

COCHITUATE ROAD
(PUBLIC - VARIABLE WIDTH) (ROUTE 30)
(1955 MASSACHUSETTS TURNPIKE LAYOUT)
8473/357 8933/593 & 598

N 71°34'46" E 342.36" CB/PLUG (found)
N 71°34'46" E 450.58' SB/DH (found)

ZONING DISTRICT: LIGHT MANUFACTURING (M-1)

	REQUIRED	EXISTING
MINIMUM LOT AREA	= 6,000 S.F.	48,350± S.F.
MINIMUM LOT FRONTAGE	= 50 FT	127.79 FT
MINIMUM FRONT SETBACK	= 50 FT	81.7 FT
MINIMUM SIDE SETBACK	= 15 FT	1.2 FT
MAXIMUM BUILDING HEIGHT	= 80 FT	21.4 FT
MAXIMUM BUILDING STORIES	= 6	2
MAXIMUM LOT COVERAGE	= -	-
MAXIMUM FLOOR AREA RATIO	= 0.32	0.44

THE PARCEL IS ALSO LOCATED IN THE RC (REGIONAL CENTER DISTRICT) PORTION OF THE HIGHWAY OVERLAY DISTRICT.

TABLE OF OFF STREET PARKING

PRINCIPAL USE:	REQUIRED:
RESTAURANTS, CLUBS, THEATERS AND OTHER SIMILAR PLACES OF ASSEMBLY	= 1 PER THREE OCCUPANTS; PLUS 1 PER TWO EMPLOYEES

OTHER PERSONAL, CONSUMER AND RETAIL SERVICES = 1 PER 200 S.F. OF GROSS FLOOR AREA; PLUS 1 PER EMPLOYEE

WHOLESALE OR NON-RETAIL BUSINESS; WAREHOUSE OR OTHER STORAGE FACILITY = 1 PER 1,200 S.F. OF GROSS FLOOR AREA; OR 1 PER EMPLOYEE, WHICHEVER IS GREATER

TOTAL NUMBER OF EXISTING SPACES MARKED FOR PARKING = 27

LEGEND:

AC	AIR CONDITIONER
BERM	BITUMINOUS CONCRETE BERM
BIT CONC	BITUMINOUS CONCRETE
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DH	DRILL HOLE
DMH	DRAIN MANHOLE
EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
GC	GRANITE CURB
GG	GAS GATE
GW	GUY WIRE
I. PIN	IRON PIN
LP	LIGHT POLE
OH	OVERHANG
S	SIGN
SMH	SEWER MANHOLE
TMH	TELEPHONE
UP	UTILITY POLE
WG	WATER GATE
WSF	WOOD STOCKADE FENCE
4" T	4" TREE

N/F FRAMINGHAM STORAGE, LLC
43892/381

N/F DOMINIQUE RENEE REALTY TRUST
32372/440

LOT 4
48,350± S.F.
1.11± Acres

2 STORY CONC (WAREHOUSE)
BUILDING HEIGHT=21.4'
BUILDING FOOTPRINT AREA=6,200± S.F.

"CENTRAL POOLS"
1 STORY BRICK/MET
BUILDING HEIGHT=14.8'

BUILDING FOOTPRINT AREA=7,370± S.F.

0.5' bk #661 BUILDING HEIGHT=11.9'

2 STORY

UTILITY REFERENCES
NSTAR GAS
GIS PLOT OF #685 COCHITUATE ROAD, FRAMINGHAM
DATED: JUNE 10, 2013

BENCHMARK
X-CUT BOLT
ELEV=142.45

NOTES

- 1) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE TOWN OF FRAMINGHAM DATUM, AND WERE DETERMINED USING GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED ON JULY 3, 2013.
- 2) THE PARCEL SHOWN HEREON IS LOCATED IN FLOOD ZONE X (UNSHADED) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS MAP NUMBER 25017C0517E, EFFECTIVE DATE: JUNE 4, 2010.
- 3) OWNER: CLAIRMONT REALTY LLC
DEED BOOK 54124 PAGE 25



7/3/2013

REFERENCES
MIDDLESEX COUNTY REGISTRY OF DEEDS
DEED BOOK 11004 PAGE 278 (LOCUS DEED)
PLAN No. 1107 OF 1997
" " 1095 " 1997
" " 490 " 1997
" " 489 " 1997
" " 809 " 1994
" " 952 " 1993
" " 603 " 1965 (LOCUS PLAN)
" " 231 " 1964
" " 939 " 1955
" " 471 " 1949
PLAN BOOK 221 PLAN 10
FILE PLANS 339 & 345

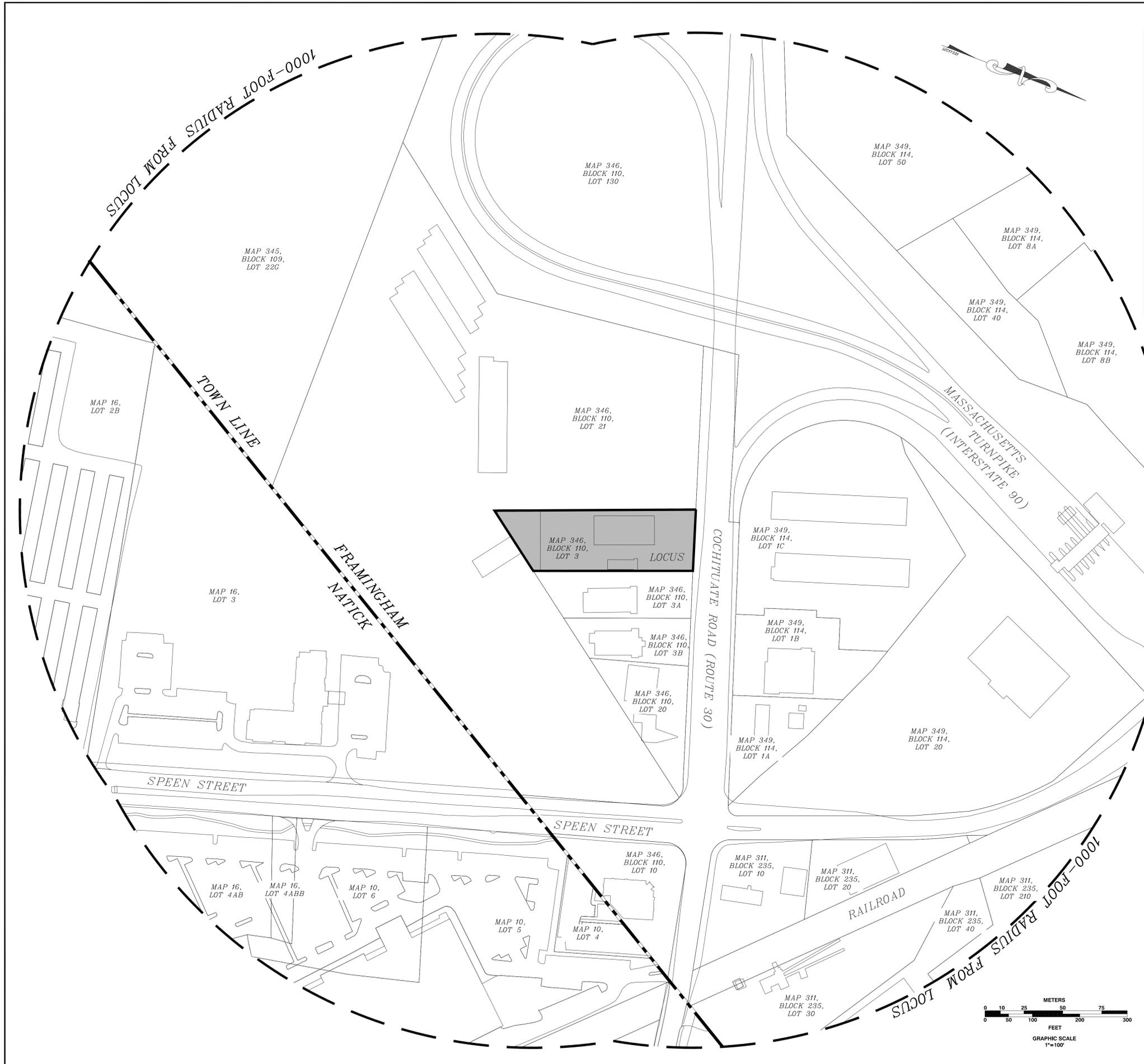
#655 COCHITUATE ROAD

EXISTING CONDITIONS PLAN
IN
FRAMINGHAM, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 30' DATE: JULY 3, 2013



Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
312106TP1.DWG



ZONING DATA - 655 COCHITUATE ROAD

Lot # 100/346.0-0110-0003.0
 Zoning District Light Manufacturing (M-1) Highway Corridor Overlay (HC)
 Use Retail-Store, Distributor Warehouse & Storage Warehouse

