS A PUBLIC ACCESS POINT AND SHALL CONTAIN TREES AND SHRUBS. THIS REQUIREMENT MAY BE WAIVED BY THE PLANNING BOARD WHERE IT IS IMPRACTICAL DUE TO SIZE, SHAPE, OR OTHER CHARACTERISTICS OF THE PARCEL.	YES	NO (W)
	j) STANDARDS FOR PLANT MATERIALS:	YES	YES
	1) ALL TREES, SHRUBS, AND HEDGES MUST BE HARDY TO ZONE 5		
	2) PLANTINGS SHALL BE SELECTED AND DESIGNED SO AS NOT TO REQUIRE HIGH WATER USE.		
	3) DECIDUOUS TREES MUST BE 2 1/2" - 3" CAL. 4" ABOVE ROOT BALL AND BE EXPECTED TO REACH AT LEAST 20 FT IN HEIGHT WITHIN 10 YEARS		
	4) EVERGREEN TREES MUST BE AT LEAST 8 FT IN HEIGHT AT TIME OF PLANTING		
	5) ORNAMENTAL TREES MUST BE AT LEAST 8 FT IN HEIGHT AT TIME OF PLANTING		
	6) SHRUBS AND HEDGES MUST BE AT LEAST 3 1/2 FT IN HEIGHT OR HAVE A SPREAD OF AT LEAST 24 INCHES AT TIME OF PLANTING.		
	7) SHADE OR CANOPY TREES SHALL BE PROVIDED WITHIN PARKING LOTS AND WITHIN BUFFERS.		

(W) SEEKING REQUIREMENT TO BE WAIVED BY PLANNING BOARD



Chick-fil-A
5200 Buffington Rd.
Atlanta Georgia, 30349-2998

REVISIONS

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1	02/03/15	MISC. COMMENTS	CFD
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M.J. MRVA

REGISTERED
LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419

BOHLER ENGINEERING
CIVIL CONSULTING ENGINEERS
PROJECT MANAGER
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

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STORE #3126
S08-A-VH
1 WORCESTER ROAD
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

SHEET TITLE

LANDSCAPE PLAN

DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W111040

Store : 3126

Date : 10/21/14

Drawn By : CFD/DML

Checked By : JGS

Sheet

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OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNERS (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE



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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SEEDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL, HAVING AN ORGANIC CONTENT NOT LESS THAN 4%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON LANDSCAPE PLAN
I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FREE WITH A UNIFORM THICKNESS, SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE REGGED TO HOLD SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.
E. FERTILIZER
I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 4% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED.
V. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING 4" CALIPER SIZE, IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTORS EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
C. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VIS-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8") ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDS ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THROUGHOUT THE YEAR, ORGANIC MATTER INTO THE TOP 6"-12"; USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (12").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS, STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA, FOR 800 POUNDS GROSS WEIGHT ONLY [SEE SPECIFICATION 6.A.I]).
I. 20 POUNDS "GRO-POWER" OR APPROVED SOIL CONDITIONER/FERTILIZER
II. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. PLANTING
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, WINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PRUNUS VARIETIES
KOELERUTERA	QUERCUS VARIETIES
LIQUIDAMBAR STRYACIFLUA	TYLIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME
IV. 21 GRAMS "AGRIFORM" PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
L. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR WINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

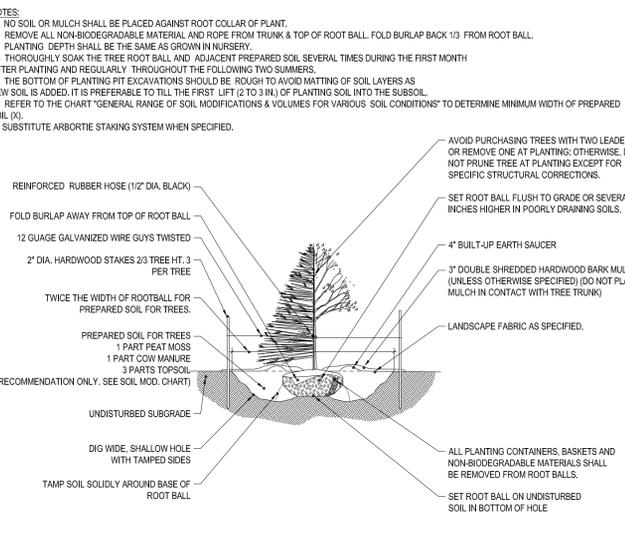
10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.