Reference	Existing		Proposed	
	Required/ Allowed	Provided	Required/ Allowed	Provided
Dimensional Data				
IVE.2 Min. Lot Area (sf /ac)	6,000 sf	48,350 sf	6,000 sf	48,350 sf
Density				
IVE.2 Gross Floor Area (gsf)				
	Retail Use inc.	7,370 sf	inc.	13,570 sf
	Warehouse Use inc.	12,400 sf	inc.	6,900 sf
	Restaurant inc.	1,470 sf	inc.	0 sf
	Total	15,472 sf	15,472 sf	20,470 sf
IVE.2 Max. FAR By Right	0.32	0.44	0.32	0.42
	Required	Provided	Required	Provided
Parking and Loading				
IV.B.1.a. Parking Spaces for RETAIL Use				
1 per 200 sf	37 sp		68 sp	
1 per 1 employee	6 sp		6 sp	
Total (reg. for RETAIL use)	43 sp	inc	74 sp	inc
IV.B.1.a. Parking Spaces for WAREHOUSE Use				
1 per 1200 sf	10 sp		6 sp	
Total (reg. for WAREHOUSE use)	10 sp	inc	6 sp	inc
IV.B.1.a. Parking Spaces for RESTAURANT Use				
1 per 3 occupants	6 sp		0 sp	
1 per 2 employee	2 sp		0 sp	
Total (reg. for RESTAURANT use)	8 sp	inc	0 sp	inc
Total (Overall)	61 sp	27 sp	80 sp	61 sp

655 COCHITUATE ROAD

Framingham, Massachusetts 01701

SITE IMPROVEMENTS

Landscape Architect:

ofa
PAUL FINGER ASSOCIATES
 Landscape Architects - Planners
 Civil Engineers - Wetland Scientists
 14 Spring Street
 Second Floor
 Waltham, Massachusetts 02451-4429
 (781) 647-4900
 (781) 947-9294
 info@ofa.net

Civil Engineers:

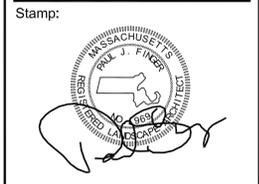
MWE
 METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508) 326-0063

Land Surveyors:

PLS
 Precision Land Surveying, Inc.
 32 Turnpike Road
 Southborough, Massachusetts 01772
 TELE NO: (508) 460-1789 FAX NO: (508) 970-0096

Architects:

HDS
 ARCHITECTURE



Project No: 158.-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:

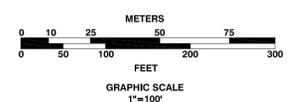
SITE LOCUS PLAN

Sheet #:

SP-0.0

Drawing No: 158-1006.00 502A
 SCALE: 1" = 100'
 File No: 158-1006.00 500C.dwg

- Drawing List:**
- Existing Conditions Plan
 - SP-0.0 Site Locus Plan
 - SP-1.0 Notes
 - SP-2.0 Erosion & Sediment Control Plan
 - SP-3.0 Layout, Materials & Planting Plan
 - SP-3.1 Lighting Photometric Plan
 - SP-4.0 Grading, Drainage & Utilities Plan
 - SP-5.0 Details Sheet #1
 - SP-5.1 Details Sheet #2
 - SP-5.2 Details Sheet #3
 - SP-6.0 Architectural Floor Plan
 - SP-6.1 Retail Building Elevations
 - SP-6.2 Warehouse Building Elevations



FRAMINGHAM PLANNING BOARD

DATE:

GENERAL NOTES:

EXISTING SITE DATA IS BASED ON ONE 1"=30' SCALE PLAN DATED, JULY 3, 2013, ENTITLED, "EXISTING CONDITIONS PLAN" IN FRAMINGHAM, MA MIDDLESEX COUNTY, BY PRECISION LAND SURVEYING INC.

ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ORDER OF CONDITIONS ESTABLISHED FOR THIS PROJECT BY THE TOWN OF FRAMINGHAM CONSERVATION COMMISSION.

ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES, GRADES AND OTHER SPECIFIC REQUIREMENTS OR SPECIFICATIONS OF THE TOWN OF FRAMINGHAM DPW.

THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL ALSO PAY FOR FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME AND COORDINATE WITH THE ENGINEER AND ARCHITECT AS REQUIRED.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

PORTIONS OF THE ROADWAY, SIDEWALK AND ROADSIDE AREA DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR CONDITIONS PRIOR TO DISTURBANCE.

CONTRACTOR SHALL VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

CONTRACTOR SHALL REPORT IN A TIMELY MANNER, ALL SIGNIFICANT CONFLICTS IN EITHER THE DOCUMENTATION OR THE FIELD, TO THE OWNER AND THE LANDSCAPE ARCHITECT FOR RESOLUTION.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.

LAYOUT AND MATERIALS NOTES:

ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MassDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AND THE TOWN OF FRAMINGHAM DPW.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL AND DISPOSAL OF ALL DEBRIS FROM THE SITE AND AS MAY BE DIRECTED BY THE A/E.

ALL ACCESSIBLE RAMPS, PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE MASSACHUSETTS STATE CODE, THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB), AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES (WHICHEVER IS MORE STRINGENT).

EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN SIX (6) FEET IN HEIGHT LOCATED AT THE FACE OF THE CURBLINE. THE SIGN SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-336, (SEE DETAIL).

THE SITE CONTRACTOR SHALL CUT AND MATCH ALL EXISTING ROAD PAVEMENT AS REQUIRED TO SET NEW CURBING AND CONSTRUCT NEW UTILITIES IN THE STREET.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

DIMENSIONS OF PARKING SPACES AND DRIVEWAY ARE FROM FACE OF CURB TO FACE OF CURB.

CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL STAKE OUT BUILDING FROM THE LATEST ARCHITECTURAL DRAWINGS.

THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING, LIGHTING, DOORWAY PADS, ETC.

PROTECT EXISTING PROPERTY MONUMENTS AND ABUTTING PROPERTIES DURING CONSTRUCTION ACTIVITIES.

PLANTING NOTES:

SITE PREPARATION:

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE SITE.

INSTALLATION:

ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. PROPOSED SUBSTITUTIONS WILL ONLY BE CONSIDERED IF SUBMITTED WITH ENUMERATED REASONS WHY SUBSTITUTIONS ARE PROPOSED.

ALL PLANTING BEDS TO BE FILLED WITH SOIL TO A MINIMUM DEPTH OF EIGHTEEN (18) INCHES AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. PLANTING BEDS SHALL BE MULCHED WITH AGED PINE BARK MULCH, TO A DEPTH OF FOUR (4) INCHES.

CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.

NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.

GROUNDCOVERS, PERENNIALS, BULBS AND ANNUALS ARE TO BE PLANTED IN A WELL PREPARED BED WHICH SHALL INCLUDE PEAT AND SLOW RELEASE FERTILIZER. BEDS SHALL BE SKIMMED WITH THE ONE AND ONE-HALF INCH TO TWO INCH MULCH DEPTH.

SOILS:

THE LANDSCAPE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.

TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF EIGHTEEN (18) INCHES IN ALL PLANTING BEDS AND SIX (6) INCHES IN ALL LAWN AREAS AFTER SETTLING ON ALL STRIPPED PLANTED AREAS INCLUDING SLOPE STABILIZATION, INSTALL LAWN AREAS AND PLANTING BEDS AFTER FILLS ARE PROPERLY SETTLED AND SUBGRADE HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT. THE SETTLED TOPSOIL SHALL BE UP TO THE FINISHED GRADE AS CALLED FOR ON THE DRAWINGS. SCARIFY SUBGRADE TO A DEPTH OF TWO (2) INCHES BEFORE PLACING TOPSOIL.

REMOVE ALL ROCKS AND DEBRIS FROM SOIL. GRADE TO AN EVEN SURFACE.

PROTECT NEWLY TOPSOILED, GRADED AND/OR SEEDED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.

REPAIR AND RE-ESTABLISH GRADES IN SETTLED ERODED AND RUTTED AREAS TO THE SPECIFIED GRADE AND TOLERANCES.

THE LANDSCAPE CONTRACTOR IS TO CLEAN UP AND REMOVE ANY DEBRIS FROM THE SITE CAUSED BY THE LANDSCAPE CONTRACTOR.

PLANT MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE THE PROJECT IS UNDERWAY.

SEEDING:

PROVIDE SIX (6) INCHES LOAM AND SEED ON ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.

SPREAD 10-10-10 FERTILIZER AT A RATE OF 22 POUNDS PER ONE THOUSAND SQUARE FEET (22 LBS/1000 SF) AND INCORPORATE INTO THE SOIL UNIFORMLY.

APPLY DOLOMITIC LIME AT THE RATE OF ONE HUNDRED POUNDS PER ONE THOUSAND SQUARE FEET (100 LBS/1000 SF) IN THE AREAS BEING PREPARED FOR PLANTING.

PLANTING SEED SHALL BE SOWN IN SEASONAL CONDITIONS AS APPROPRIATE FOR GOOD SEED SURVIVAL, OR AT SUCH TIMES AS APPROVED BY THE LANDSCAPE ARCHITECT. PROVIDE SUFFICIENT HOSE AND SPRINKLER HEADS FOR ADEQUATE WATERING TO MAINTAIN A MOIST SEED BED AT ALL TIMES.

PLACE WARNING SIGNS IN SEEDED AREAS AND ERECT NECESSARY BARRICADES TO PREVENT DAMAGE BY PERSONS OR MACHINES AND MAINTAIN THESE FOR AT LEAST THIRTY (30) DAYS.

AFTER SEEDING, THE SURFACE OF THE SOIL SHALL BE EVENLY RAKED WITH A FINE-TOOTHED RAKE AND THEN ROLLED WITH A HAND ROLLER WEIGHING NOT LESS THAN ONE HUNDRED POUNDS PER FOOT OF WIDTH.

STRAW MULCH SHALL BE SPREAD UNIFORMLY OVER ALL SEEDED AREAS AT THE RATE OF TWO BALES PER ONE THOUSAND SQUARE FEET.

WATER THE SEEDED BED THOROUGHLY AND IMMEDIATELY AFTER COMPLETION OF MULCHING. SOIL SHALL BE MOISTENED TO A DEPTH OF FOUR (4) INCHES. CONTRACTOR SHALL INSTRUCT OWNERS REPRESENTATIVE ON APPROPRIATE WATERING PROCEDURES DURING INITIAL ESTABLISHMENT.

IF CERTAIN AREAS OF THE LAWN DO NOT SHOW A PROMPT "CATCH," THESE SHALL BE RE-SEEDED AT THE SAME RATE AND IN THE SAME MANNER AS BEFORE IN INTERVALS OF 10 DAYS, IN WHICH THE PROCESS SHALL CONTINUE UNTIL A GROWTH OF GRASS IS ESTABLISHED OVER THE ENTIRE AREA.

**655
COCHITUATE
ROAD**

**Framingham,
Massachusetts
01701**

**SITE
IMPROVEMENTS**

Landscape Architect:



LOCUS PLAN
NO SCALE

Stamp:



Project No: 158.-1006.00
Date: March 10, 2014

Revisions:		
No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:

NOTES

Sheet #:

SP-1.0

Drawing No: 158-1006.00 502.1A

SCALE:
File No: 158-1006.00 500C.dwg

655 COCHITUATE ROAD
 Framingham, Massachusetts 01701

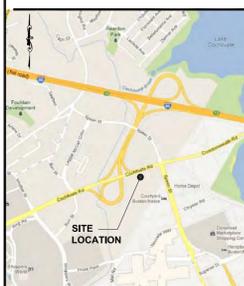
SITE IMPROVEMENTS

Landscape Architect:
ofa PAUL FINGER ASSOCIATES
 Landscape Architects - Planners
 Civil Engineers - Wetland Scientists
 14 Spring Street, Second Floor, Framingham, MA 01702
 (781) 647-4800 / (781) 647-4924 / info@ofa.net

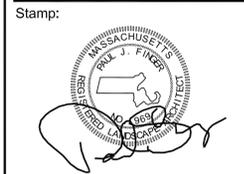
Civil Engineers:
MWE
 METROWEST ENGINEERING, INC.
 25 FRANKLIN STREET, SOUTHBOROUGH, MASSACHUSETTS 01772
 TELE: (508) 326-1189

Land Surveyors:
PLS Precision Land Surveying, Inc.
 32 Turnpike Road, Southborough, Massachusetts 01772
 TELE: (508) 468-1789 / FAX: (508) 970-0006

Architects:
HDS ARCHITECTURE



LOCUS PLAN
NO SCALE



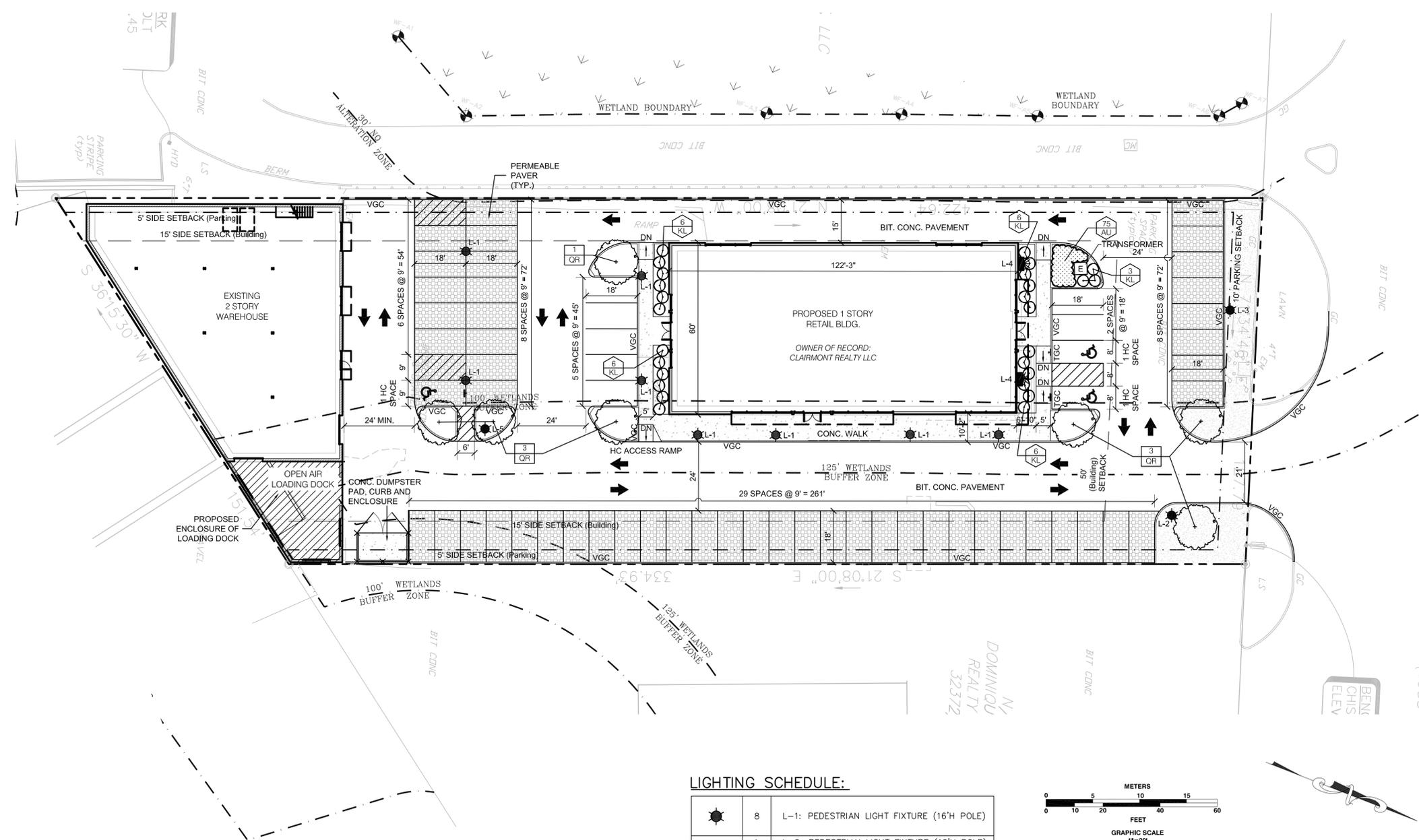
Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:
LAYOUT, MATERIALS & PLANTING PLAN

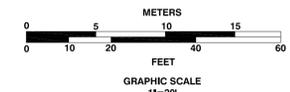
Sheet #:
SP-3.0
 Drawing No: 158-1006.00 503B
 SCALE: 1" = 20'
 File No: 158-1006.00 500C.dwg



LIGHTING SCHEDULE:

	8	L-1: PEDESTRIAN LIGHT FIXTURE (16'H POLE)
	1	L-2: PEDESTRIAN LIGHT FIXTURE (16'H POLE)
	1	L-3: PEDESTRIAN LIGHT FIXTURE (16'H POLE)
	1	L-5: PEDESTRIAN LIGHT FIXTURE (16'H POLE)
	2	L-4: WALL MOUNTED LIGHT FIXTURE (12'H)

** SEE SHEET SP-3.1 FOR FIXTURE INFORMATION



FRAMINGHAM PLANNING BOARD

DATE: _____

ZONING DATA - 655 COCHITUATE ROAD

Lot # 100/346.0-0110-0003.0
 Zoning District Light Manufacturing (M-1) / Highway Corridor Overlay (HC)
 Use Retail-Store, Distributor Warehouse & Storage Warehouse

Reference	Existing		Proposed	
	Required/Allowed	Provided	Required/Allowed	Provided
IV.E.2	Min. Lot Area (sf/ac)	6,000 sf	48,350 sf	6,000 sf / 48,350 sf
IV.E.2	Density	Gross Floor Area (gsf)		
		Retail Use	inc. 7,370 sf	inc. 13,570 sf
		Warehouse Use	inc. 12,400 sf	inc. 6,900 sf
IV.E.2	Max. FAR By Right	0.32	0.44	0.32 / 0.42

Reference	Required		Provided	
	Required	Provided	Required	Provided
IV.B.1.a.	Parking Spaces for RETAIL Use	1 per 200 sf	37 sp	68 sp
		1 per 1 employee	6 sp	6 sp
		Total (reg. for RETAIL use)	43 sp inc	74 sp inc
IV.B.1.a.	Parking Spaces for WAREHOUSE Use	1 per 1200 sf	10 sp	6 sp
			10 sp inc	6 sp inc
		Total (reg. for WAREHOUSE use)		
IV.B.1.a.	Parking Spaces for RESTAURANT Use	1 per 3 occupants	6 sp	0 sp
		1 per 2 employee	2 sp	0 sp
		Total (reg. for RESTAURANT use)	8 sp inc	0 sp inc
Total (Overall)		61 sp	27 sp	80 sp

GENERAL NOTES:

EXISTING SITE DATA IS BASED ON PLAN DATED JULY 13, 2013, ENTITLED "EXISTING CONDITIONS PLAN" IN FRAMINGHAM, MA BY PRECISION LAND SURVEYING, INC., SOUTHBOROUGH, MA

WETLAND DELINEATION WAS UNDERTAKEN BY METROWEST ENGINEERING, INC., FRAMINGHAM, MA, 09/04/2014

ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ORDER OF CONDITIONS ESTABLISHED FOR THIS PROJECT BY THE TOWN OF FRAMINGHAM CONSERVATION COMMISSION