METHODS AND MATERIALS
1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING, (EXCLUDES TOP GROWTH).
4. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN STRIPS OR TOPS AND UNIFORM JOINTS WILL NOT BE ACCEPTABLE.
5. FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
6. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS.
II. SOIL PREPARATION
A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 80-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:
SOIL TEXTURE TONS/ACRE LBS/1000 SQ. FT.
CLAY, CLAY AND HIGH ORGANIC SOIL 4 180
SANDY LOAM, SILTY LOAM 3 150
LOAMY SAND, SAND 2 90
B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOWED HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCOING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, REMAINS OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIALS.
D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
III. SOD PLACEMENT
A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE. STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP, ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
B. PLACE SOD STRIPS WITH SLIGHT EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INITE EROSION.
C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS.
D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).
E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS, AND CONTINUE IRRIGATION THROUGHOUT ENTIRE SEASON.
IV. TOP-DRESSING (IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
A. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 OR EQUIVALENT AT 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET BETWEEN MARCH 15 AND APRIL 1.
B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 15.

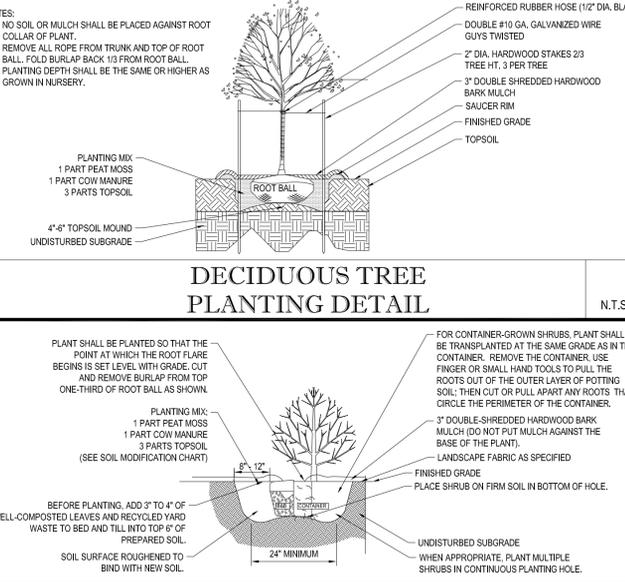
STANDARD FOR PERMANENT STABILIZATION WITH SOD

N.T.S.



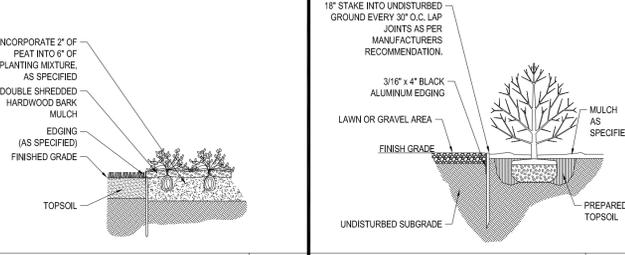
TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



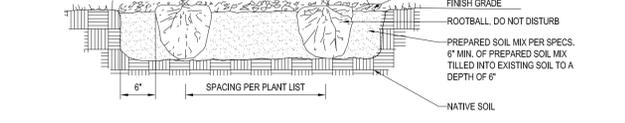
GROUND COVER PLANTING

N.T.S.



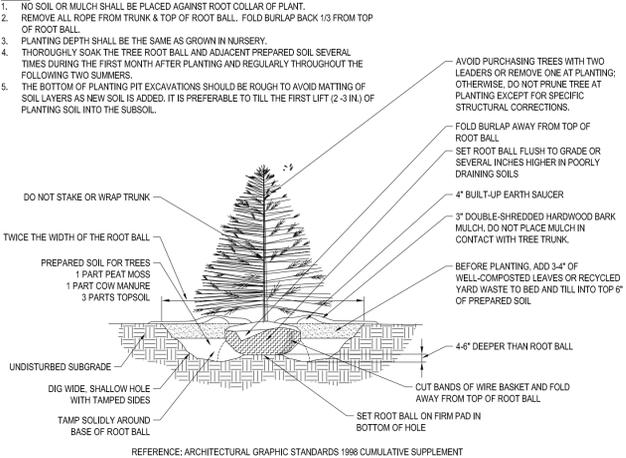
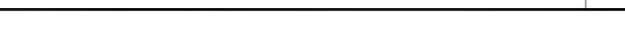
BLACK ALUMINUM EDGING

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.