AREA CALCULATIONS

	SF	Percent Lot
Lot Coverage of Building	14,270	30
Paved Surface Coverage	20,564	43
Permeable Paver Surface Coverage	9,855	20
Landscaped Open Space	3,251	7
Total Lot Area	48,350	100

LEGEND:

- VERTICAL GRANITE CURB
- TRANSITIONAL GRANITE CURB
- ACCESSIBLE PARKING SPACE
- PROPOSED CONCRETE WALK
- PROPOSED LAWN AREA
- PROPOSED PERMEABLE PAVERS
- PROPOSED HC PARKING SIGN
- TRANSFORMER

PLANTING LEGEND:

- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUB
- GROUNDCOVER

PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	ROOT
DECIDUOUS TREES					
QR	Quercus robur 'Columnar'	Columnar English Oak	7	2.5" - 3" CAL	B&B
SEMI-EVERGREEN SHRUBS					
KL	Kalmia latifolia 'Elf'	Elf Dwarf Mountain Laurel	27	15"-18" HT	CONTAINER
GROUNDCOVER					
AU	Arctostaphylos uva-ursi 'Massachusetts'	Massachusetts Kinnikinnick	75	6"-8" HT	CONTAINER

FRAMINGHAM PLANNING BOARD

DATE: _____

LEVANTO CLE17T4



LED only
Type II, III, V
40W to 120W
Available in all RAL colors
Tool free system
IP66 optical system
Options: Screen for debris, Photocell,
Dimming, MOM control system

LED details

LED	Lumen output	efficacy(lm/W)	Wattage	LED Wattage System	BUG rating	HD equivalency
40W350mA-2	3760	80.0	40	47	B3-U2-G1	70 W
40W350mA-3	3997	72.3	40	47	B1-U2-G1	70 W
40W350mA-5	3854	82.0	40	47	B2-U2-G1	70 W
60W350mA-2	5440	80.0	60	68	B1-U2-G1	100W
60W350mA-3	5025	73.9	60	68	B3-U2-G1	100W
60W350mA-5	5076	82.0	60	68	B2-U2-G1	100W
80W350mA-2	6942	78.0	80	89	B1-U3-G1	150W
80W350mA-3	6577	73.9	80	89	B3-U3-G1	150W
80W350mA-5	7120	80.0	80	89	B2-U3-G1	150W
100W350mA-2	8298	78.0	100	110	B1-U3-G1	200W
100W350mA-3	8268	75.5	100	110	B1-U3-G2	200W
100W350mA-5	8734	78.0	100	110	B3-U3-G2	200W
120W350mA-2	10140	78.0	120	130	B3-U3-G1	250W
120W350mA-3	10700	75.5	120	130	B2-U3-G2	250W
120W350mA-5	11160	80.0	120	130	B4-U3-G2	250W

LED 4000K +150K TO CRI minimum
LED No. 21 calculated L70 over 25,000 hours
LED No. 23 measured color from 3000K white
Efficacy may vary slightly for other LED chip manufacturers (MGE)
Data taken from manufacturer's website or from manufacturer's data sheet

L-1 AREA LIGHTING TYPE A

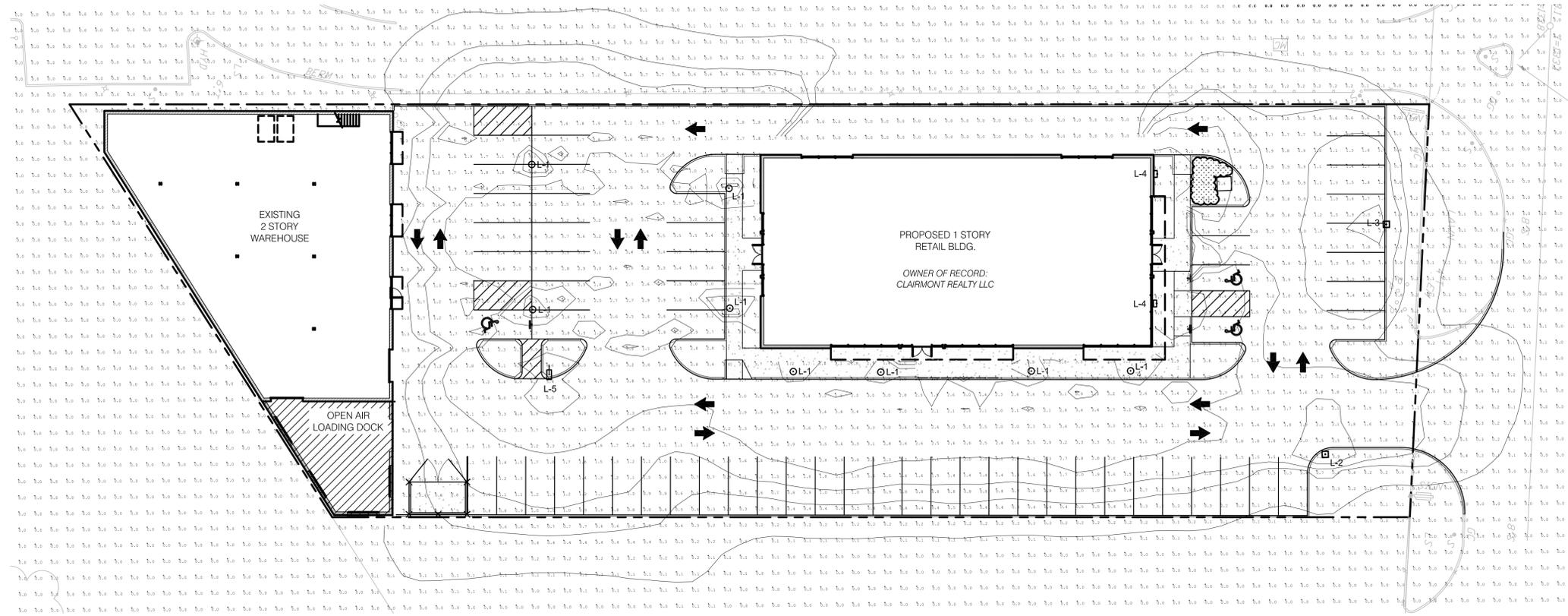
NOT TO SCALE

L-2, L-3, L-5 AREA LIGHTING TYPE B

NOT TO SCALE

L-4 WALL MOUNTED LIGHT

NOT TO SCALE



LUMINAIRE SCHEDULE

Symbol	Qty	Label	Arrangement	Lumens / Lamp	Lum. Lumens	Lum. Watts	LLF	Description
L-1	8	CYCLONE	SINGLE	8424	67392	110	0.800	LEVANTO-CLE17T4-GAL-5-100W-4Kies (simulated)
L-2	1	GLEON SL3	SINGLE	N.A.	5373	56	0.800	GLEON-AE-01-LED-E1-SL3
L-3	1	GLEON SL4	SINGLE	N.A.	5105	56	0.800	GLEON-AE-01-LED-E1-SL4
L-4	2	XTOR9ARL-N	SINGLE	N.A.	5702	82	0.900	XTOR9ARL-N
L-5	1	GLEON T4FT	SINGLE	N.A.	10562	107	0.800	GLEON-AE-02-LED-E1-T4FT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object 2 Planar	illuminance	Fc	0.37	9.1	0.0	N.A.	N.A.

McGRAW-EDISON

DESCRIPTION
The latest in LED luminaire design, the McGraw-Edison LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The McGraw-Edison LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

DESCRIPTION
The McGraw-Edison LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The McGraw-Edison LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

LUMARK

DESCRIPTION
The latest in LED luminaire design, the Lumark LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The Lumark LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

DESCRIPTION
The Lumark LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The Lumark LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

GLEON GALLEON LED

DESCRIPTION
The GLEON GALLEON LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The GLEON GALLEON LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

DESCRIPTION
The GLEON GALLEON LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The GLEON GALLEON LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

XTOR CROSSOUR MAXX LED

DESCRIPTION
The XTOR CROSSOUR MAXX LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The XTOR CROSSOUR MAXX LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

DESCRIPTION
The XTOR CROSSOUR MAXX LED luminaire is a highly durable, low-profile design. Perfect for high-traffic areas, it features a high-quality, long-life LED chip and a durable, weather-resistant housing. The XTOR CROSSOUR MAXX LED luminaire is available in a variety of finishes and colors to match your building's exterior.

DESCRIPTION FEATURES
- Durable, weather-resistant housing
- High-quality, long-life LED chip
- Available in a variety of finishes and colors
- Perfect for high-traffic areas

655
COCHITUATE
ROAD

Framingham,
Massachusetts
01701

SITE
IMPROVEMENTS

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Civil Engineers - Wetland Scientists

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(781) 647-4924
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Civil Engineers:

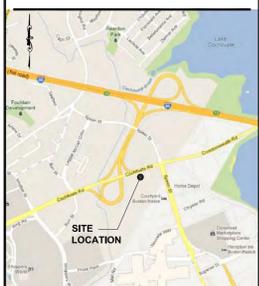
MWE
METROWEST ENGINEERING, INC.

75 FRANKLIN STREET
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TEL: (508) 836-0063

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PS Precision Land Surveying, Inc.
32 Tumpike Road
Southborough, Massachusetts 01772
TEL: (508) 460-1789 FAX: (508) 970-0006

Architects:

HDS
ARCHITECTURE



LOCUS PLAN
NO SCALE

Stamp:

Project No: 158-1006.00
Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:

**LIGHTING
PHOTOMETRIC
PLAN**

Sheet #:

SP-3.1

Drawing No: 158-1006.00 503.1A
SCALE: NTS
File No: 158-1006.00 500C.dwg

655 COCHITUATE ROAD

Framingham, Massachusetts 01701

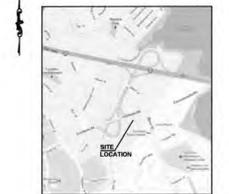
SITE IMPROVEMENTS

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HDS
 ARCHITECTURE



LOCUS PLAN
NO SCALE

Stamp:

Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:
GRADING, DRAINAGE & UTILITIES PLAN

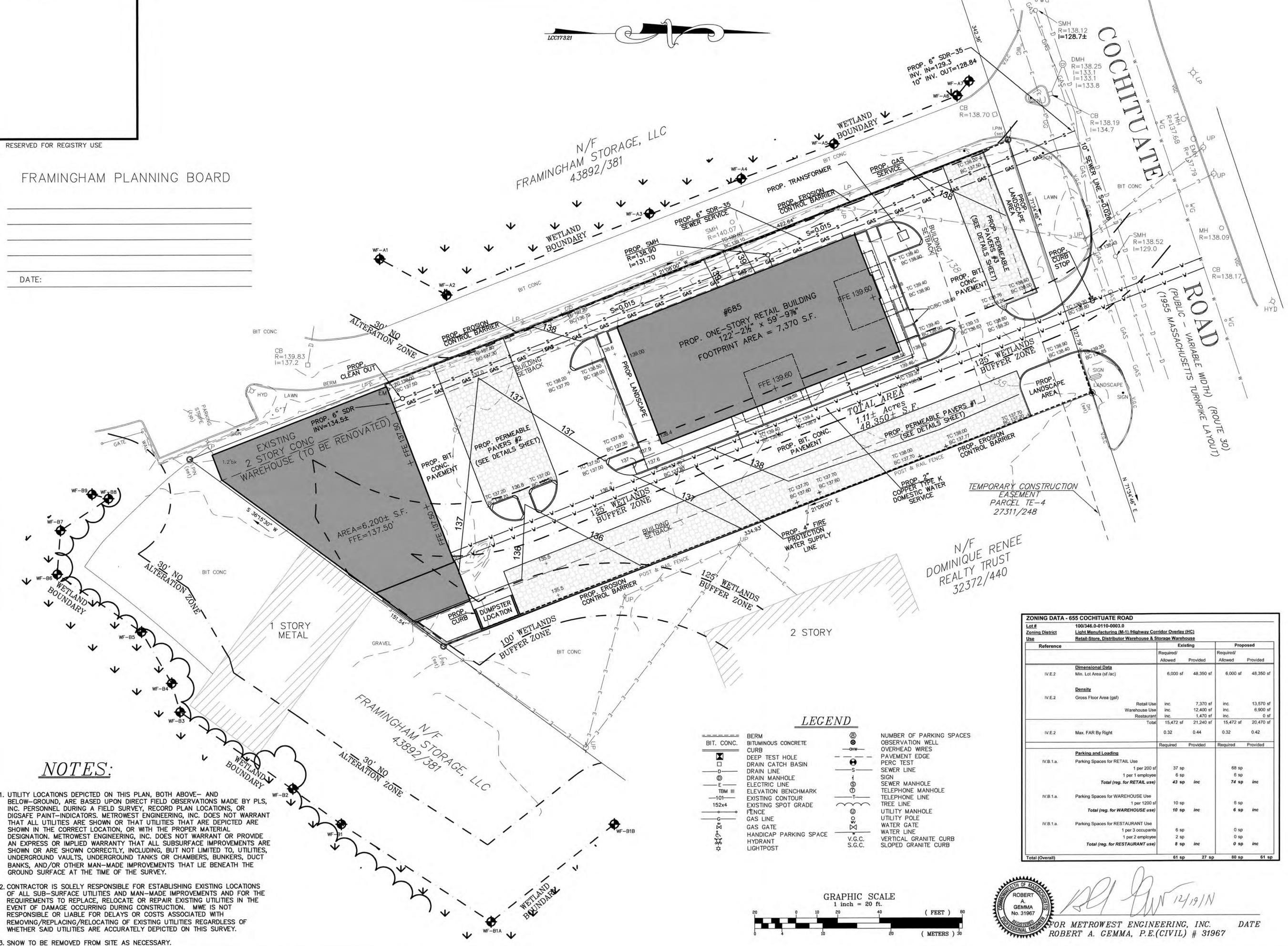
Sheet #:
SP-4.0
 File No: 158-1006.00.02A
 SCALE: 1" = 20'-0"
 File No: SP_111014_PLANNING_R1.dwg

RESERVED FOR REGISTRY USE

FRAMINGHAM PLANNING BOARD

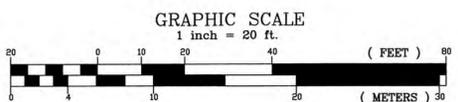
DATE:

- NOTES:**
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY PLS, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DIGSAFE PAINT-INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
 - SNOW TO BE REMOVED FROM SITE AS NECESSARY.



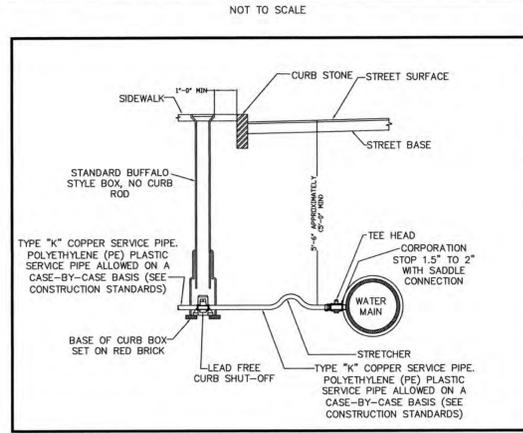
LEGEND

BIT. CONC.	BERM	○	NUMBER OF PARKING SPACES
□	BITUMINOUS CONCRETE CURB	○	OBSERVATION WELL
⊠	DEEP TEST HOLE	○	OVERHEAD WIRES
⊡	DRAIN CATCH BASIN	○	PAVEMENT EDGE
⊢	DRAIN LINE	○	PERC TEST
⊣	DRAIN MANHOLE	○	SEWER LINE
⊤	ELECTRIC LINE	○	SIGN
⊥	ELEVATION BENCHMARK	○	SEWER MANHOLE
⊦	EXISTING CONTOUR	○	TELEPHONE MANHOLE
⊧	EXISTING SPOT GRADE	○	TELEPHONE LINE
⊨	FENCE	○	TREE LINE
⊩	GAS LINE	○	UTILITY MANHOLE
⊪	GAS GATE	○	UTILITY POLE
⊫	GAS LINE	○	WATER GATE
⊬	HANDICAP PARKING SPACE	○	WATER LINE
⊭	HYDRANT	○	VERTICAL GRANITE CURB
⊮	LIGHTPOST	○	SLOPED GRANITE CURB