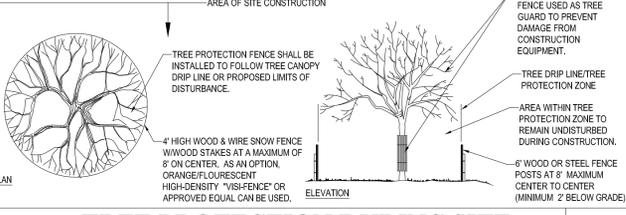
EVERGREEN TREE PLANTING DETAIL

N.T.S.

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

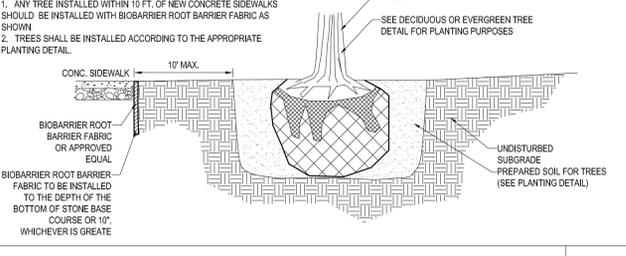
• PERENNIAL RYEGRASS	12 LB/1000 SQ FT
• KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
• RED FESCUE	12 LB/1000 SQ FT
• SPREADING FESCUE	12 LB/1000 SQ FT
• FERTILIZER (16.32.16)	2 LB/1000 SQ FT
• LIQUID LIME	1 GAL/800 GAL
• TANK TACKIFIER	35 LB/800 GAL
• TANK FIBER/MULCH	30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

HYDROSEED SPECIFICATIONS



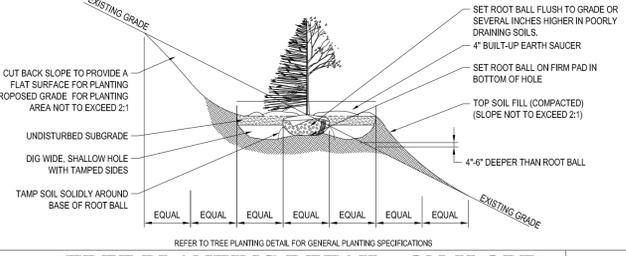
TREE PROTECTION DURING SITE CONSTRUCTION

N.T.S.



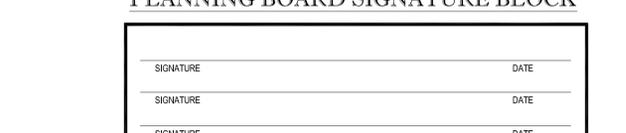
BIOBARRIER ROOT BARRIER DETAIL

N.T.S.



TREE PLANTING DETAIL - ON SLOPE

N.T.S.



PLANNING BOARD SIGNATURE BLOCK

SIGNATURE	DATE

#	DATE	COMMENT	BY
1	02/03/15	MISC. COMMENTS	CFD
2	03/11/15	REV. PER TOWN COMMENTS	CFD
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			

M.J. MRVA

REGISTERED LANDSCAPE ARCHITECT
MASSACHUSETTS No. 127
RHODE ISLAND No. 419

BOHLER ENGINEERING

CIVIL CONSULTING ENGINEERS
PROJECT MANAGER
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

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STORE #3126
S08-A-VH
1 WORCESTER ROAD
CITY OF FRAMINGHAM
MIDDLESEX COUNTY, MA
MAP #344, BLOCK 108,
PORTION OF LOT 20

SHEET TITLE
LANDSCAPE NOTES & DETAILS SHEET
DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W111040
Store : 3126
Date : 10/21/14
Drawn By : CFD/DML
Checked By : JGS

Sheet

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