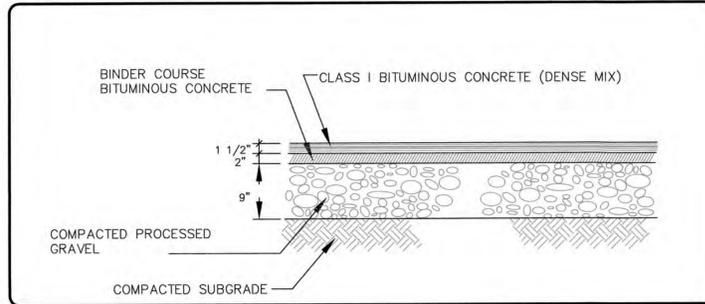


FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.E.(CIVIL) # 31967

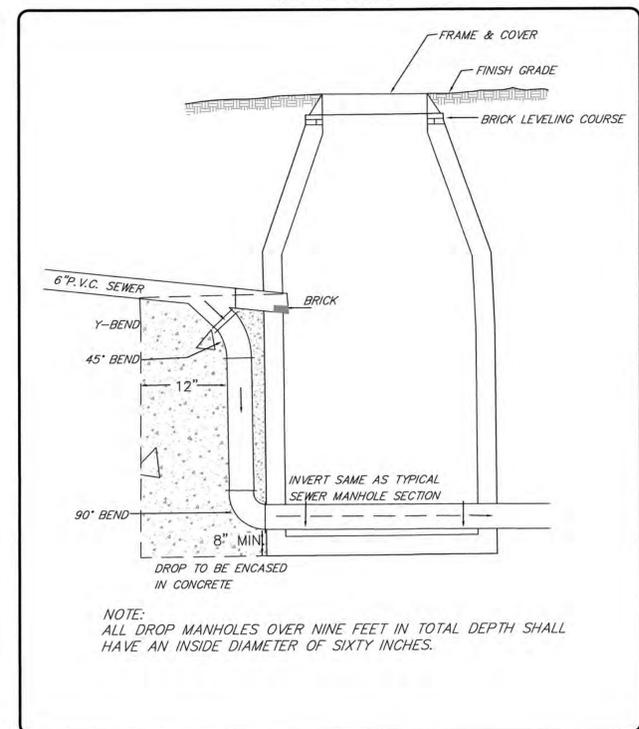
TYPICAL WATER SERVICE CONNECTION



BITUMINOUS CONCRETE PAVEMENT



DROP-SEWER MANHOLE

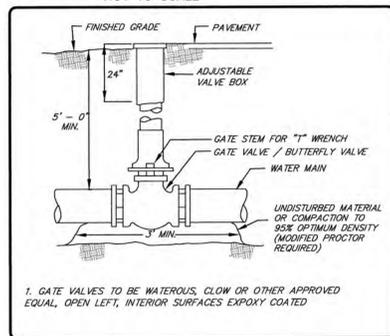


RESERVED FOR REGISTRY USE

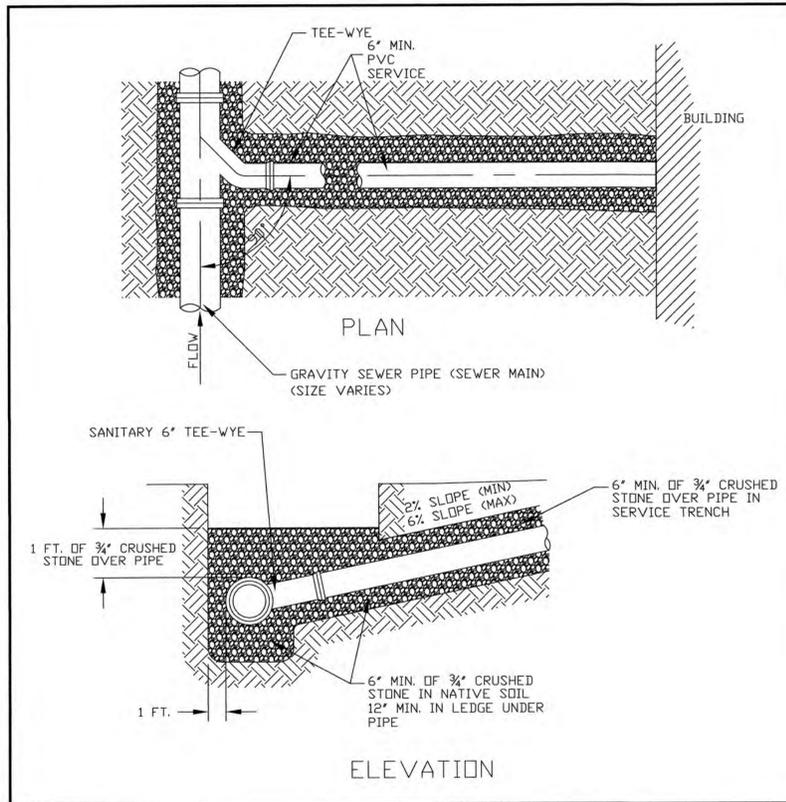
FRAMINGHAM PLANNING BOARD

DATE:

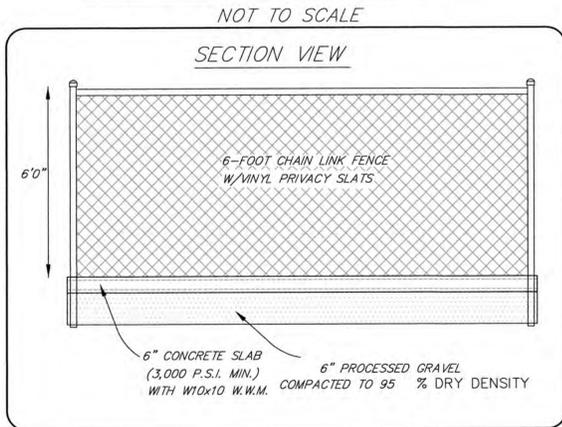
GATE VALVE DETAIL



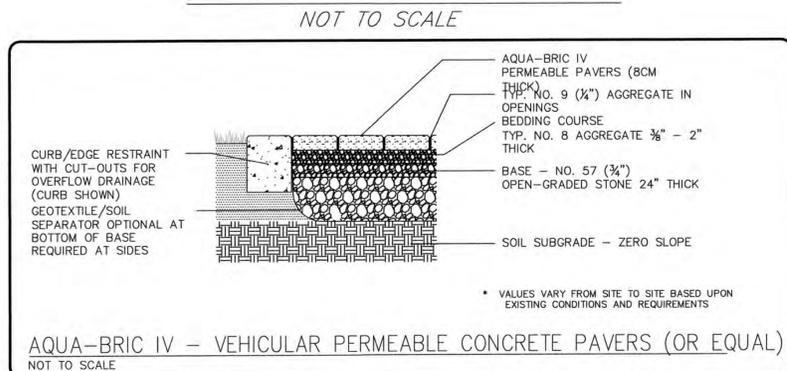
SEWER CONNECTION



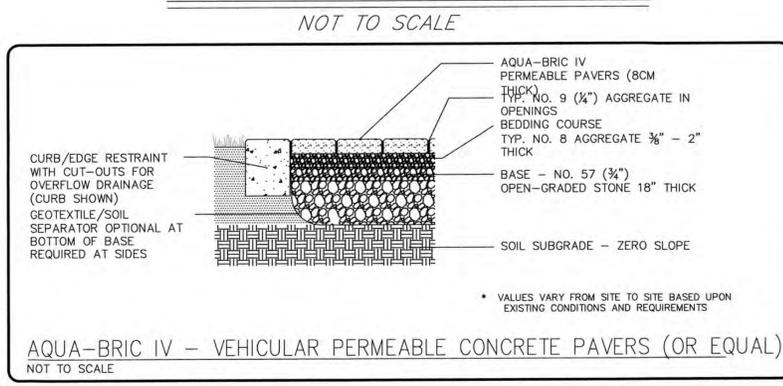
DUMPSTER ENCLOSURE



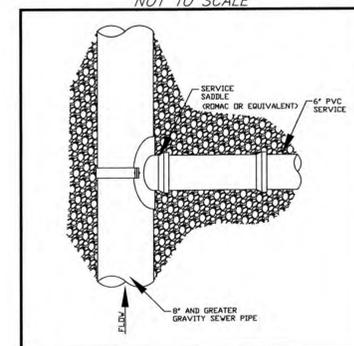
PERMEABLE PAVERS #1



PERMEABLE PAVERS #2 & #3



SEWER CONNECTION



655 COCHITUATE ROAD
Framingham, Massachusetts 01701
SITE IMPROVEMENTS

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 14 Spring Street, Second Floor, Framingham, MA 01702
 TEL: (508) 876-0063 FAX: (508) 876-0440

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 Precision Land Surveying, Inc.
 32 Turnpike Road, Southborough, Massachusetts 01772
 TEL: (508) 460-1789 FAX: (508) 970-0096

Architects:
HDS ARCHITECTURE



LOCUS PLAN
NO SCALE

Stamp:
 Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:
DETAILS SHEET #1

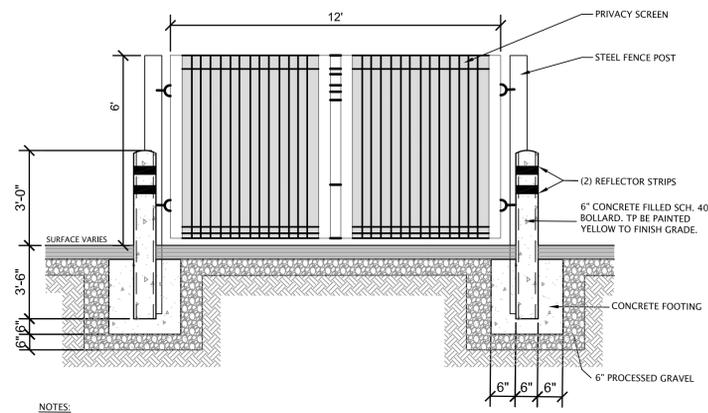
Sheet #:
SP-5.0

File No: 158-1006.00 202A
 File No: SP_111014_PLANNING_R1.dwg

Professional Engineer Seal for Robert A. Gemma, No. 31967, dated 12/15/14.
 FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.E.(CIVIL) # 31967

FRAMINGHAM PLANNING BOARD

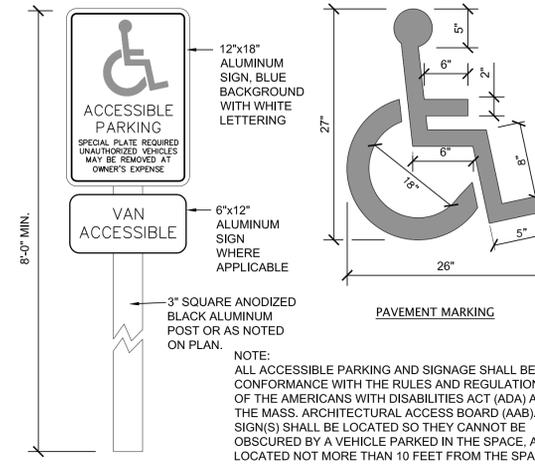
DATE:



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

DUMPSTER FENCE ENCLOSURE WITH SCREEN AND CONCRETE BOLLARD

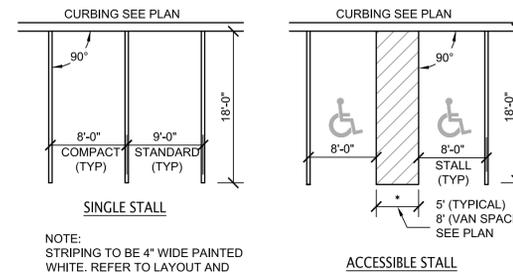
NOT TO SCALE



NOTE:
ALL ACCESSIBLE PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE MASS. ARCHITECTURAL ACCESS BOARD (AAB). SIGN(S) SHALL BE LOCATED SO THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE, AND LOCATED NOT MORE THAN 10 FEET FROM THE SPACE.

ACCESSIBLE SIGN AND PAVEMENT MARKING

NOT TO SCALE



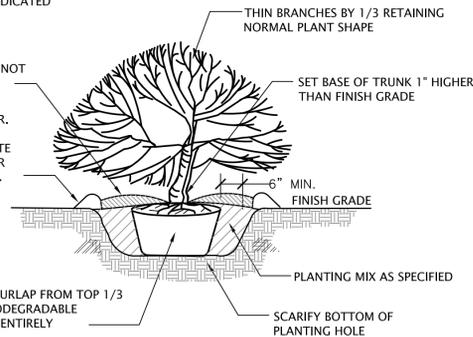
NOTE:
STRIPING TO BE 4" WIDE PAINTED WHITE. REFER TO LAYOUT AND MATERIALS PLAN FOR LOCATION OF ALL PAVEMENT MARKINGS.

PAVEMENT MARKING

NOT TO SCALE

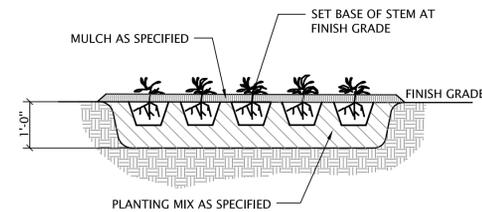
NOTE:
SPACE PLANTS AS INDICATED ON DRAWINGS.

3" MULCH LAYER AS SPECIFIED. SHOULD NOT TOUCH TRUNK
TEMPORARY SAUCER. REMOVE AFTER COMPLETION. DELETE TEMPORARY SAUCER IF IN PLANTING BED.



SHRUB PLANTING

NOT TO SCALE

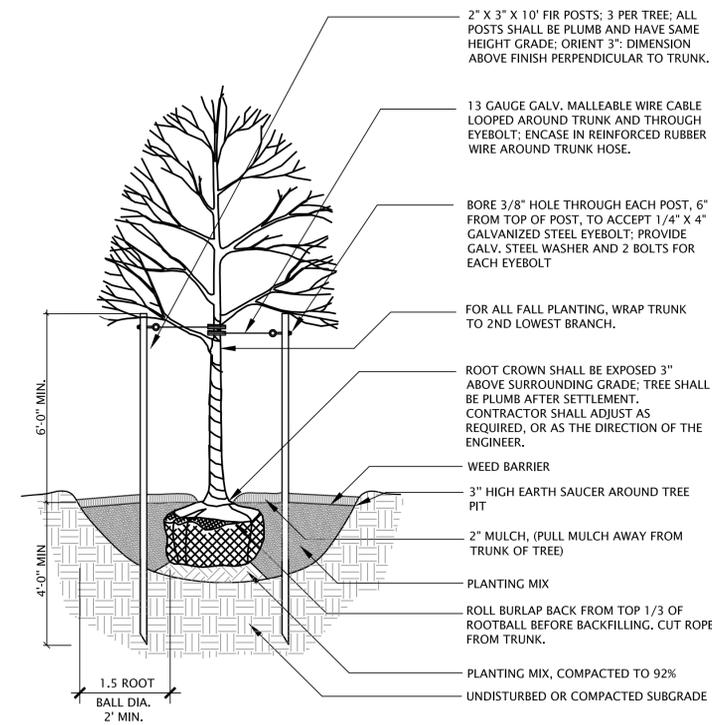


NOTE:
ON SLOPES GREATER THAN 3:1, 1/2" JUTE MESH SHALL BE PEGGED (24" ON CENTER) OVER BED PRIOR TO PLANTING.

SPACE PLANTS AS INDICATED ON DRAWINGS

GROUND COVER PLANTING

NOT TO SCALE



2" X 3" X 10' FIR POSTS: 3 PER TREE; ALL POSTS SHALL BE PLUMB AND HAVE SAME HEIGHT GRADE; ORIENT 3" DIMENSION ABOVE FINISH PERPENDICULAR TO TRUNK.

13 GAUGE GALV. MALLEABLE WIRE CABLE LOOPED AROUND TRUNK AND THROUGH EYEBOLT; ENCASE IN REINFORCED RUBBER WIRE AROUND TRUNK HOSE.

BORE 3/8" HOLE THROUGH EACH POST, 6" BORE FROM TOP OF POST, TO ACCEPT 1/4" X 4" GALVANIZED STEEL EYEBOLT; PROVIDE GALV. STEEL WASHER AND 2 BOLTS FOR EACH EYEBOLT

FOR ALL FALL PLANTING, WRAP TRUNK TO 2ND LOWEST BRANCH.

ROOT CROWN SHALL BE EXPOSED 3" ABOVE SURROUNDING GRADE; TREE SHALL BE PLUMB AFTER SETTLEMENT. CONTRACTOR SHALL ADJUST AS REQUIRED, OR AS THE DIRECTION OF THE ENGINEER.

WEED BARRIER
3" HIGH EARTH SAUCER AROUND TREE PIT

2" MULCH, (PULL MULCH AWAY FROM TRUNK OF TREE)

PLANTING MIX
ROLL BURLAP BACK FROM TOP 1/3 OF ROOTBALL BEFORE BACKFILLING, CUT ROPE FROM TRUNK.

PLANTING MIX, COMPACTED TO 92% UNDISTURBED OR COMPACTED SUBGRADE

DECIDUOUS TREE PLANTING

NOT TO SCALE

655 COCHITUATE ROAD
Framingham, Massachusetts 01701

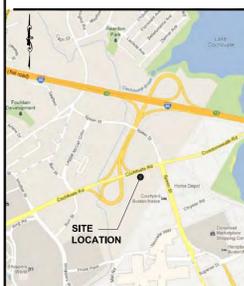
SITE IMPROVEMENTS

Landscape Architect:
Paul Finger Associates
Landscape Architects - Planners
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Architects:
HDS ARCHITECTURE



LOCUS PLAN
NO SCALE

Stamp:
PAUL FINGER ASSOCIATES
Landscape Architects - Planners
Civil Engineers - Wetland Scientists

Project No: 158-1006.00
Date: March 10, 2014

Revisions:

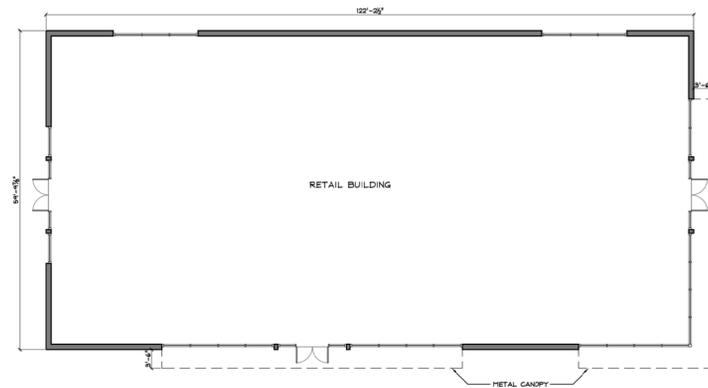
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Drawing Title:
DETAILS SHEET #3

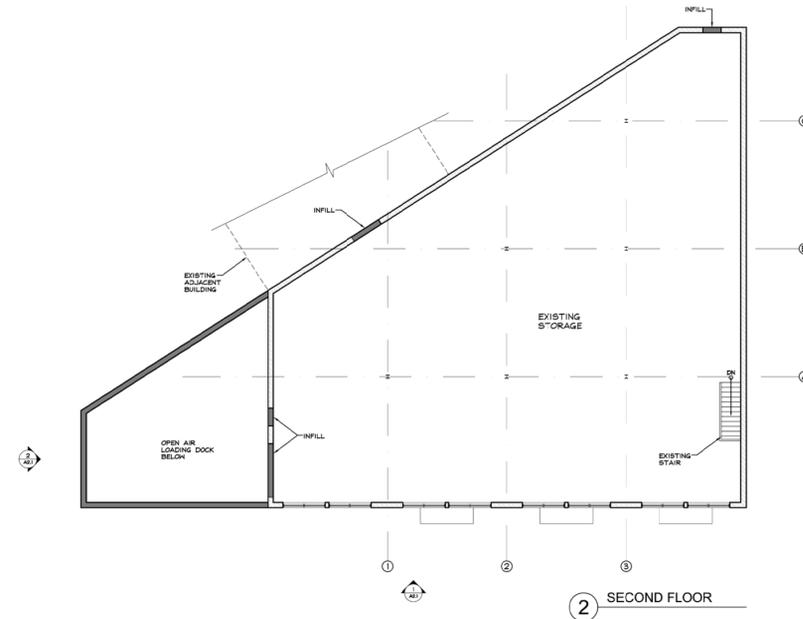
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SCALE: AS SHOWN
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FRAMINGHAM PLANNING BOARD

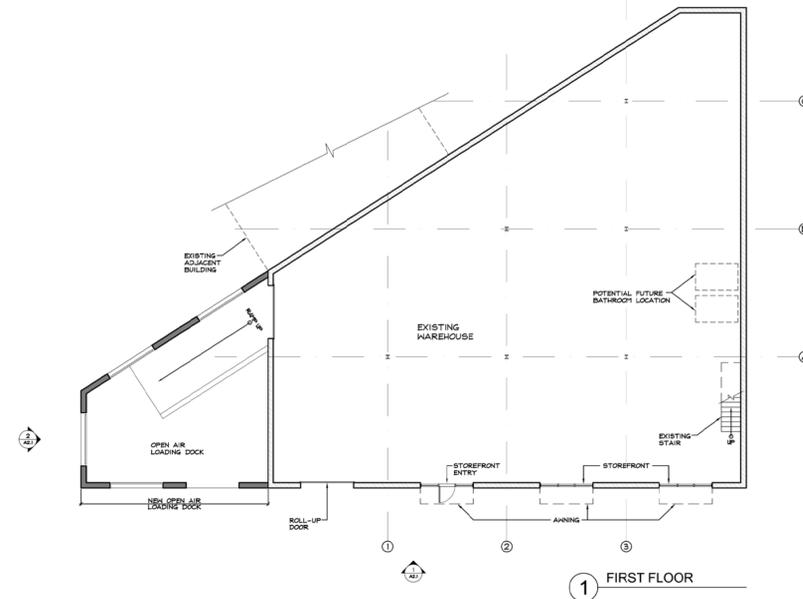
 DATE: _____



RETAIL BUILDING - PROPOSED FLOOR PLAN
 1/16" = 1'-0"



2 SECOND FLOOR



1 FIRST FLOOR

WAREHOUSE BUILDING - PROPOSED FLOOR PLAN
 1/16" = 1'-0"

**655
 COCHITUATE
 ROAD**

Framingham,
 Massachusetts
 01701

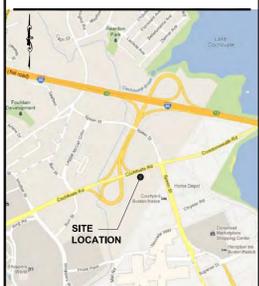
**SITE
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 info@pofa.net

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Architects:
HDS
 ARCHITECTURE



LOCUS PLAN
 NO SCALE

Stamp:

Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:
**ARCHITECTURAL
 FLOOR PLANS**

Sheet #:
SP-6.0
 Drawing No: 158-1006.00 506A
 SCALE: 1/16" = 1'
 File No: 158-1006.00 500C.dwg

FRAMINGHAM PLANNING BOARD

 DATE: _____

**655
COCHITUATE
ROAD**

**Framingham,
Massachusetts
01701**

**SITE
IMPROVEMENTS**

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ofa
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 Landscape Architects • Planners
 Civil Engineers • Wetland Scientists
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 Second Floor (781) 947-9214
 Waltham, Massachusetts 02451-1429 info@pfa.net

Civil Engineers:

MWE METROWEST ENGINEERING, INC.
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 FRAMINGHAM, MA 01702
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PLS Precision Land Surveying, Inc.
 32 Tumpike Road
 Southborough, Massachusetts 01772
 TELE NO: 508-468-1789 FAX NO: 508-970-0006

Architects:

HDS
 ARCHITECTURE



LOCUS PLAN
NO SCALE

Stamp:

Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:

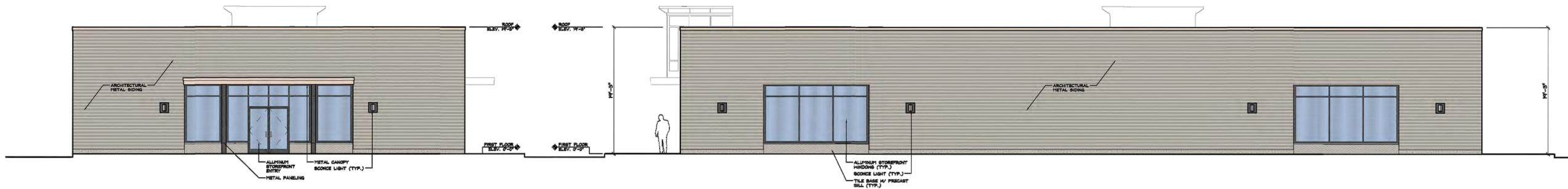
**RETAIL
BUILDING
ELEVATIONS**

Sheet #:

SP-6.1

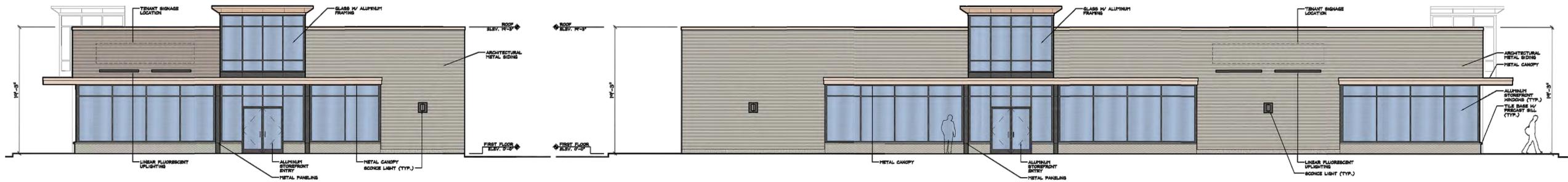
Drawing No: 158-1006.00 507A

SCALE: 1/8" = 1'
 File No: 158-1006.00 500C.dwg



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

FRAMINGHAM PLANNING BOARD

 DATE: _____

**655
 COCHITUATE
 ROAD**

**Framingham,
 Massachusetts
 01701**

**SITE
 IMPROVEMENTS**

Landscape Architect:

ofa
PAUL FINGER ASSOCIATES
 Landscape Architects • Planners
 Civil Engineers • Wetland Scientists
 14 Spring Street
 Second Floor
 Waltham, Massachusetts 02451-4429
 (781) 647-4900
 (781) 947-9214
 info@pofa.net

Civil Engineers:

MWE
METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508) 936-0063

Land Surveyors:

PLS
Precision Land Surveying, Inc.
 32 Tumpike Road
 Southborough, Massachusetts 01772
 TELE NO: 508-460-1789 FAX NO: 508-970-0096

Architects:

HDS
ARCHITECTURE



LOCUS PLAN
 NO SCALE

Stamp:

Project No: 158-1006.00
 Date: March 10, 2014

Revisions:

No.	Description	Date
0	SITE PLAN REVIEW	12.02.14

Drawing Title:

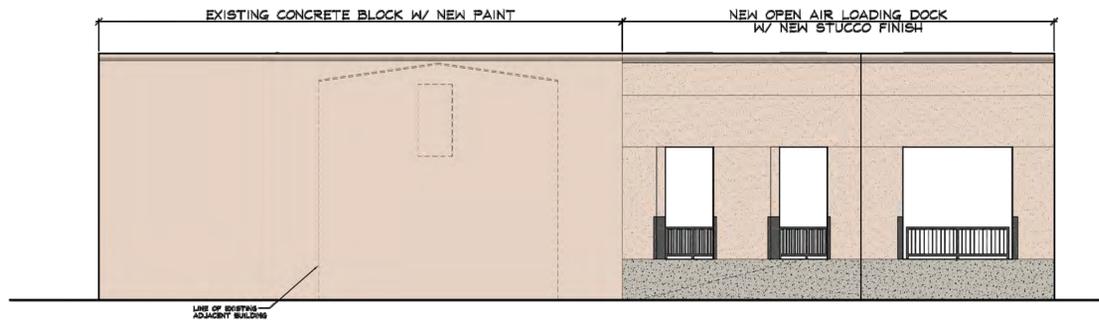
**WAREHOUSE
 BUILDING
 ELEVATIONS**

Sheet #:

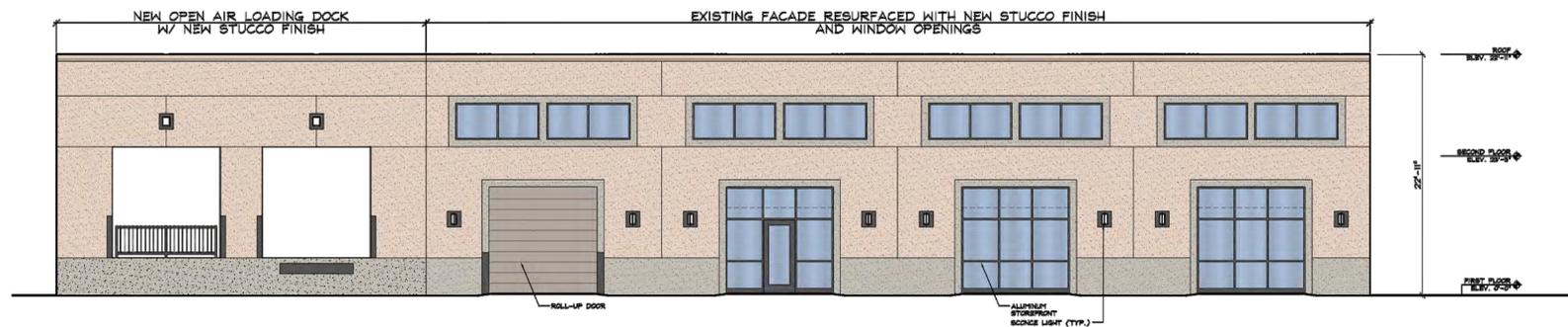
SP-6.2

Drawing No: 158-1006.00 508A

SCALE: 1/8" = 1'
 File No: 158-1006.00 500C.dwg



2 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"